

MENIFEE NORTH

SPECIFIC PLAN No. 260 AMENDMENT No. 5

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Public Hearing Draft – March 2024
Redlined Version

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AMENDMENT NO. 5 TO MENIFEE NORTH SPECIFIC PLAN NO. 260
SUMMARY OF CHANGES

Proposed Amendment No. 5 (SP 260-A5), modifies the Land Use Plan, along with text and graphics, of the approved Menifee North Specific Plan No. 260, Amendment Nos. 3 and 4, to reflect modifications to Planning Areas 9, 22 and 23A. SP260-A5 also incorporates modifications in Amendment No. 3, which were not reflected in a final comprehensive document when approved in 2020. Refer to Figure I-3, *Approved vs. Proposed Areas of Change*, which depicts the proposed SP 260-A5 modifications to the Land Use Plan.

This SP 260-A5 ~~decreases the total number of residential units in the Specific Plan by 1 unit (from 1,506 to 11,505 units)~~ and decreases the residential acreage subtotal by ~~0.546~~ acres (from 202.6 acres to ~~202.1198~~ acres). ~~SP 260-A5~~ increases the acreage of Medium High Density (MHDR) Residential Land Use within the Specific Plan by ~~48,744.6~~ acres, from 26.5 to ~~75,211.1~~ acres, reduces the acreage of Medium Density Residential (MDR) Land Use by 30.4 acres (from 116 acres to 85.6 acres), reduces the acreage of High Density Residential (HDR) Land Use by 18.1 acres (from 30 acres to 11.9 acres), and reduces the acreage of Very High Density Residential (VHDR) Land Use by 0.7 acres (from 30.1 acres to 29.4 acres). The total Project acreage decreases by ~~80.184~~ acres, from 905.2 acres to ~~825.182~~ acres, which reflects acreage modifications to Planning Area 2 (Amendment No. 4), Planning Area 9, Planning Area 22, Planning Areas 11-13 (Amendment No. 3), and technical corrections to Circulation and Utility Easement acreages to remove acreage outside the City boundaries. No modifications to the total approved project units are proposed by SP 260-A5.

Detailed descriptions of each proposed change within MENIFFE NORTH Specific Plan No. 260, Amendment No. 5 is provided on Table I-1, Table I-2, and Table I-3 of this document.

Specifically, SP 260-A5:

1. Modifies the acreage, unit count, density, and Land Use Designation of Planning Area 9, to provide a wider range of housing opportunities within the Specific Plan, as follows:
 - a. Increases the acreage by ~~0.711~~ acres (from 30.5 acres to ~~31.229~~ acres);
 - b. Increases the number of residential units by ~~63.64~~ units (from 106 dwelling units to ~~169.170~~ dwelling units);
 - c. Decreases the minimum lot size from 7,200 square feet to 4,300 square feet;
 - d. Modifies the density from 3.5 du/ac (MDR) to ~~5.48~~ du/ac (~~MHDR~~);
 - e. Establishes the location of a tot lot; and,
 - f. Incorporates a water quality basin.
2. Consolidates Planning Areas 22 and 23A into one modified residential Planning Area (PA 22), and modifies the acreage, unit count, density, and Land Use Designation, to provide a wider range of housing opportunities within the Specific Plan, as follows:
 - a. Establishes the combined Planning Area acreage at ~~28.826~~ acres;
 - b. Decreases the combined total number of residential units in Planning Areas 22 and 23A by 64 units (from 209 dwelling units to ~~145.145~~ residential units);
 - c. Establishes a density of ~~5.05~~ du/ac ~~with a Land Use Designation of Medium High Density Residential (MHDR 5-8)~~;
 - d. Establishes a minimum lot size of 3,700 square feet;
 - e. Establishes the location of a tot lot; and,
 - f. Incorporates a water quality basin.

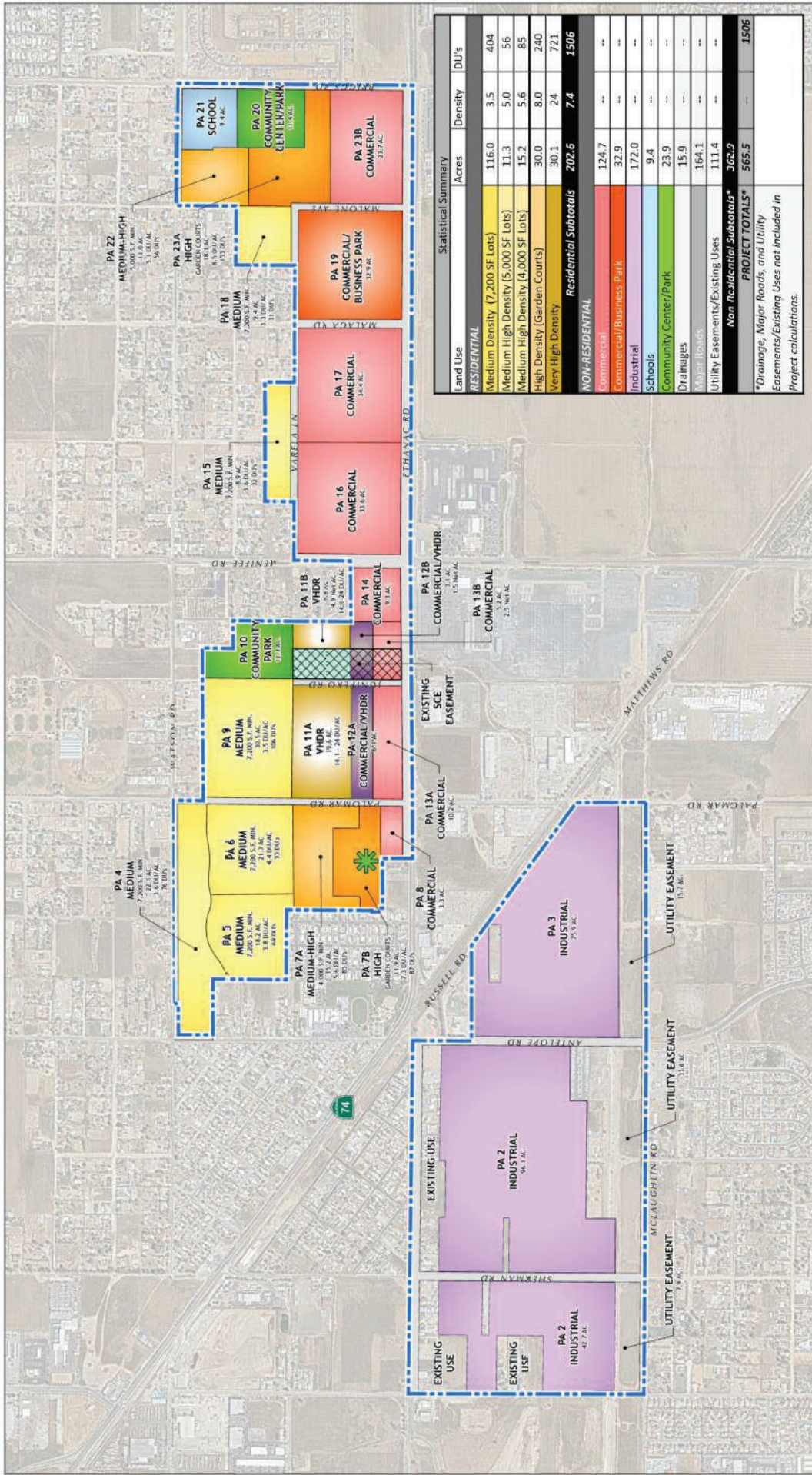


FIGURE - I-1
 APPROVED SPECIFIC PLAN LAND USE PLAN
 I. SUMMARY OF CHANGES
 MENIFEENORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

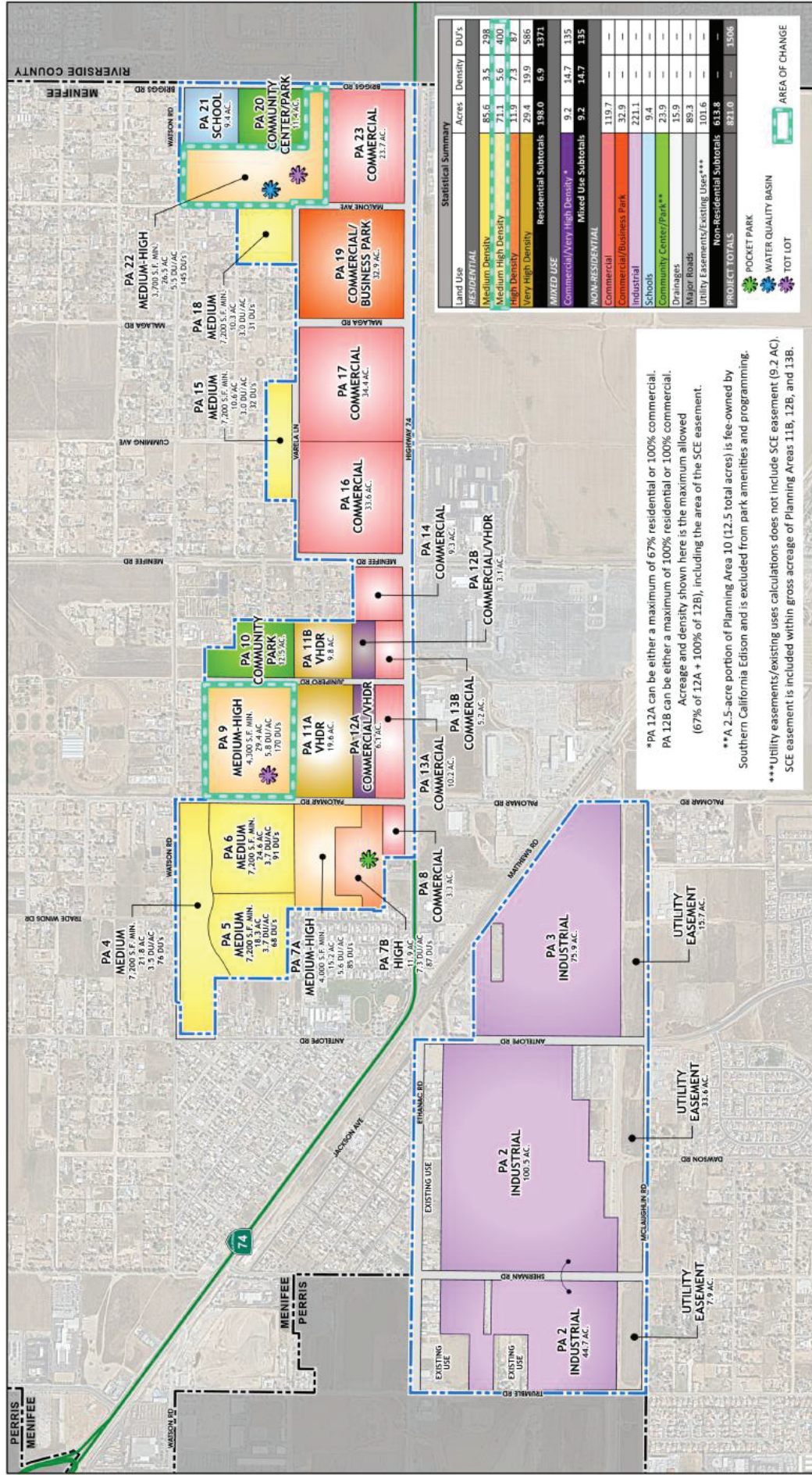


FIGURE 1-2
 APPROVED SPECIFIC PLAN LAND USE PLAN
 I. SUMMARY OF CHANGES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5
 1-5



Source(s): Esri, RCPLMA (2024), Noamap Aerial (September 2023)

TABLE I-1
LAND USE SUMMARY OF CHANGES

LAND USE	ADOPTED SPECIFIC PLAN NO. 260, AMENDMENT NO. 4			PROPOSED SPECIFIC PLAN NO. 260 AMENDMENT NO. 5		
	ACREAGE	DENSITY (DU/AC)	MAX DWELLING UNITS	ACREAGE	DENSITY (DU/AC)	MAX DWELLING UNITS
RESIDENTIAL						
Medium Density Residential	116.0	3.5	404	85.6	3.5	298
Medium High Density Residential	26.5	5.3	141	75.2 71.1	5.36	400
High Density Residential	30.0	8.0	240	11.9	7.3	87
Very High Density Residential	30.1	24.0	721	29.4	19.9	135
RESIDENTIAL SUBTOTAL	202.6	7.2	1,506	202.1 198.0	6.89	1,371
MIXED-USE						
Commercial/ Very High Density Residential	-	-	-	9.2	14.7	135
MIXED-USE SUBTOTAL	-	-	-	9.2	14.7	135
NON-RESIDENTIAL						
Commercial	124.7	-	-	119.7	-	-
Commercial/Business Park	32.9	-	-	32.9	-	-
Industrial	221.1	-	-	221.1	-	-
Schools	9.4	-	-	9.4	-	-
Community Center/Community Park	23.9	-	-	23.9	-	-
Drainage Channels	15.9	-	-	15.9	-	-
Major Roads	164.1	-	-	89.3 ⁽¹⁾	-	-
Easements/Existing Uses	111.4	-	-	101.6 ⁽¹⁾	-	-
NON-RESIDENTIAL SUBTOTAL	703.4	-	-	613.8	-	-
PROJECT TOTAL	906.0	-	1,506	825.1 821.0	-	1,506
Notes:						
¹ Only Major Roads and Easements/Existing uses within the City of Menifee are accounted for in Amendment No. 5.						

Detailed descriptions of the substantive changes proposed by MENIFEE NORTH Specific Plan No. 260, Amendment No. 5 are provided below.

□ AREA OF CHANGE - PLANNING AREA 9

Amendment No. 5 proposes to: 1) ~~redesignate~~ modify the density of Planning Area 9 from ~~Medium Density Residential~~ 3.5 du/ac to Medium High Density Residential 5.8 du/ac; 2) ~~increase~~ decrease the Planning Areas size from 30.5 acres to ~~34~~ 229.4 acres and 3) increase the number of residential units from 106 to 170 residential units. The aforementioned changes are summarized in Table I-2 and depicted in Figure I-3.

