



