TABLE I-2
PLANNING AREA 9 – STATISTICAL COMPARISON

ADOPTED AMENDMENT NO. 3				PROPOSED AMENDMENT NO. 5			
P. A.	LAND USE	ACRES	DU's	P. A.	LAND USE	ACRES	DU's
9	Medium Density Residential	30.5	106	9	Medium High Density Residential	34 <u>229.4</u>	170

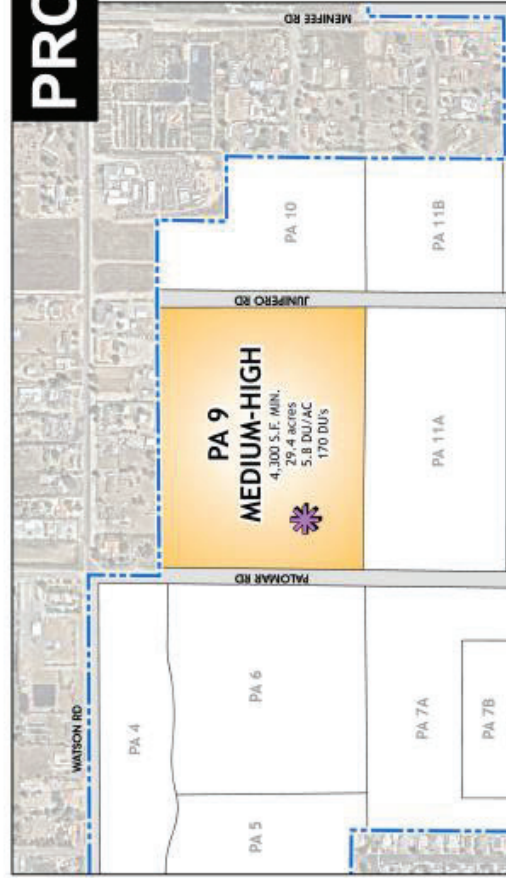
□ AREA OF CHANGE - PLANNING AREAS 22 AND 23A

Amendment No. 5 proposes to combine Planning Areas 22 (Medium-High Density Residential) and 23A (High Density Residential) into a single residential planning area (proposed Planning Area 22), with a density of 5.5 du/ac ~~designated Medium High Density Residential~~. Amendment No. 5 proposes to: 1) ~~redesignate the proposed consolidated Planning Area 22 as Medium High Density Residential~~; 2) ~~decrease~~ the proposed Planning Area size from 29.1 acres to ~~28~~ 826.5 acres; ~~32~~ decrease the number of residential units from 209 (56 units in PA 22 and 153 units in PA 23A) to 145 units; and 43) redesignate Planning Area 23B as Planning Area 23, to reflect the consolidation of Planning Areas 22 and 23A into PA 22. The aforementioned changes are summarized in Table I-3 and graphics depicted in Figure I-3.

TABLE I-3
PROPOSED PLANNING AREA 22 – STATISTICAL COMPARISON

ADOPTED AMENDMENT NO. 3				PROPOSED AMENDMENT NO. 5			
P. A.	LAND USE	ACRES	DU'S	P. A.	LAND USE	ACRES	DU'S
22	Medium High Density Residential	11.0	56	22	Medium High Density Residential	26.58 26.588	145
23A	High Density Residential	18.1	153				

23B	Commercial	23.7	--	23	Commercial	23.7	--
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Sources: Esri, RCCLM4 (2024), Aerialmap Aerial (September 2023)



FIGURE - I-3

PROPOSED SPECIFIC PLAN LAND USE PLAN (AREAS OF CHANGE)
 I. SUMMARY OF CHANGES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. While a General Plan examines an entire City, a Specific Plan will concentrate on the individual development issues of a particular project. Amendment No. 5 to the *MENIFEE NORTH* Specific Plan has been created to provide a comprehensive development plan for the ~~825-1821.0~~-acre site that is consistent with the recommendations and requirements set forth by Section 9.100 of the City of Menifee Development Code.

C. PROJECT SUMMARY

MENIFEE NORTH, is located on approximately ~~825-1821.0~~ acres along Highway 74, between Trumble Road and Briggs Road, in the City of Menifee. Amendment No. 5 addresses modifications to Planning Area 9 and Planning Area 22. Planning Area 9 is located in the western portion of the Specific Plan, between Palomar Road and Junipero Road. Planning Area 22, is located in the eastern portion of the Specific Plan, between Malone Avenue and Briggs Road. Amendment No. 5 introduces residential lot sizes into these Planning Areas which create compact neighborhoods which were not previously available within the community, to provide more housing choices for residents of the City of Menifee.

In response to changing market conditions in the project area, this fifth amendment to Specific Plan 260, *MENIFEE NORTH*, is proposed to incorporate the following changes, which are summarized in Section 1, *Summary of Changes*, and reflected in Table II-1, *Land Use Summary*:

Table II-1
LAND USE SUMMARY

LAND USE	ACREAGE	DWELLING UNITS/ ACRE	MAXIMUM DWELLING UNITS
RESIDENTIAL			
7,200 SF Medium ⁽¹⁾	85.6	3.5	298
4,000 SF Medium High	15.2	5.6	85
4,300 SF Medium High	34.2 29.4	5.48	170
3,700 SF Medium High	28.8 26.5	5.05	145
High Density (Garden Courts)	11.9	7.3	87
Very High Density	29.4	19.9	586
RESIDENTIAL SUBTOTAL	202.4198.0	6.8	1,371
MIXED-USE			
Commercial/Very High Density Residential ⁽²⁾	9.2	14.7	135
MIXED-USE SUBTOTAL	9.2	14.7	135
NON-RESIDENTIAL			
Commercial	119.7	-	-
Commercial/Business Park	32.9	-	-
Industrial	221.1	-	-
Schools	9.4	-	-
Community Center/Park ⁽³⁾	23.9	-	-
Drainage Channels	15.9	-	-
Major Roads	89.3	-	-
Easements/Existing Uses	101.6	-	-
NON-RESIDENTIAL SUBTOTAL	613.8	-	-
PROJECT TOTAL	825.4821.0	-	1,506

Notes:

- (1) The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Areas 5 and 6, in either of the following two circumstances:
 (a) The project is designed for and restricted to senior citizen housing; or
 (b) The project is a mobile home park or mobile home subdivision.
 If this option is elected, the maximum number of dwelling units shown in Table II-1 may be exceeded up to a new maximum which is listed in Planning Area description for the relevant Planning Areas. The overall maximum number of dwelling units for the entire Specific Plan may not exceed 1,505.
- (2) PA 12A can be either maximum 67% residential or 100% commercial. PA 12B can be either maximum 100% residential or 100% commercial.
- (3) A 2.5-acre portion of Planning Area 10 (12.5 total acres) is fee-owned by Southern California Edison and is excluded from park programming and amenities.

will be constructed in *MENIFEE NORTH*. In order to create a full service, balanced community, the Specific Plan also will provide commercial, business park, industrial, recreation, public facility, and community land uses.

The project site has been divided into 26 planning areas on the basis of logical, separate units of development. Information on each of the planning areas within *MENIFEE NORTH* is provided in Table III-A, *Detailed Land Use Summary*, within Section III.B, *Planning Area Development Standards*, and in Planning Area Exhibits (Figures III-14 through III-30).

The proposed land uses within the *MENIFEE NORTH* Specific Plan include:

❖ **RESIDENTIAL** - The Specific Plan was formulated based on the goal of providing a variety of housing types, styles, sizes and values to attract a variety of homebuyers. The residential and mixed use element of the plan accounts for 211.3 acres of the project site, containing a maximum of 1,506 dwelling units. The housing mix will be spread over four density ranges varying from Medium Density Residential to Very High Density Residential, as described below.

- Medium Density Residential (3.5 du/ac) - consists of 298 dwelling units on 85.6 acres in Planning Areas 4, 5, 6, 15, and 18. Lot sizes in these areas are a minimum of 7,200 square feet.
- Medium-High Density Residential (5.3 ~~6~~ du/ac) - consists of ~~399~~ 400 dwelling units on ~~71.1~~ ~~5.2~~ acres in Planning Areas 7A, 9, and 22. The minimum lot sizes in these Planning Areas range from 3,700 to 4,300 square feet.
- High Density Residential (7.3 du/ac) – consisting of 87 dwelling units on 11.9 acres in Planning Area 7B. Residential uses in these areas consist of Garden Court homes.
- Very High Density Residential (14.7 – 19.9 du/ac) – consists of 586 dwelling units on 29.4 acres in Planning Areas 11A and 11B. Under special conditions, Planning Areas 12A and 12B may consist of 135 dwelling units on 9.2 acres. See Section III, *Planning Area Development Standards*, for detailed descriptions. Residential uses in these areas consist of Multi-Family homes.

The maximum density of Planning Areas 5 and 6 may be increased to 6.0 du/ac with a 5,000 square foot lot minimum if the planning area is designed for and restricted to senior citizen housing or if the planning area is a mobile home park or mobile home subdivision.

- **COMMERCIAL** - *MENIFEE NORTH* will contain several commercial sites totaling 119.7 acres, proposed for Planning Areas 8, 13A, 13B, 14, 16, 17, and 23. The commercial uses proposed will serve residents of *MENIFEE NORTH*, off-site users and persons employed in the area. The commercial sites are located to provide easy access for both on-site residents and the regional population. The provision of commercial uses is important not only for convenience, but also to satisfy commercial needs of the future population in this region.
- **COMMERCIAL/BUSINESS PARK** - The Commercial/Business Park use, totaling 32.9 acres of land, is proposed for Planning Area 19. This land use is intended to provide areas for wholesale commercial, business/office, support commercial and possibly some light industrial uses, as allowed in the City's Business Park (BP) zone.

- **INDUSTRIAL** - Industrial uses are located in Planning Areas 2 and 3 and total 221.1 acres of land. This land use is intended to support the commercial uses in the region and to blend in with the adjacent industrial uses.
- **SCHOOLS** – One elementary school site is planned within *MENIFEE NORTH*, containing a total of 9.4 acres, located in Planning Area 21. The Specific Plan satisfies the standards of the Perris Union and Romoland School Districts for the reservation of school sites as the project is implemented over the phasing period.
- **COMMUNITY PARKS/CENTER** - The *MENIFEE NORTH* project offers various active recreational opportunities. A 10-acre park is proposed in Planning Area 10 and an 11.4-acre community center/park exists in Planning Area 20, adjacent to the school site.
- **ROADS** - Major roadways totaling 89.3 acres will be developed in conjunction with the proposed project. On-site traffic will be handled by a hierarchical roadway system consisting of Expressway, Urban Arterial Highway, Arterial Highway, Major Highway, Secondary Highway, Industrial Collector, Collector, Rural, and Local roadways ranging in right-of-way width from 48 feet to 216 feet.

b. Land Use Development Standards

In order to ensure the orderly and sensitive development of the land proposed for *MENIFEE NORTH*, special techniques or mitigations have been created for each planning area. These area-specific standards, discussed in detail in Section III.B., Planning Area Development Standards, will assist in accommodating the proposed development and provide adequate transitions among neighboring land uses.

In addition to these specific techniques, project-wide development standards also have been prepared which complement the unique conditions within each planning area. These general standards are:

- 1) The total Specific Plan area shall be developed with a maximum of 1,506 dwelling units on ~~825-1821.0~~ acres, as illustrated on the *Specific Plan Land Use Plan* (Figure III-1). General uses permitted will include residential, commercial, business park, industrial, a school facility, recreation, and circulation as delineated on the *Specific Plan Land Use Plan* and in the individual planning areas (Figures III-14 through III-30).
- 2) Uses and development standards will be in accordance with the City of Menifee Zoning Ordinance and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.
- 3) Standards relating to signage, landscaping, parking and other related design elements will conform to the City of Menifee Development Code. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document will exceed the zoning code requirements. In addition, a Specific Plan Zoning Ordinance will be processed concurrently with this Specific Plan.
- 4) All project lighting shall be in accordance with applicable City of Menifee standards, including Chapter 9.205 of the Development Code regarding Lighting Standards.

- 5) Development of the property shall be in accordance with the mandatory requirements of all City of Menifee ordinances, including Grading and Subdivision Ordinances. Development shall conform substantially with adopted Amendment No. 4.5 to Specific Plan No. 260, as filed in the office of the City of Menifee Community Development Department, unless otherwise amended. This Specific Plan conforms with state laws.
- 6) Except for the Specific Plan Zoning Ordinance adopted concurrently with this Specific Plan, no portion of this Specific Plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- 7) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application provided that if the maintenance organization is a property owner's association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 8) Common areas identified in the specific plan shall be owned and maintained as follows:
- a) A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, and landscaped areas (including those in commercial, commercial/business park, business park, and industrial areas). The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division or issuance of any building permit for any approved development permit (use permit, plot plan, etc.). The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
- 9) The permittee shall defend, indemnify, and hold harmless the City of Menifee or its agents, officers, and employees from any claim, action, or proceeding against the City of Menifee or its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Menifee, its advisory agencies, appeal boards or legislative body concerning Specific Plan No. 260. The City of Menifee will promptly notify the permittee of any such claim, action, or proceeding against the City of Menifee and will cooperate fully in the defense. If the City fails to promptly notify the permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Menifee.

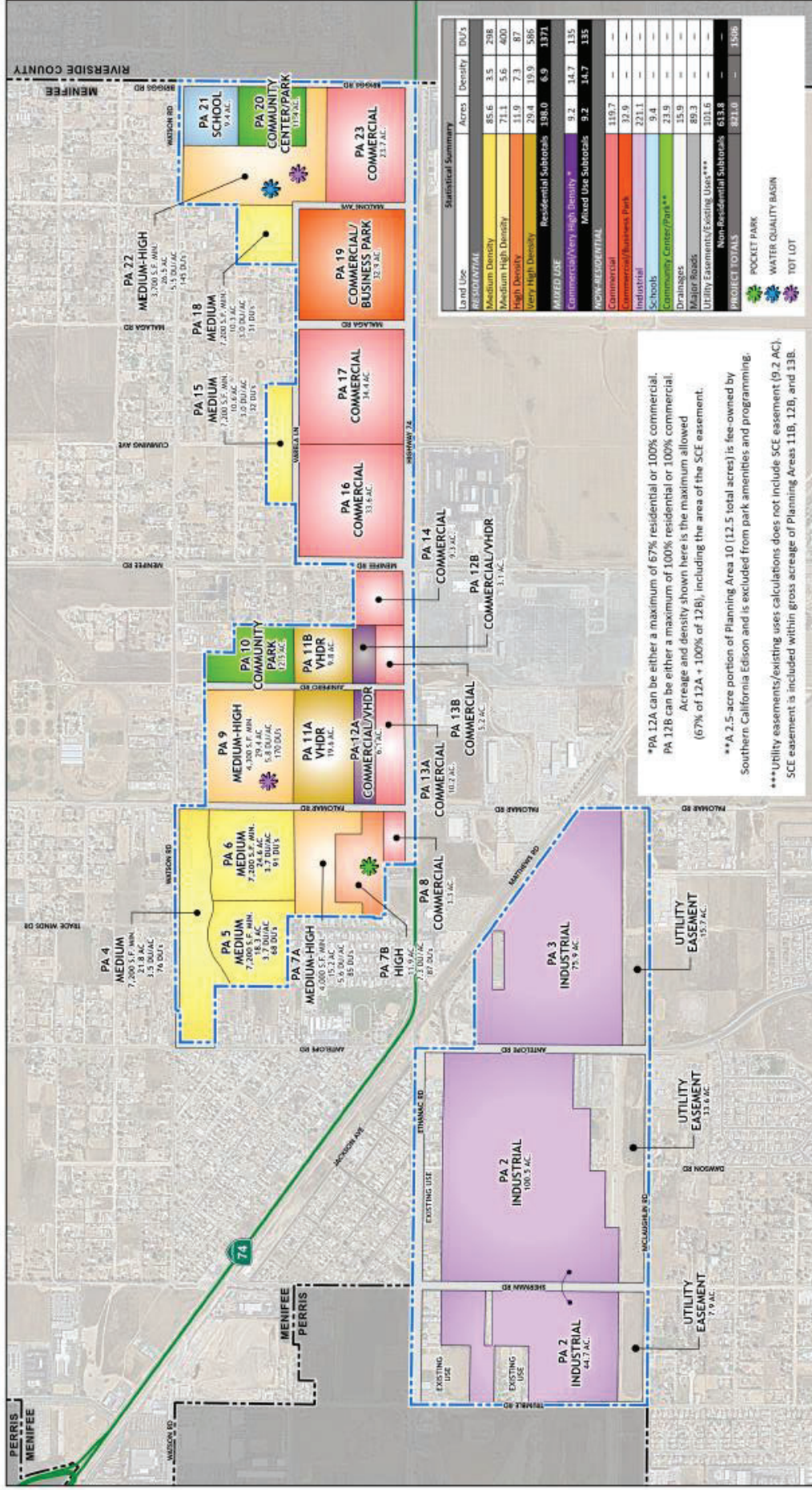


FIGURE - III-1

SPECIFIC PLAN LAND USE PLAN
III. SPECIFIC PLAN
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

Table III-1A
MENEFEE NORTH

DETAILED LAND USE SUMMARY

DESIGNATION	PLANNING AREA	ACREAGE (GROSS)	TARGET DENSITY	DWELLING UNITS
RESIDENTIAL				
Medium - 7,200 SF min.	4	21.8	3.5	76
	5	18.3	3.7	68
	6	24.6	3.7	91
	15	10.6	3.0	32
	18	10.3	3.0	31
SUBTOTAL - MEDIUM - 7,200 SF MIN.		85.6	3.5	298
Medium High - 4,300 SF min.	9	31.2 29.4	5.48	169 170
SUBTOTAL - MEDIUM HIGH - 4,300 SF MIN.		31.229.4	5.48	169170
Medium High - 4,000 SF min.	7A	15.2	5.6	85
SUBTOTAL - MEDIUM HIGH - 4,000 SF MIN.		15.2	5.6	85
Medium High - 3,700 SF min	22	28.8 26.5	5.51	145
SUBTOTAL - MEDIUM HIGH - 3,700 SF MIN.		28.826.5	5.51	145
High Density - Garden Courts	7B	11.9	7.3	87
SUB-TOTAL HIGH DENSITY		11.9	7.3	87
Very High Density	11A	19.6	19.9	586
	11B	9.8		
SUBTOTAL VERY HIGH DENSITY		29.4	19.9	586
RESIDENTIAL SUBTOTALS		202.4198.0	6.8	1,370371
MIXED-USE				
Commercial/Very High Density	12A	6.1	14.7	135
	12B	3.1		
SUBTOTAL MIXED- USE		9.2	14.7	135
NON-RESIDENTIAL				
Commercial	8	3.3	—	—
	13A	10.2	—	—
	13B	5.2	—	—
	14	9.3	—	—
	16	33.6	—	—
	17	34.4	—	—
SUBTOTAL - COMMERCIAL		23.7	—	—
SUBTOTAL - COMMERCIAL		119.7	—	—

Table III-1A
MENIFEE NORTH

DETAILED LAND USE SUMMARY

DESIGNATION	PLANNING AREA	ACREAGE (GROSS)	TARGET DENSITY	DWELLING UNITS
Commercial/Business Park	19	32.9	—	—
SUBTOTAL - COMMERCIAL/BUSINESS PARK		32.9	—	—
Industrial	2	145.2	—	—
	3	75.9	—	—
SUBTOTAL - INDUSTRIAL		221.1	—	—
Schools	21	9.4	—	—
SUBTOTAL - SCHOOLS		9.4	—	—
	10	12.5	—	—
	20	11.4	—	—
SUBTOTAL - COMMUNITY PARKS/CENTER		23.9	—	—
Drainage Channels/Basin	--	15.9	—	—
Utility Easements/Existing Uses	--	101.6	—	—
Major Roadways	--	89.3	—	—
NON-RESIDENTIAL SUBTOTALS		613.8	—	—
PROJECT TOTALS		825.4821.0	—	1,506

Table III-2, Approved Tract Maps, identifies the Planning Areas with approved Tract Maps, as well as associated dwelling units approved and constructed.

Table III-1B
Approved Tract Maps

Planning Area	Land Use Designation	Maximum Dwelling Units	Approved Tract Map Number	Dwelling Units Mapped	Dwelling Units Built
4	7200 Medium Residential ⁽¹⁾	76	29495	56	==
5	7200 Medium Residential ⁽²⁾	68	29495	71	20
6	7200 Medium Residential ⁽²⁾	91	29495	85	--
7A	4000 Medium High Residential	85	--	=	--
7B	High Density Residential	87	--	--	--
9	4300Medium High Density Residential	169 170	38132	169	--
11A	Very High	586	--	--	--
11B	Very High		--	--	--
12A	Commercial / Very High Residential ⁽³⁾	135	--	--	--
12B	Commercial / Very High Residential ⁽³⁾		--	--	--
15	7200 Medium Residential	32	--	--	--
18	7200 Medium Residential	31	--	--	--
22	3700 Medium High Residential	145	38133	145	--
PROJECT TOTALS		1,506		526	20

Notes:

1. A total of 56 dwelling units are mapped on a portion of Planning Area 4.
2. The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Areas 5 and 6 in either of the following two circumstances:
a. The project is designed for and restricted to senior citizen housing; or
b. The project is a mobile home park or mobile home subdivision.
If this option is elected the maximum number of dwelling units show in Table II may exceed up to a new maximum which is listed in Planning Area description for the relevant Planning Area. The overall maximum number of dwelling units for the entire Specific Plan may not exceed 1,506.
3. PA12A can be either maximum 67% residential or 100% commercial. PA 12B can be either maximum 100% residential or 100% commercial.

2. CIRCULATION PLAN

a. Circulation Plan Description

The primary goal of the Circulation Plan is to provide direct and convenient access to individual residential neighborhoods, schools, recreation areas, and commercial, business park and industrial facilities through a safe and efficient hierarchy of roadways. Non-vehicular circulation will be promoted through the provision of bicycle lanes and sidewalks.

As illustrated in the *Conceptual Circulation Plan* (Figure III-2), the Specific Plan requires the construction of approximately 89.3 acres of roads. Amendment No. ~~4~~5 has modified the Circulation Plan in conformance with the City of Menifee General Plan Circulation Element.

Principal east-west roadway access to and through the site will be provided by the existing Highway 74 and the improved Ethanac Road Corridor. Primary north-south traffic through the project site will be conveyed via Menifee Road, proposed on-site as an Urban Arterial with a 152' ROW, and Antelope

- 4a) The minimum interior local street width may be reduced from the 60-foot standard to no less than 56 feet for the purpose of providing more landscaped area as approved by Public Works Director/City Engineer.
- 4b) A reduction in the width of a local street may be appropriate to reduce traffic speeds on internal residential streets as determined by the City approved Transportation Impact Analysis. Such reduction in pavement width must be utilized to accomplish other design objectives, e.g., enhancing the buffer treatment of reverse frontage lots, providing for sheltered parking opportunities, or incorporating bus stop turnouts.
- 4c) The minimum interior local street width in Planning Area 9 and Planning Area 22 may be reduced from the 60-foot standard to no less than 56 feet as approved by the Public Works Director/City Engineer. Interior local streets in these planning areas consist of 32 - 40 feet of paving (curb-to-curb), a 6-foot curb-adjacent sidewalk, and 4-foot-wide landscaped parkway at the edge of the right-of-way on both sides of the street.
- 5) Landscape requirements shall be in accordance with the 2020 City Adopted Design Guidelines as depicted in Section IV, Design Guidelines.
- 6) Major roadway improvements shall be financed through an assessment district or similar financing mechanism.
- 7) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the City.
- 8) All projects, including subdivisions and plot plans within this Specific Plan, shall be subject to the Development Monitoring Program as described in the Development Monitoring Program (Section II.C) of this Specific Plan.
- 9) Any application for any subdivision within the Specific Plan boundary (including a Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
- 10) All roadways intersecting four lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with City-adopted Standard Details (2019) and adopted City General Plan.
- 11) All typical sections shall be per City-adopted Standard Details (2019), or as approved by the Public Works – Engineering Department.
- 12) All intersection spacing and/or access openings shall be per City Resolution 19-770, or as approved by the Public Works – Engineering Department.
- 13) No textured pavement accents will be allowed within any City right-of-way.
- 14) Mid-block crosswalks are not approved.

Table III-2
CIRCULATION ELEMENT ROADWAYS

ROADWAY NAME	CURRENT AMENDMENT NO. 4 CIRCULATION ELEMENT CLASSIFICATION	PROMOTED AMENDMENT NO. 5 CIRCULATION ELEMENT CLASSIFICATION
Highway 74/Ethanac Road	Expressway 220' ROW	Expressway 216' ROW
<u>Watson Road</u> (Antelope to Western boundary of Planning Area 22)	Secondary 100' ROW	Secondary 100' ROW
<u>Watson Road</u> (Malone Avenue to Briggs Road)	Secondary 100' ROW	<u>Modified Secondary</u> <u>94' ROW</u>
McLaughlin Road (Trumble Road to Antelope Road)	Secondary 100' ROW	Secondary 100' ROW
<u>McLaughlin Road</u> (Antelope Road to Palomar Road)	<u>Collector</u> <u>74' ROW</u>	<u>Collector</u> <u>74' ROW</u>
Sherman Road (McLaughlin to Highway 74)	Major 118' ROW	Major 118' ROW
Antelope Road (McLaughlin to Highway 74)	Secondary 100' ROW	Secondary 100' ROW
Antelope Road (Highway 74 to Watson)	Major 118' ROW	Major 118' ROW
Palomar Road (McLaughlin to Mathews and (Mathews to Highway 74)	Secondary 110' ROW	Secondary 110' ROW
Palomar Road (Highway 74 to Cider Street)	Industrial Collector 78' ROW	Industrial Collector 78' ROW
<u>Palomar Road</u> (Southern boundary of Planning Area 9 to Northern boundary of Planning Area 9)	Industrial Collector 78' ROW	<u>Modified Secondary</u> <u>88' ROW</u>
Menifee Road (Highway 74 to Watson)	Arterial 152' ROW	Arterial 152' ROW
Malaga Road (Highway 74 to N. project boundary Street "A")	Secondary 100' ROW	Secondary 100' ROW
Briggs Road	Major 118' ROW	Major 118' ROW
<u>Briggs Road (Along Planning Area 22)</u>	Major <u>118' ROW</u>	<u>Modified Major</u> <u>123' ROW</u>
<u>Malone Avenue</u> (North of Varela Lane)	<u>Enhanced Local Road</u> <u>66' ROW</u>	<u>Local Road</u> <u>60' ROW</u>
<u>Malone Avenue</u> (South of Varela Lane)	<u>Industrial Collector</u> <u>78' ROW</u>	<u>Modified</u> <u>Industrial Collector</u> <u>66' ROW</u>

- 1) The community parks will be provided for the benefit of all residents within the community.
- 2) At a minimum, the community parks will contain the following facilities/equipment: Picnic area(s), tot lot(s), one sports field or basketball court, restrooms and parking areas.
- 3) Planning Area 10 Park Construction:
 - a. The construction of the community park in Planning Area 10 will require a cost sharing agreement between the City of Menifee and the developers of Planning Areas within the Specific Plan, with the timing of construction conditional on identified building permit triggers.
 - b. Units recorded prior to the incorporation of the City of Menifee in 2008 will be excluded from calculations determining park construction timing requirements for Planning Area 10.
 - c. Prior to the issuance of the 400th Building Permit within the Specific Plan, a minor plot plan application shall be submitted and approved by the Community Services Department and/or Community Development Department showing conceptual park plans for Planning Area 10.
 - d. Prior to the issuance of the 550th Building Permit within the Specific Plan, working/construction park plans shall be submitted and approved by the Community Services Department and/or Engineering and Public Works Department for the park within Planning Area 10.
 - e. Prior to the issuance of the 650th Building Permit within the Specific Plan, the park within Planning Area 10 shall be constructed.
- 4) The community parks (Planning Areas 10 and 20) and landscaped parkways will be publicly owned and maintained. Possible maintenance mechanisms include the City Community Facilities District, Valley-Wide Recreation and Park District, or other service entity. The maintenance mechanism shall be selected at the time that the first implementing development application is submitted.
- 5) All recreational facilities will be landscaped, and where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
- 6) All recreational facilities will provide parking in accordance with Section 9.215 of the City of Menifee Development Code.
- 7) Landscaping within recreation and open space areas will be further governed by the Development Standards contained with this Specific Plan (Section III.B.7.) and the Design Guidelines contained within this Specific Plan (Section IV).

TABLE III-6
PHASING SUMMARY

LAND USE	PLANNING AREA	ACRES	MAXIMUM DWELLING UNITS
PHASE I			
Medium Residential	5	18.3	68
Medium Residential	6	24.6	91
Commercial	13A	10.2	—
	13B	5.2	—
	14	9.3	—
	16	33.6	—
Medium Residential	18	10.3	31
Medium-High Residential	22	28.8 26.5	145
SUBTOTAL - PHASE I		140.3138.0	335
PHASE II			
Medium Residential	4	21.8	76
Commercial	8	3.3	—
Community Park	10	12.5*	—
Very High Density Residential (VHDR)	11A	19.6	586
Very High Density Residential (VHDR)	11B	9.8	
Mixed-Use (Commercial/VHDR)	12A	6.1	135
Mixed-Use (Commercial/VHDR)	12B	3.1	
Medium Residential	15	10.6	32
Commercial	17	34.4	—
Commercial/Business Park	19	32.9	—
Commercial	23	23.7	—
SUBTOTAL - PHASE II		177.8	829
PHASE III			
Medium-High Residential	7A	15.2	85
High Residential	7B	11.9	87
Medium-High Residential	9	31.2 29.4	469 170
Community Center/Park	20	11.4	—
SUBTOTAL - PHASE III		69.77.9	341342
OTHER LAND USES			
Industrial (Phases 1, 2, and 3)	2, 3	221.1	—
Schools	21	9.4	—
Major Roads	—	89.3	—
Easements/Existing Uses	—	101.6	—
Drainage Channels	—	15.9	—
SUBTOTAL - OTHER LAND USES		437.3	—
PROJECT GRAND TOTAL		821.051	15051506
Note: *A 2.5-acre portion of Planning Area 10 is owned in fee by Southern California Edison and is excluded from parkland amenities and programming.			

10. COMPREHENSIVE MAINTENANCE PLAN

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for common project facilities will be divided among a Master Maintenance Organization, Neighborhood Associations or similar financing mechanisms. The decision regarding the maintenance mechanism will be made at a future stage of project design and review in concert with City agencies.

a. **Master Maintenance Organization**

Common areas identified in the Specific Plan shall be owned and maintained by a permanent public master maintenance organization, such as the City's Community Facilities District, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas (including those in commercial areas). Areas of responsibility would include the community parks, the community center, parkway landscaping medians, entry monuments, open space and the community trail. The Valley-Wide Recreation and Park District is a possible maintenance mechanism that could maintain all project level facilities. The District currently maintains the Marion V. Ashley Park and Community Center in Planning Area 20, and performs similar functions in Hemet and in the Menifee project south of *MENIFEE NORTH*. *MENIFEE NORTH* is currently within the Valley-Wide sphere of influence but is not within or abutting the current District boundaries. Under the current procedures and regulations, annexation or the project site and certain intervening properties would be necessary.

b. **Residential Neighborhood Associations**

In certain residential areas of the project, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Potential private recreation centers, mini-parks, common open space areas, and potential private roadways exemplify facilities that may be under the jurisdiction of a neighborhood association.

c. **Commercial/Business Park/Industrial Areas**

Commercial, Business Park and Industrial planning areas may have their own private associations. If no association is formed, a common maintenance charge will be assessed to cover common area maintenance. Maintenance for these planning areas also may be assumed by individual property owners.

d. **Project Roadways**

All public project roadways and private streets will be designed and constructed to standards acceptable to the City. All public roads will be entered into the City system of roads for operation and maintenance, as approved by the Menifee City Council. Private roadways, if any, will be maintained by a private homeowners' association.

e. **School Sites**

Maintenance responsibilities for the school site in Planning Area 21 are overseen by the governing School District (Romoland).

B. PLANNING AREA DEVELOPMENT STANDARDS

Development standards for *MENIFEE NORTH* have been established at three levels: *General Development Provisions*, which were addressed in Section III; *Design Guidelines*, which are provided in Section IV; and *Planning Area Development Standards* to which this section is devoted. In addition, the standards of the Specific Plan Zone applicable to *MENIFEE NORTH* shall apply.

This section identifies the planning standards for each land use designation, including permitted/conditional/ancillary land uses, minimum lot sizes, building setbacks, building height, and other development standards. In addition, standards are provided for the community's infrastructure, open space, grading and maintenance.

The Permitted Uses and Development Standards found in this section shall constitute the zoning for MENIFEE NORTH. In cases where no standard is provided, the City of Menifee's Zoning Ordinance will govern the Permitted Uses and Development Standards, unless otherwise noted.

Planning areas were selected on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning, relationship to adjoining product and surrounding topography.

The planning area graphics for this section (Figures III-14 to III-30) were derived from the *Conceptual Landscape Plan* (Figure IV-1). The site plans depicted herein are only conceptual in nature. Although development may conform closely to some elements of the illustrative plans provided in Section IV it is anticipated that actual lotting will not be determined until the tract map stage.

Please note: Planning Area 1, which was originally designated for 18 acres of Commercial/Business Park use, was annexed to the City of Perris and was therefore deleted from Specific Plan No. 260.

9. PLANNING AREA 9: MEDIUM HIGH DENSITY RESIDENTIAL

a. **Descriptive Summary**

Planning Area 9, as depicted in Figure III-19, provides for development of ~~31,229.4~~ acres of Medium High Density residential uses with minimum lot sizes of 4,300 square feet. A maximum total of ~~169~~ 170 dwelling units are planned at a target density of ~~5.48~~ du/ac. Planning Area 9 shall also include a small tot lot, which may include play equipment, a shaded picnic court, and open field or lawn. Planning Area 9 abuts a planned 12.5-acre park within Planning Area 10 and will provide connection to the park via sidewalks.

b. **Land Use and Development Standards**

Please refer to Table III-13A for Permitted Uses and III-13B for Development Standards. Other uses not listed shall not be permitted.

c. **Planning Standards**

- 1) Access to Planning Area 9 shall be provided from Palomar Road and Junipero Road.
- 2) A roadway landscape treatment, as depicted in Figure IV-23, *Modified Secondary Road Streetscape – Palomar Road (PA9) and Watson Road (PA22)*, shall be provided along Palomar Road.
- 3) A roadway landscape treatment, as depicted in Figure IV-24, *Collector Streetscape – Junipero Road (PA 9)*, shall be provided along Junipero Road.
- 4) A special landscape treatment shall be established between the residential uses in Planning Area 9 and the adjacent existing residential uses, as shown on Figure IV-8, *Residential (PA 9)/Adjacent Existing Residential Interface*.
- 5) Tree plantings are prohibited on the western boundary of Planning Area 9, along Palomar Road, in conformance with the existing SCE easement development restrictions.

6) Please refer to Section IV, Design Guidelines, for design-related criteria.

7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

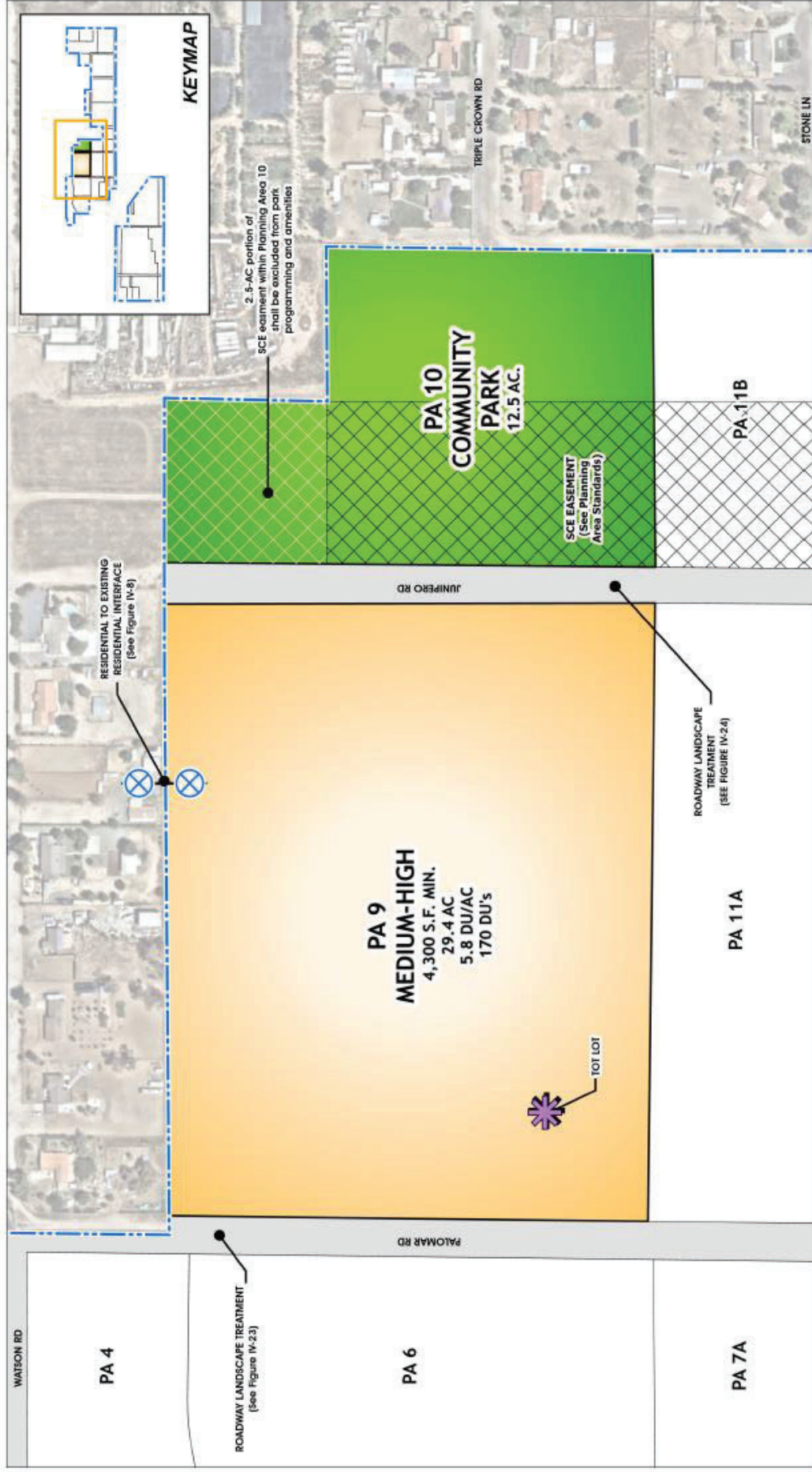
III.A.1: Specific Land Use Plan	III.A.6: Grading Plan
III.A.2: Circulation Plan	III.A.7: Landscaping Plan
III.A.3: Drainage Plan	III.A.8: Public Facilities Phasing Plan
III.A.4: Water and Sewer Plans	III.A.9: Phasing Plan
III.A.5: Open Space and Recreation Plan	

TABLE III-13A
PERMITTED USES
PLANNING AREA 9 (MEDIUM-HIGH DENSITY RESIDENTIAL)

USE CATEGORY	PERMITTED USES	PLANNING AREA 9
RESIDENTIAL	P = Permitted (I) • C = Conditional Use Permit	
	<u>Accessory Dwelling Units (ADU).</u>	<u>PW</u>
	<u>Bed and break fast establishment.</u>	<u>C</u>
	<u>Congregate care facilities.</u>	<u>C</u>
	<u>Family day care home, small.</u>	<u>P</u>
	<u>Groups residential facility, six or fewer residents.</u>	<u>P</u>
	<u>Guest house, accessory to single-family detached.</u>	<u>PW</u>
	<u>Home occupation.</u>	<u>PW</u>
	<u>Single-family detached.</u>	<u>P</u>
	<u>Parks and recreation areas.</u>	<u>P</u>
NON-RESIDENTIAL	<u>Public utility facilities.</u>	<u>C</u>
	<u>Temporary real estate tract offices.</u>	<u>P</u>
	<u>Waterbodies, flood control facilities, including drainage channels, basins, access roads, and any other drainage infrastructure improvements.</u>	<u>P</u>
NOTES:		
1) <u>Additional approvals may be required pursuant to provisions of Chapter 9.35 of the City Zoning Ordinance.</u>		

TABLE III-13B
DEVELOPMENT STANDARDS
PLANNING AREA 9 (MEDIUM-HIGH RESIDENTIAL)*

DEVELOPMENT STANDARD	PLANNING AREA 9 REQUIREMENTS
LOT DIMENSIONS (MINIMUM)	
Lot Area (Sq. Ft)	<u>4,300</u>
Lot Width (Feet)	<u>48</u>
Lot Depth (Feet)	<u>90</u>
Frontage (Feet)	<u>40</u>
Frontage for a Cul-De-Sac or Knuckle (Feet) ⁽¹⁾	<u>35</u> ⁽²⁾
SETBACKS (MINIMUM)⁽³⁾	
Front Yard to Livable Space or Porch (Feet)	<u>15 to Living Space</u> <u>10 to Porch</u>
Front Yard to Garage Door (Feet)	<u>20</u>
Front Yard to Side-On Garage Door (Feet)	<u>10</u>
Corner Side Yard (Feet)	<u>10; or 5'; if corner side yard abuts a landscape slope.</u> <u>In no case shall setback be less than 10' when measured from right-of-way.</u>
Interior Side Yard (Feet)	<u>5</u>
Rear Yard (Feet)	<u>15' with a minimum 10' level area</u>
BUILDING HEIGHT (MAXIMUM)	
Building Height (Feet)	<u>50</u>
BUILDING COVERAGE (MAXIMUM)	
Building Coverage (Percent)	<u>60% (One-story)</u> <u>55% (Two-story)</u>
OPEN SPACE COVERAGE (MINIMUM)	
Open Space	<u>Exempt (See Quimby Parkland Requirements in Section III.5 of the Specific Plan)</u>
Private Open Space/Unit (Sq. Ft)	<u>100</u>
ADDITIONAL STANDARDS	
Required Parking	<u>Automobile storage space shall be provided as required by Section 9.215 of the City of Menifee Zoning Code.</u>
NOTES:	
<p>1) <u>Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.</u></p> <p>2) <u>Total frontage for knuckles shall not be less than 35 feet.</u></p> <p>3) <u>Setback encroachment allowances for architectural features and accessory structures can be found in 9.160.030 of the City of Menifee Development Code.</u></p>	



Sources: E. Env. RCT/MA (2024), Mapping, Aerial (September 2023)



FIGURE - III-19

PLANNING AREAS 9 & 10

III SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

III-90

22. PLANNING AREA 22: MEDIUM HIGH DENSITY RESIDENTIAL

a. **Descriptive Summary**

Planning Area 22, as depicted in Figure III-29, provides for development of ~~28.8~~26.5 acres of Medium High Density residential uses with minimum lot sizes of 3,700 square feet. A maximum total of 145 dwelling units are planned at a target density of 5.05 du/ac. Planning Area 22 shall also include a small tot lot, which may include play equipment, a shaded picnic court, and open field or lawn. The Marion V. Ashley Community Center and Park in Planning Area 20 will connect to the Planning Area 22 neighborhood via a pedestrian link.

b. **Land Use and Development Standards**

Please refer to Table III-23A for Permitted Uses and III-23B for Development Standards. Other uses not listed shall not be permitted.

c. **Planning Standards**

- 1) Access to Planning Area 22 shall be provided from Watson Road, Malone Avenue, and Varela Lane.
- 2) A landscape treatment shall be established between the residential uses in Planning Area 22 and the adjacent school in Planning Area 21 and Community Park in Planning Area 20, as shown on Figure IV-17A, *Residential/School Interface* and Figure 17-B, *Residential/Community Center West Interface*.
- 3) A landscape treatment shall be established between the residential uses in Planning Area 22 and the southern portion of the Community Park in Planning Area 20, as shown on Figure IV-18, *Residential/Community Center South Interface*.
- 4) A special landscape treatment shall be established between the residential uses in Planning Area 22 and the adjacent commercial area in Planning Area 23, as shown on Figure IV-13, *Residential (PA 22)/E Street/Commercial Retail (PA 23) Interface*.
- 5) A roadway landscape treatment shall be established between the residential uses in Planning Area 22 and Briggs Road, as shown on Figure IV-14, *Residential (PA 22)/Briggs Road*.
- 6) Roadway landscape treatments, such as those depicted in Figures IV-23, *Modified Secondary Highway Streetscape-Palomar Road (PA 9) and Watson Road (PA 22)*, and IV-25, *Local Road/Industrial Collector Streetscape-Malone Avenue (PA 22)*, shall be provided along Watson Road and Malone Avenue, respectively.

7) Please refer to Section IV, Design Guidelines, for design-related criteria.

8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

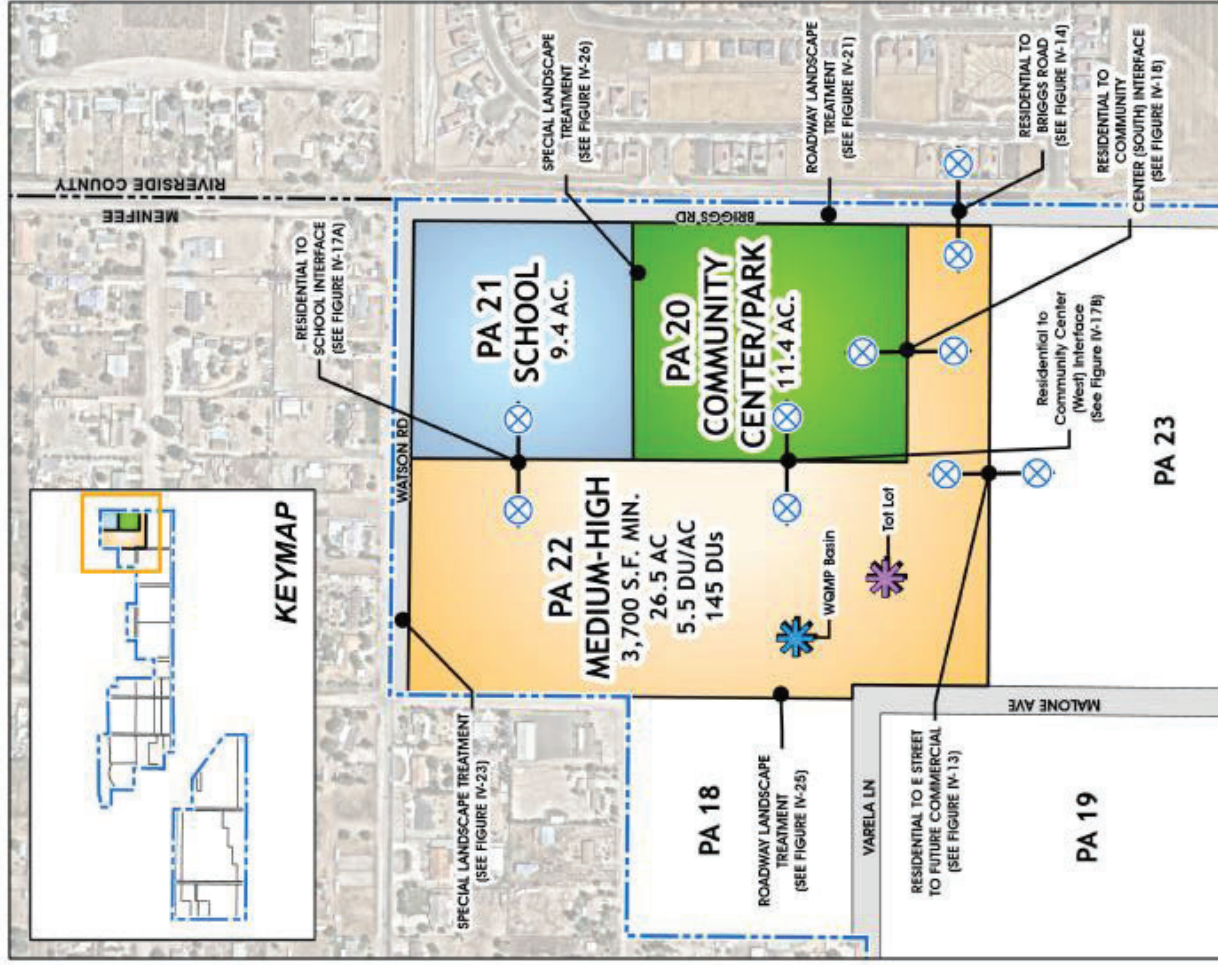
- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

TABLE III-23A
PERMITTED USES
PLANNING AREA 22 (MEDIUM-HIGH DENSITY RESIDENTIAL)

USE CATEGORY	PERMITTED USES	PLANNING AREA 22
	P = Permitted (I) • C = Conditional Use Permit	
RESIDENTIAL	<u>Accessory Dwelling Units (ADU).</u>	<u>P(U)</u>
	<u>Bed and breakfast establishment.</u>	<u>C</u>
	<u>Congregate care facilities.</u>	<u>C</u>
	<u>Family day care home, small.</u>	<u>P</u>
	<u>Groups residential facility, six or fewer residents.</u>	<u>P</u>
	<u>Guest house, accessory to single-family detached.</u>	<u>P(U)</u>
	<u>Home occupation.</u>	<u>P(U)</u>
	<u>Single-family detached.</u>	<u>P</u>
	<u>Parks and recreation areas.</u>	<u>P</u>
NON-RESIDENTIAL	<u>Public utility facilities.</u>	<u>C</u>
	<u>Temporary real estate tract offices.</u>	<u>P</u>
	<u>Waterbodies, flood control facilities, including drainage channels, basins, access roads, and any other drainage infrastructure improvements.</u>	<u>P</u>
NOTES: 1) <u>Additional approvals may be required pursuant to provisions of Chapter 9.35 of the City Zoning Ordinance.</u>		

TABLE III-23B
DEVELOPMENT STANDARDS
PLANNING AREA 22 (MEDIUM-HIGH DENSITY RESIDENTIAL)

DEVELOPMENT STANDARD	PLANNING AREA 22 REQUIREMENTS
LOT DIMENSIONS (MINIMUM)	
Lot Area (Sq. Ft)	<u>3,700</u>
Lot Width (Feet)	<u>42</u>
Lot Depth (Feet)	<u>90</u>
Frontage (Feet)	<u>40</u>
Frontage for a Cul-De-Sac or Knuckle (Feet) ⁽¹⁾	<u>35</u> ⁽²⁾
SETBACKS (MINIMUM)⁽²⁾	
Front Yard to Livable Space or Porch (Feet)	<u>15 to Living Space</u> <u>10 to Porch</u>
Front Yard to Garage Door (Feet)	<u>20</u>
Front Yard to Side-On Garage Door (Feet)	<u>10</u>
Corner Side Yard (Feet)	<u>10; or 5'; if corner side yard abuts a landscape slope.</u> <u>In no case shall setback be less than 10' when measured from right-of-way.</u>
Interior Side Yard (Feet)	<u>5</u>
Rear Yard (Feet)	<u>15' with a minimum 10' level area</u>
BUILDING HEIGHT (MAXIMUM)	
Building Height (Feet)	<u>50</u>
BUILDING COVERAGE (MAXIMUM)	
Building Coverage (Percent)	<u>60% (One-story)</u> <u>55% (Two-story)</u>
OPEN SPACE COVERAGE (MINIMUM)	
Open Space Required (Percent)	<u>Exempt (See Quimby Parkland Requirements in Section III.5 of the Specific Plan)</u>
Private Open Space/Unit (Sq. Ft)	<u>100</u>
ADDITIONAL STANDARDS	
Required Parking	<u>Automobile storage space shall be provided as required by Section 9.2.15 of the City of Menifee Zoning Code.</u>
NOTES:	
1) <u>Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.</u> 2) <u>Total frontage for knuckles shall not be less than 35 feet.</u> 3) <u>Setback encroachment allowances for architectural features and accessory structures can be found in 9.160.030 of the City of Menifee Development Code.</u>	



Source(s): Eds. RCTLMA (2024), Nearmap Aerial (September 2023)

FIGURE - III-29

PLANNING AREAS 20, 21, & 22
III. SPECIFIC PLAN
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

- To retain the rural nature of these interfaces, a 40-foot backyard setback is provided for on-site residential lots to create a landscaped buffer.
- Encourage on-site residential lots to establish generous backyard landscaping with informal groupings of both vertical and canopy trees to limit views from adjacent existing residential properties to proposed residential roof lines.
- A 6-foot-high community theme wall is provided at the property line.
- Where grading changes occur, incorporate contour grading techniques, avoiding sharp cut manufactured slopes to create a more natural appearance.

b. Residential (PA 9)/ Adjacent Existing Residential Interface (Figure IV-8)

This interface occurs along the northern boundary of Planning Area 9, which are adjacent to established, large lot residential neighborhoods. Figure IV-8 illustrates the residential uses in Planning Area 9 and the existing adjacent neighborhood, which incorporates the following components:

- A 15-foot rear yard setback with a minimum 10' level area.
- A 4-foot side yard setback for side on conditions.

An additional 10-foot set back starting at the 6-foot-high tubular steel fence at the rear property line of homes in Planning Area 9, consisting of a 5-foot landscaped slope at a 10:1 grade, a 5-foot wide concrete drainage swale, with a 6-foot high block wall at the tract boundary.

c. Secondary Road Streetscape / Adjacent Existing Residential Interface (Figure IV-9)

This land use transition is created where streetscape improvements for Watson Road are adjacent to established, large lot residential neighborhoods. The 88-foot street right-of-way separates on-site residential and school land uses from off-site uses. This land use transition, as illustrated in Figure IV-9, incorporates the following components:

- Watson Road shall incorporate an 11-foot landscape development zone with informal groupings of trees and small flowering accents to retain a rural feeling while limiting views.
- On-site residential lots are encouraged to provide generous backyard landscaping with informal groupings of trees to limit views from adjacent existing residential properties to proposed residential roof lines.
- A 6-foot-high community theme wall shall be provided at the property line of residential lots and school property abutting the Watson Road right-of-way.

Along portions of Watson Road, a channel right-of-way further separates on-site residential and school uses from off-site development, limiting view potential.

d. Drainage Channel/Business Park, Commercial & Industrial Interface (Figure IV-10)

g. Residential / Business Park, Mixed-Use and Commercial Interface (Figure IV-12)

This interface, shown in Figure IV-12 occurs where residential land uses, either existing or proposed, are adjacent to Business Park, Mixed Use or Commercial land uses. The following components apply:

- Site plans should strive to orient parking, vehicular circulation and loading and storage areas away from the residential interface. Where parking, vehicular circulation, loading or storage areas occur adjacent to residential areas, they should be separated from the residential areas by a minimum 10-foot-wide landscaping screening buffer.
- A 10-foot wide planning area shall be incorporated along the business park/commercial/mixed use side of the screen wall. Screening shall be provided at the commercial/business park/mixed-use edge by a 6-foot-high decorative wall which is compatible in appearance with the community walls.
- Planning areas in commercial, business park and mixed-use areas visible from adjacent residential lots shall be liberally and informally planted with a combination of vertical trees, canopy trees, shrubs, and groundcovers.
- Site plans for single family lots should strive to construct units a minimum of 15 feet from the property line adjacent to the transition area.

h. Residential (PA 22) / E Street / Commercial (PA 23) Interface (Figure IV-13)

This interface occurs where residential land uses in Planning Area 22 are adjacent to E Street and the Commercial land uses within Planning Area 23. Figure IV-13 illustrates the E Street roadway treatment between residential and commercial land uses, which incorporates the following components:

- A 56-foot right-of-way, consisting of 36 feet of paving, a 6-foot curb-adjacent sidewalk and a 4-foot landscaped parkway at the southerly right-of-way edge of the internal local street.
- A minimum 20-foot landscaped slope at a 2:1 grade, with a 5-foot-wide concrete swale at the toe of the slope, will be established at the tract boundary.
- Landscaped areas will be planted with a combination of vertical trees, canopy trees, shrubs, and groundcovers.

i. Residential (PA 22) / Briggs Road Interface (Figure IV-14)

This interface occurs between residential land uses in Planning Area 22 to Briggs Road. Figure IV-14 illustrates the Briggs Road roadway treatment between residential land uses and off-site conditions, which incorporates the following components:

- A 123-foot ultimate right-of-way, consisting of 38-feet of paving and a 21-foot-wide area which accommodates landscaping, including a 6-foot meandering sidewalk on the westerly section of Briggs Road. The additional 64 feet of improvements on the east of the Briggs Road centerline shall be improved by others.

- A maximum 6-foot-high block wall shall be provided at the property line.
- A 20-foot setback outside of the right-of-way, which includes a city maintained landscaped slope at a maximum 2:1 grade, extends from the 6-foot-high block wall at the rear property line to the westerly right-of-way.

j. Residential / Regional Trail / Open Space Interface (Figure IV-15)

This interface occurs where residential planning areas are adjacent to the regional trail and open space areas. In areas where grading will be required at up-hill natural slopes, a fuel modification interface shown on Figure IV-15, is proposed. This treatment will ensure proper revegetated edge conditions, provide for an aesthetic transition between natural and created conditions and if, and when necessary, reduce fire hazards. Per the Menifee Fire Department, the following components apply:

- A 6-foot-high solid masonry wall shall be provided at the rear of residential lots. Masonry walls shall provide for access openings for fire equipment every 1,500 linear feet.
- All areas disturbed by grading shall be revegetated with fire retardant plants subject to Menifee Fire Department approval.
- Any trees planted shall be located a minimum of 30 feet from the rear of residential property lines.

k. Regional Trail / Roadway/Commercial, Business Park & Residential Interface (Figure IV-16)

A portion of the regional trail will be located along project roadways (Briggs Road, McLaughlin Road, Street "C", and Emperor Road). In these areas, adequate buffering is required to separate the trail from the adjacent right-of-way and the adjacent residential lots or commercial or business park parking lots. This interface is depicted in Figure IV-16 and incorporates the following components:

- An 8-foot-wide planting area shall be provided between the pedestrian sidewalk and the regional trail. Canopy street trees shall be planted in this area in accordance with the *Conceptual Landscape Plan*.
- A 2-foot-wide planting area to accommodate shrubs and groundcover shall be provided between the regional trail and the adjacent land uses.
- Where residential lots abut the regional trail, a project theme wall shall be constructed at the property line.

l. Residential (PA 22) / School Interface (Figure IV-17A)

This interface occurs where the school site in Planning Area 21 is either adjacent to or abutting the residential homes in Planning Area22. Figure IV-17A illustrates the residential to school land use transitions, which reflect the following conditions:

- Condition A: Where the school site in Planning Area 21 abuts a local street, the land use transition incorporates the following components:
 - A 56-foot ultimate right-of-way, consisting of a 6-foot-wide curb-adjacent sidewalk and a 4-foot-wide landscaped parkway at the edge of the right of way on both sides of the street.

- A minimum 5-foot setback outside of the right-of-way extends from the easterly right-of-way to the tract boundary, and includes a maximum 2:1 city maintained landscaped slope and a 2-foot-wide v-ditch concrete drainage channel.
- A maximum 6-foot-high block wall may replace the existing chain link fence at the tract boundary of Planning Area 21.

- Condition B: Where homes in Planning Area 22 abut the school site in Planning Area 21, the land use transition incorporates the following components:

- A minimum 5-foot side yard setback.
- A 10-foot private drainage easement, as part of the side yard setback, extends to a maximum 2:1 slope (where required) which then terminates at a 2-foot-wide v-ditch drainage channel located at the existing chain link fence at the property line of homes in Planning Area 22 (Chain link fence may be removed during construction when replaced by block wall).

m. Residential (PA 22) / Community Center (West) Interface (Figure IV-17B)

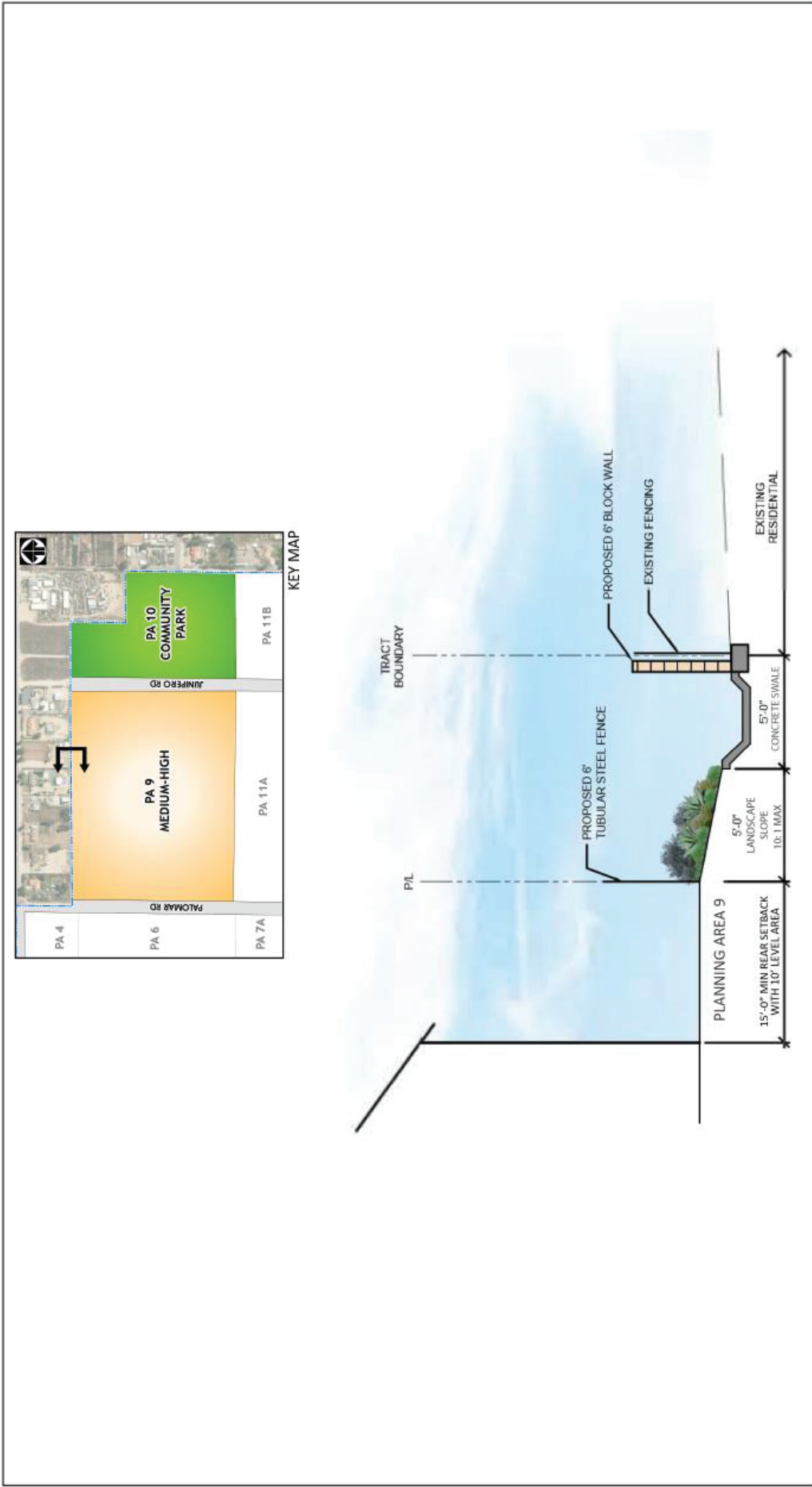
This interface occurs where residential land uses in Planning Area 22 are directly adjacent to the western portion of the Community Center within Planning Area 20. Figure IV-17B illustrates the residential to community center land use transition which incorporates the following components:

- A minimum 15-foot rear yard setback with a minimum 10' level area (or minimum 4-foot side yard setback, where applicable).
- A maximum 6-foot-high block wall (with a 4-foot-high retaining wall where applicable) shall be provided at the rear property line of homes in Planning Area 22 with an existing chain link fence at the tract boundary (Chain link fence may be removed during construction when replaced by block wall).

n. Residential (PA 22) / Open Space / Community Center (South) Interface (Figure IV-18)

This interface occurs where residential land uses in Planning Area 22 are directly adjacent to the southern portion of the Community Center within Planning Area 20. Figure IV-18 illustrates the on-site residential/open space/community center land use transition which incorporates the following guidelines:

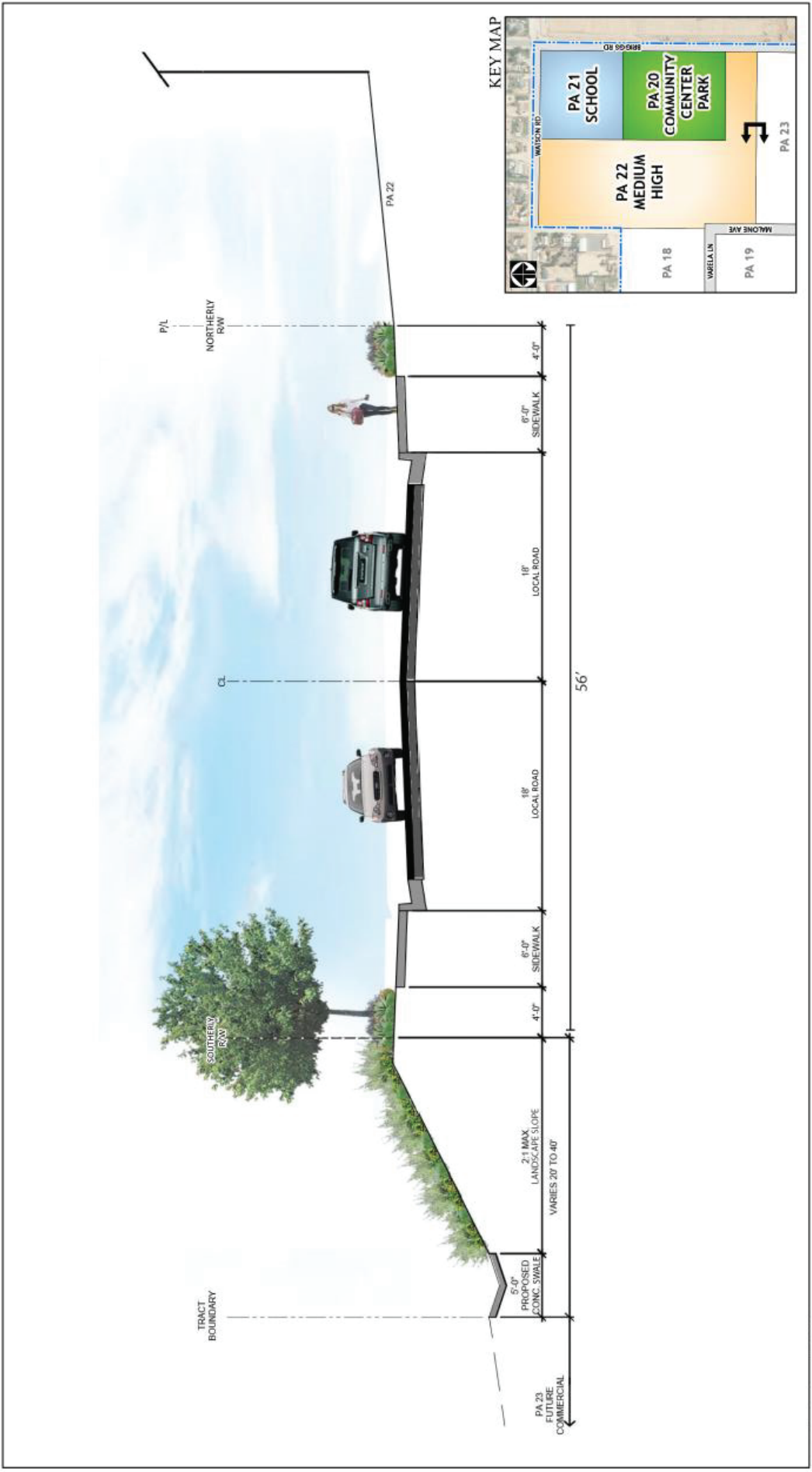
- A minimum 15-foot rear yard setback with a minimum 10' level area.
- A maximum 6-foot-high block wall (with a 4-foot-high retaining wall where applicable) shall be provided at the property line.
- A 46-foot set back extends from the 6-foot-high block wall at the rear property line and includes a 20-foot-wide landscaped slope at a maximum 2:1 grade, along with a 24-foot-wide area which accommodates landscaping, including a 6-foot-wide meandering sidewalk and a 3-foot-wide concrete swale (where required) which runs parallel to the existing chain link fence on the tract boundary. The existing chain link fence may be replaced with a tubular steel or wrought iron fence.



Sources: iG, Brightview (06-13-2021)



Not to Scale



Source(s): Errt, Brightview (08-11-2021)

Not to Scale

FIGURE - IV-13
RESIDENTIAL (PA 22) / "E" STREET COMMERCIAL (PA 23) INTERFACE
IV. DESIGN GUIDELINES
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



FIGURE - IV-14

RESIDENTIAL (PA 22)/BRIGGS ROAD INTERFACE

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

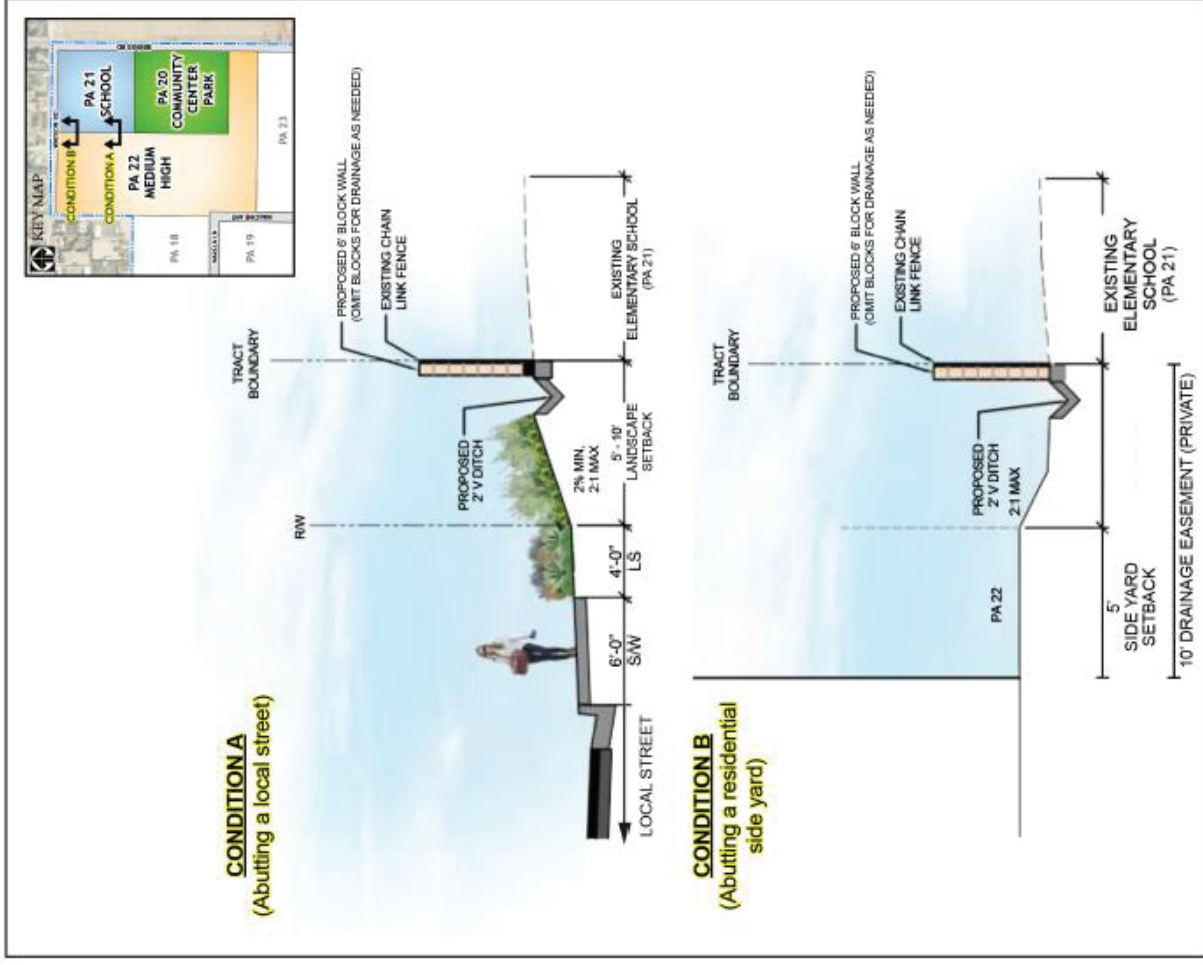
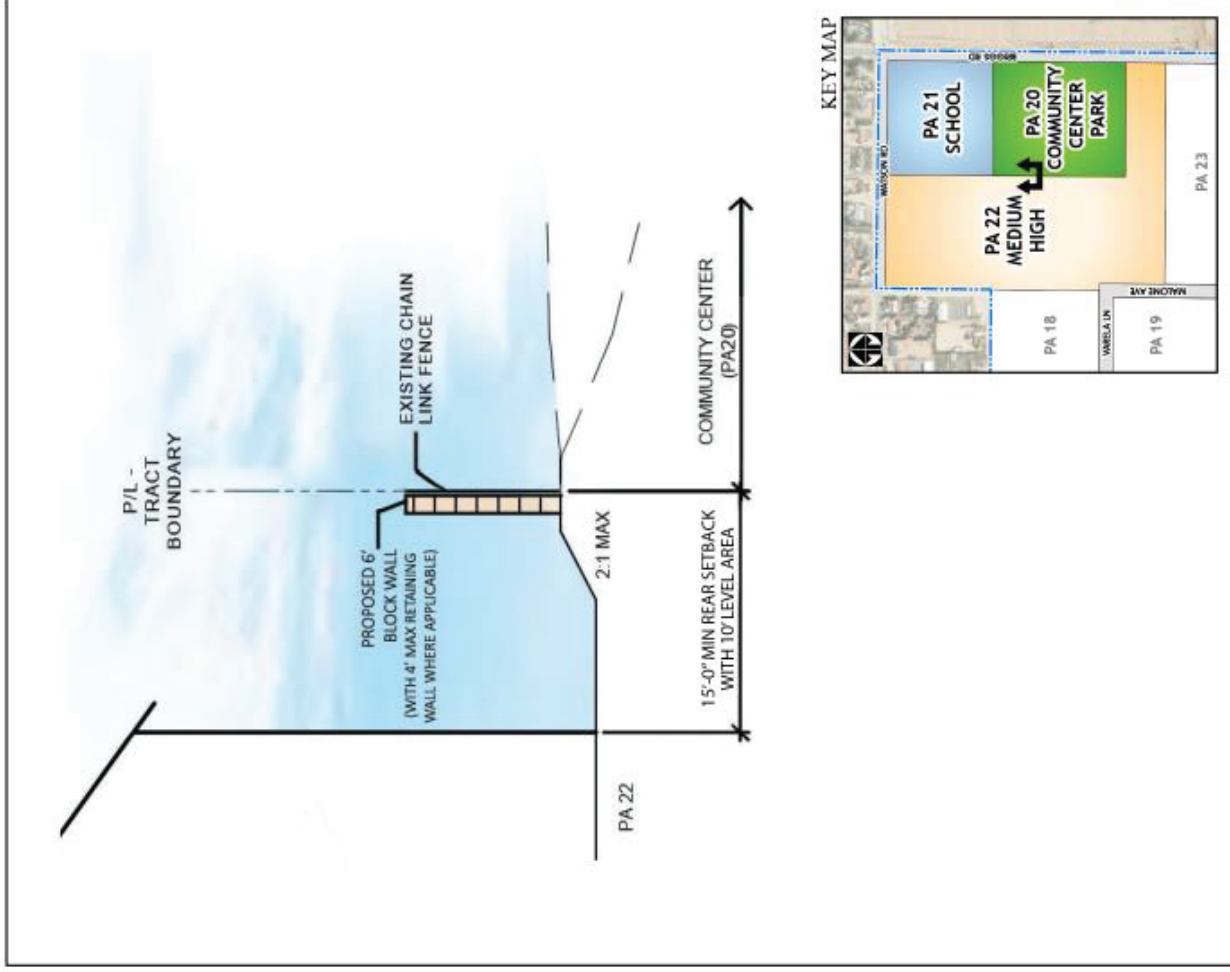


FIGURE - IV-17A



Source(s): Biginview (09-13-2021)

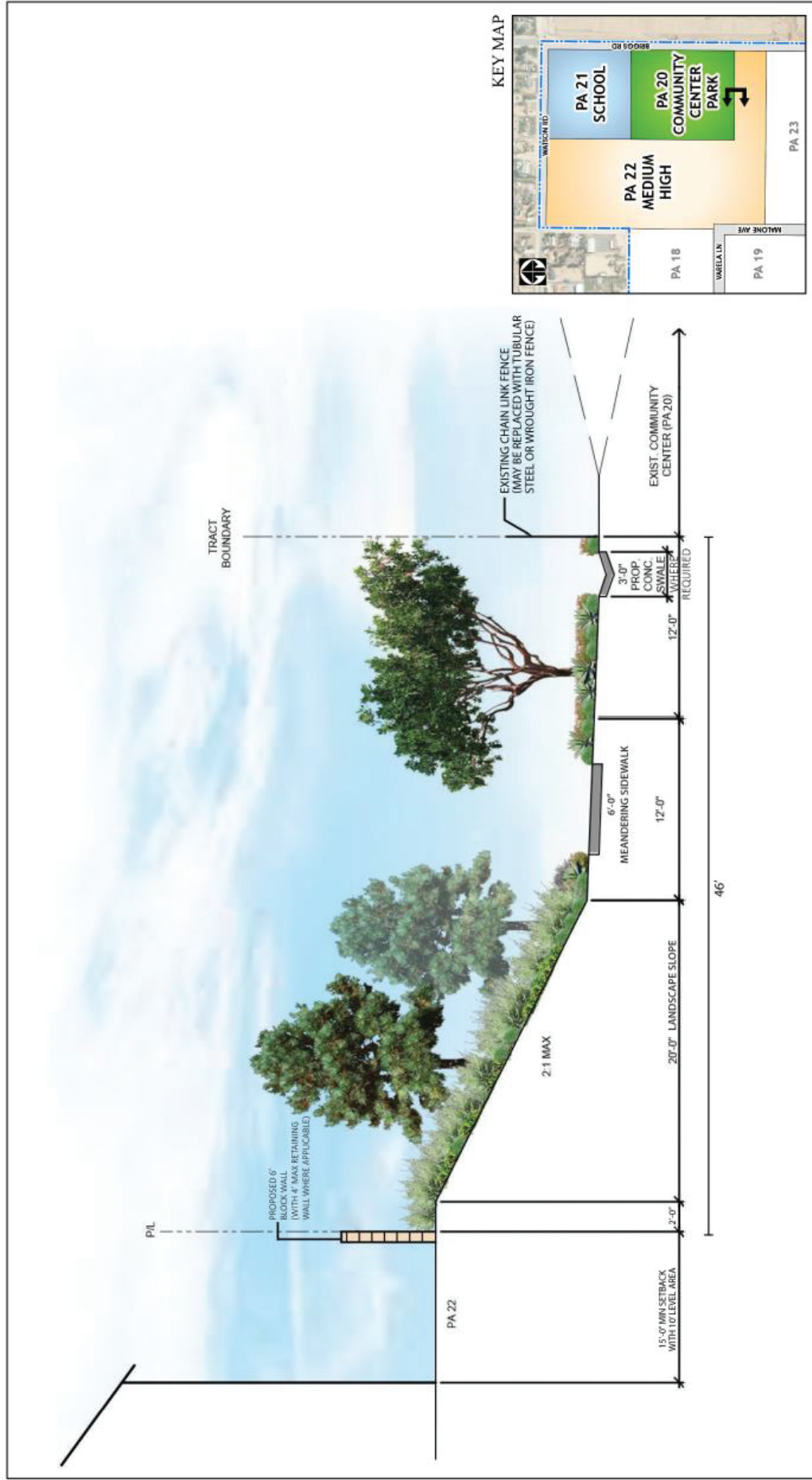
FIGURE - IV-17B

RESIDENTIAL (PA 22)/COMMUNITY CENTER (WEST) INTERFACE

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

Not to Scale



Source(s): Brightview (06-11-2021)



FIGURE - IV-18

RESIDENTIAL (PA 22) OPEN SPACE/COMMUNITY CENTER SOUTH INTERFACE

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

3. STREETSCAPES

The *Conceptual Landscape Plan*, Figure IV-1, establishes the streetscape hierarchy and continuity of the *MENIFEE NORTH* project. The plant palette and landscape treatments for each of the streets serve to emphasize certain key aspects of each corridor. Plant materials will be selected for their ability to express a dynamic design nature which will be dependent upon their particular sizes, shapes, forms, textures and flowering habits. The particular physical characteristics and growth habits of streetscape plant materials will allow them to influence the identities and functions of the street system on which they are placed.

a. **Highway 74 / Ethanac Road** (Figure IV-19)

State Highway 74 and Ethanac Road (combined) is the most significant corridor of the *MENIFEE NORTH* project, forming the major entries from the east and the west. The *Specific Land Use Plan* (Figure III-1) appropriately provides for commercial uses along this established corridor, transitioning outward to adjacent compatible land uses. A formal statement of distinctive tall evergreen trees, as depicted in Figure IV-19, not only strengthens the suburban nature of this streetscape but creates a feeling of grand entry to the community of *MENIFEE NORTH*. Because of the high visibility requirement necessary for successful commercial uses, the plantings along this streetscape are to be simple and uncluttered, allowing views to penetrate commercial uses. Backdrop trees will be evergreen for year-round marking appeal, with flowering accent trees in the foreground and center median. Detailed plantings are reserved for individual uses and monumentations. Landscape berms with a formal hedge will screen parking lots and support and strengthen this streetscape.

b. **Urban Arterial Highway Streetscapes - Meniffee Road** (Figure IV-20) **and Major Highway Streetscape - Antelope Road and Briggs Road** (Figure IV-21)

Because Meniffee Road and Briggs Road continue through adjacent proposed and existing communities, special consideration has been given to create continuity throughout these areas. For this reason, the *Plantanus acerifolia* has been adopted as the street tree along Meniffee Road and *Magnolia grandiflora* has been selected as the street along Briggs Road. Architectural themes, wall entries, and setbacks have also been coordinated for a compatible streetscene.

c. **Typical Secondary and Industrial Collector Road Streetscape** (Figure IV-22)

To achieve a balance between the projects suburban and rural characteristics, community streetscapes will employ a combination of plant material types and planting arrangements. Generally, the remainder of the streets within the community with a higher traffic volume whether commercial, industrial or residential, should express a more suburban nature as depicted in Figure IV-22.

d. **Modified Secondary/Collector Road Streetscape – Palomar Road and Watson Road (PA 9 & PA 22)** (Figure IV-23)

The portion of Watson Road abutting Planning Area 22 and the portion of Palomar Road abutting Planning Area 9 shall consist of a combination of plant material types and planting arrangements to provide residential privacy and enhance community entries. The landscaped parkways are planted in accordance with Section IV.D.2. *Meniffee North Plant Material Palette*.

- Watson Road - Modified Secondary (94' R.O.W.): The *MENIFEE NORTH* Specific Plan is responsible for the southerly 50-foot-wide half-width section improvements to Watson Road, including a 9-foot-wide curb adjacent landscaped parkway, a 5-foot sidewalk, and a 4-foot-wide landscaped parkway at the edge of the right-of-way.
- Palomar Road - Modified Collector (88' R.O.W.): The *MENIFEE NORTH* Specific Plan is responsible for the easterly 44-foot-wide half-width section improvements to Palomar Road, including a Class II bike lane, 6-foot-wide curb adjacent sidewalk, and a 6-foot-wide landscaped parkway at the edge of the right-of-way. No trees shall be planted along the easterly right-of-way of Palomar Road, in conformance with existing SCE easement restrictions.

e. Collector Streetscape - Junipero Road (Figure IV-24)

Junipero Road serves as an access point into Planning Area 9. The ultimate half width improvements to Junipero Road are illustrated on Figure IV-24, and the *MENIFEE NORTH* Specific Plan is responsible for the westerly 37-foot-wide half-width section improvements, as well as an additional 12 feet of pavement east of the centerline. Improvements include a 5-foot-wide curb adjacent landscaped parkway, a 6-foot-wide sidewalk, and a 4-foot-wide landscaped parkway at the edge of the right-of-way. The landscaped parkway is planted in accordance with Section IV.D.2. *Meniffee North Plant Material Palette*.

f. Local Street/Modified Industrial Collector – Malone Avenue (Figure IV-25)

Malone Avenue and neighborhood streets within Planning Area 22 are characterized by a well-balanced combination of plants and trees to further strengthen the community's suburban character. The *MENIFEE NORTH* Specific Plan is responsible for the following improvements:

- Malone Avenue (South of Varela) – Modified Industrial Collector (66' ROW): The *MENIFEE NORTH* Specific Plan is responsible for the easterly 3333-foot-wide half-width section improvements, as well as an additional 12 feet of paving west of the centerline. Improvements include a 6-foot-wide curb adjacent sidewalk and a 5-foot-wide landscaped parkway at the edge of the right-of-way.
- Malone Avenue (North of Varela) – Modified Local Street (60' ROW): The *MENIFEE NORTH* Specific Plan is responsible for the easterly 30-foot-wide half-width section improvements, as well as an additional 12 feet of paving west of the centerline. Improvements include a 6-foot-wide curb adjacent sidewalk and a 4-foot-wide landscaped parkway at the edge of the right-of-way.

4. COMMUNITY OPEN SPACE

The *MENIFEE NORTH* Specific Plan offers a variety of open space and recreational opportunities as discussed below.

a. Community Center/Park/School Shared Use (Figures IV-26 and IV-27)

Where a "Shared Use" concept between school sites and the adjacent community parks can be developed, additional improved open space areas (play fields, game courts, etc.) within the school site can also become an integral component of the projects Community Open Space. The park and school will be developed to the specifications of the City of Meniffee and the governing school district. Pursuant to existing requirements, the park will include multipurpose playing fields, multi-purpose courts, restrooms, picnic and parking facilities. The landscaping theme will be consistent with the streetscape and edge interface conditions as previously discussed. A conceptual site plan for the 11.4-acre community

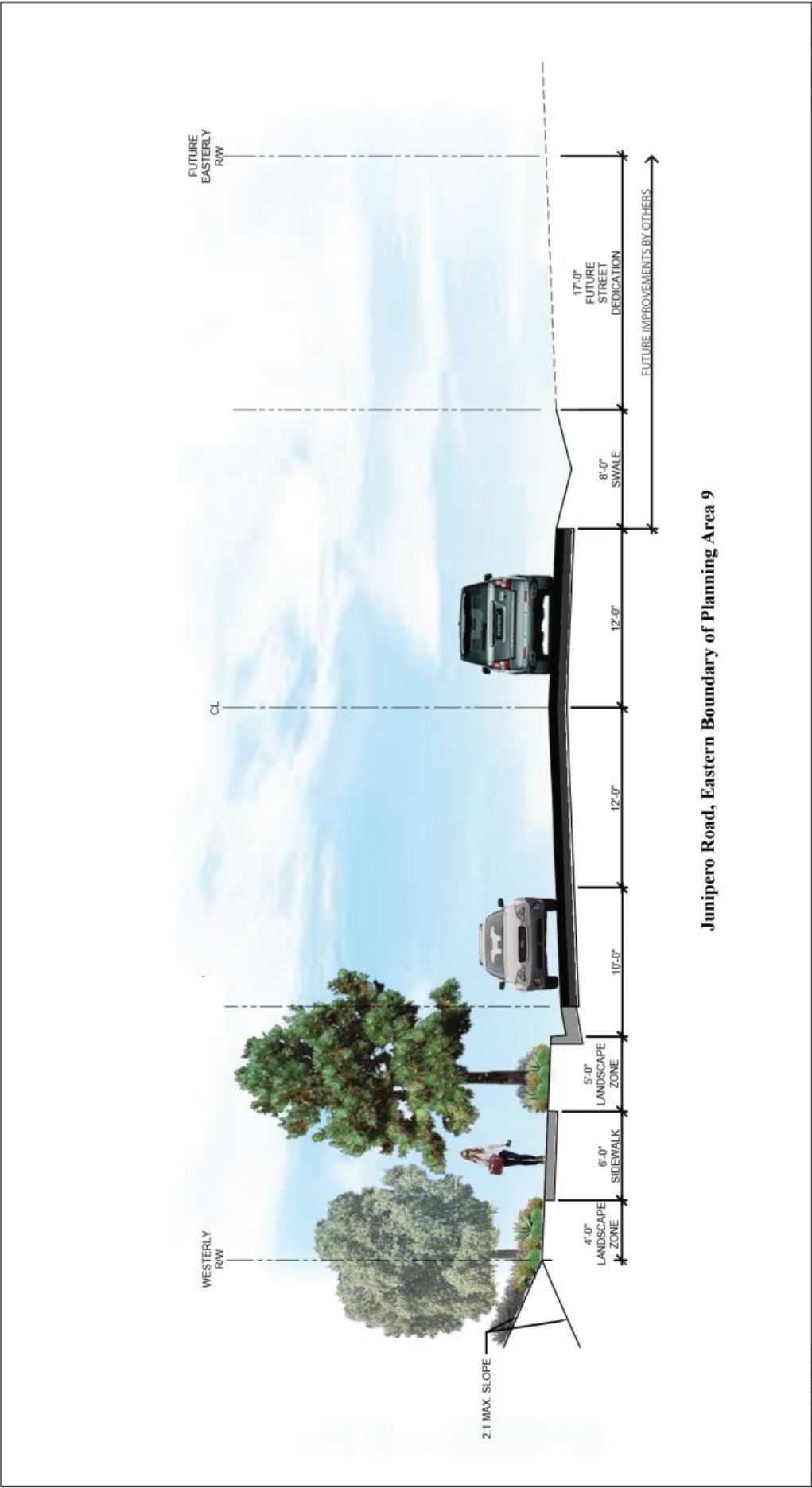


FIGURE - IV-23

MODIFIED SECONDARY HIGHWAY STREETSCAPE - PALOMAR ROAD (PA 9) AND WATSON ROAD (PA 22)

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Sources: / Brighton (09-13-2021)



FIGURE - IV-24

COLLECTOR ROAD STREETSCAPE - JUNIPERO ROAD (PA 9)
IV. DESIGN GUIDELINES
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

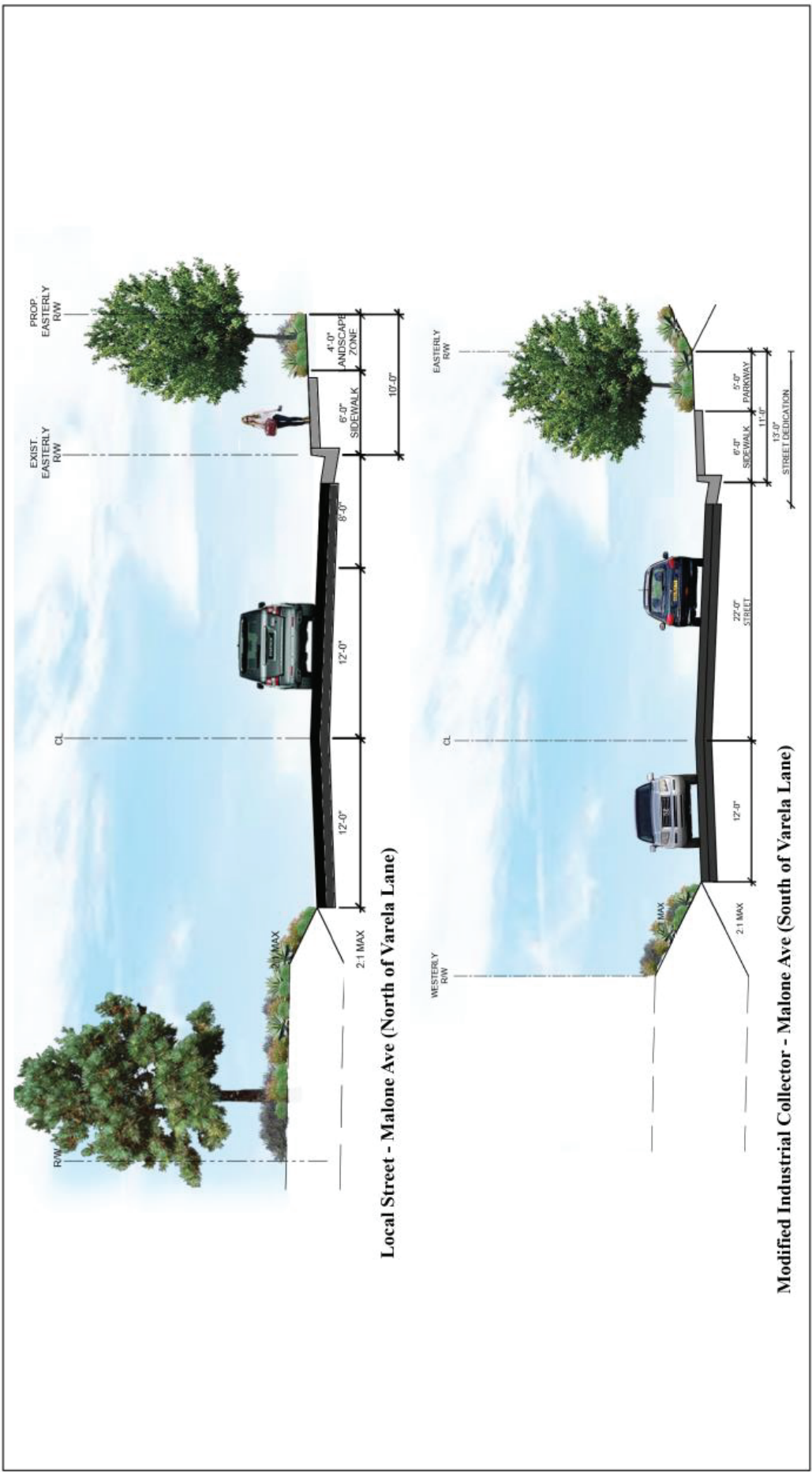


FIGURE - IV-25

LOCAL ROAD/INDUSTRIAL COLLECTOR STREETSCAPE - MALONE AVENUE (PA 22)
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

center/park is shown in Figure IV-26; and a conceptual site plan for the 12.5-acre community park is shown on Figure IV-27.

c. Mini-Parks (Figure IV-28)

The land use plan proposes the development of one mini-park. This park is intended to serve as a gathering place for the residential enclaves in which it is located. Generally, these parks might be improved to include a picnic area with tables, benches and barbecues, and a turfed area or sand surfaced tot lot or playground. The park would be planted with a combination of Eucalyptus, Pine or Sycamore tree species to provide shade and to define the individual active or passive use areas. A meandering paved, pedestrian pathway or walkway system could be provided for the park and, where appropriate, would be linked to pedestrian walkway systems to adjacent residential neighborhoods.

5. COMMUNITY WALLS AND FENCING

Community walls and fences that can be viewed from the public streets, as illustrated on Figure IV-29, *Community Walls and Fence Plan*, form an integral part of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards has been developed for community walls and fences as illustrated in Figure IV-30, *Community Walls and Fence Details*, and Figure IV-31, *Community Walls and Fence Details (PA 9 and PA 22)*. The location of each wall or fence is conceptually illustrated in Figure IV-30, however, the location will vary depending upon final detail design and grading considerations.

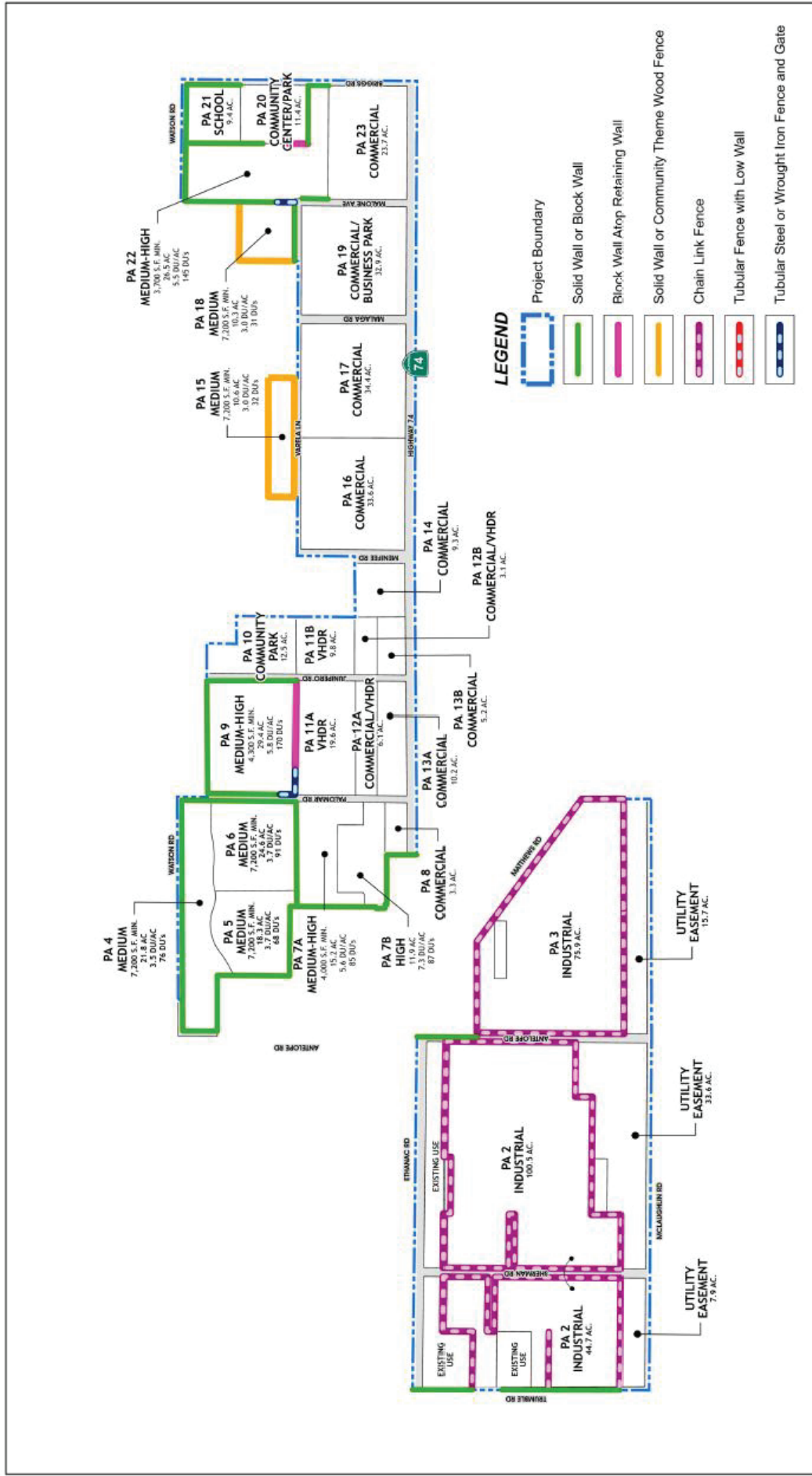
In general, solid walls will be located adjacent to residential uses along major highways and secondary roads, where the lot is at approximately the same grade as the street, and as screen elements between incompatible land uses. Concrete, decorative block, or stucco with brick or molded caps are all the accepted materials for these walls. In cases of basin perimeters, where security is a prime consideration, or where side and rear yards have desirable views but a solid wall is not necessary to inhibit fire or wildlife, high quality wrought iron or tubular steel-type fencing should be employed. A solid wood fence of the high quality depicted in Figure IV-29, is acceptable for use between residential lots.

6. SIGNAGE

The *MENFEE NORTH* Specific Plan area is intended as a high-quality, mixed-use community. Therefore, only a limited amount of signage shall be permitted in the community.

a. General Intent

- Signage shall be attractive and subdued in keeping with the character of a contemporary urban environment.
- Signs shall be limited to community identification, direction and building or company identification only. Signs should not be used for product advertising.
- All business signs shall be compatible with the architecture of the building they identify.
- Retail commercial signage shall be limited to below the roofline and be consistent in color and theme. Monument signs are encouraged and should be of a size only necessary for identification.



Source(s): Exp. RCT/LLM (2024)

FIGURE - IV-29

COMMUNITY WALLS AND FENCING PLAN

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

IV-53

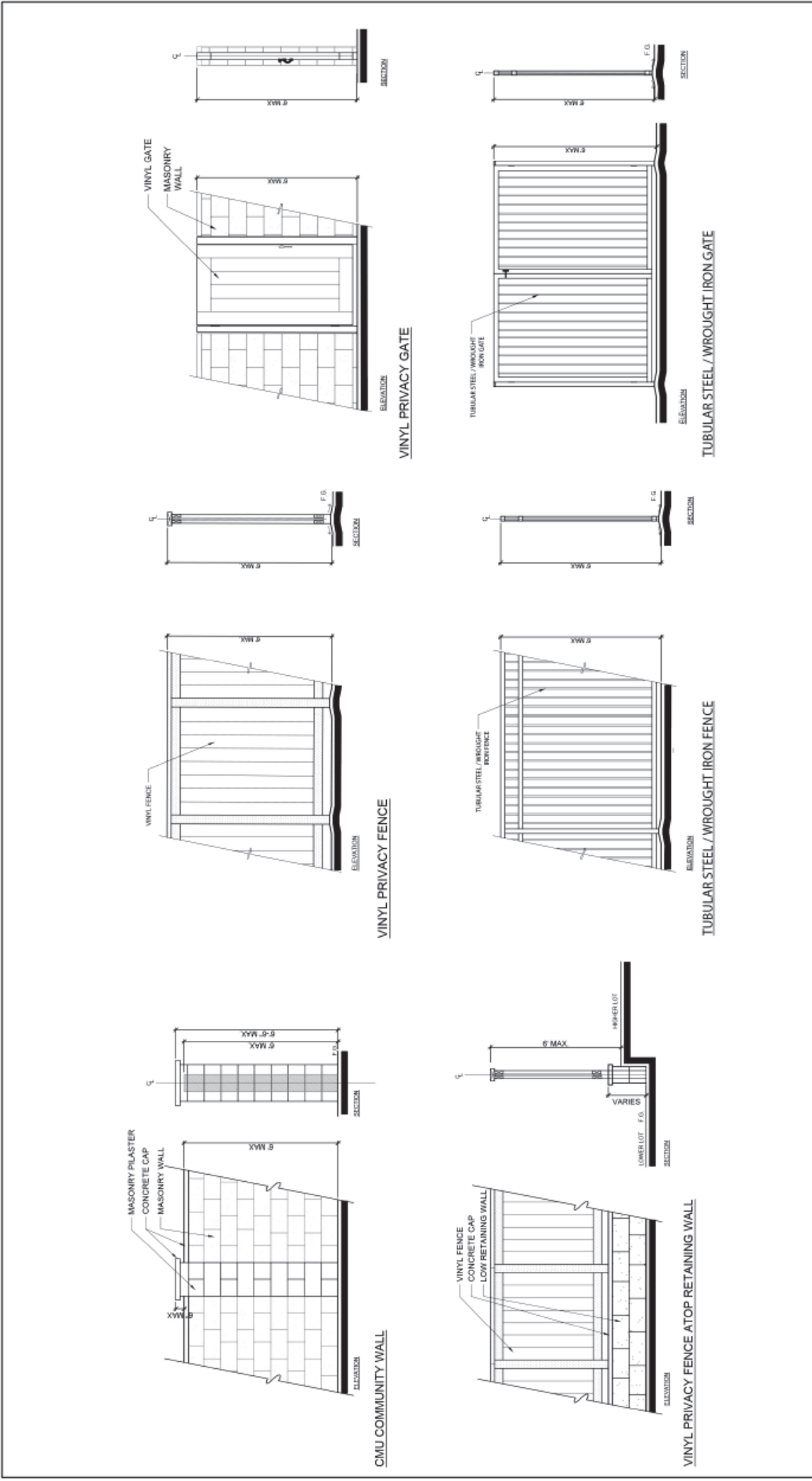


FIGURE - IV-31

COMMUNITY WALLS AND FENCING DETAILS (PLANNING AREAS 9 AND 22)

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

IV-55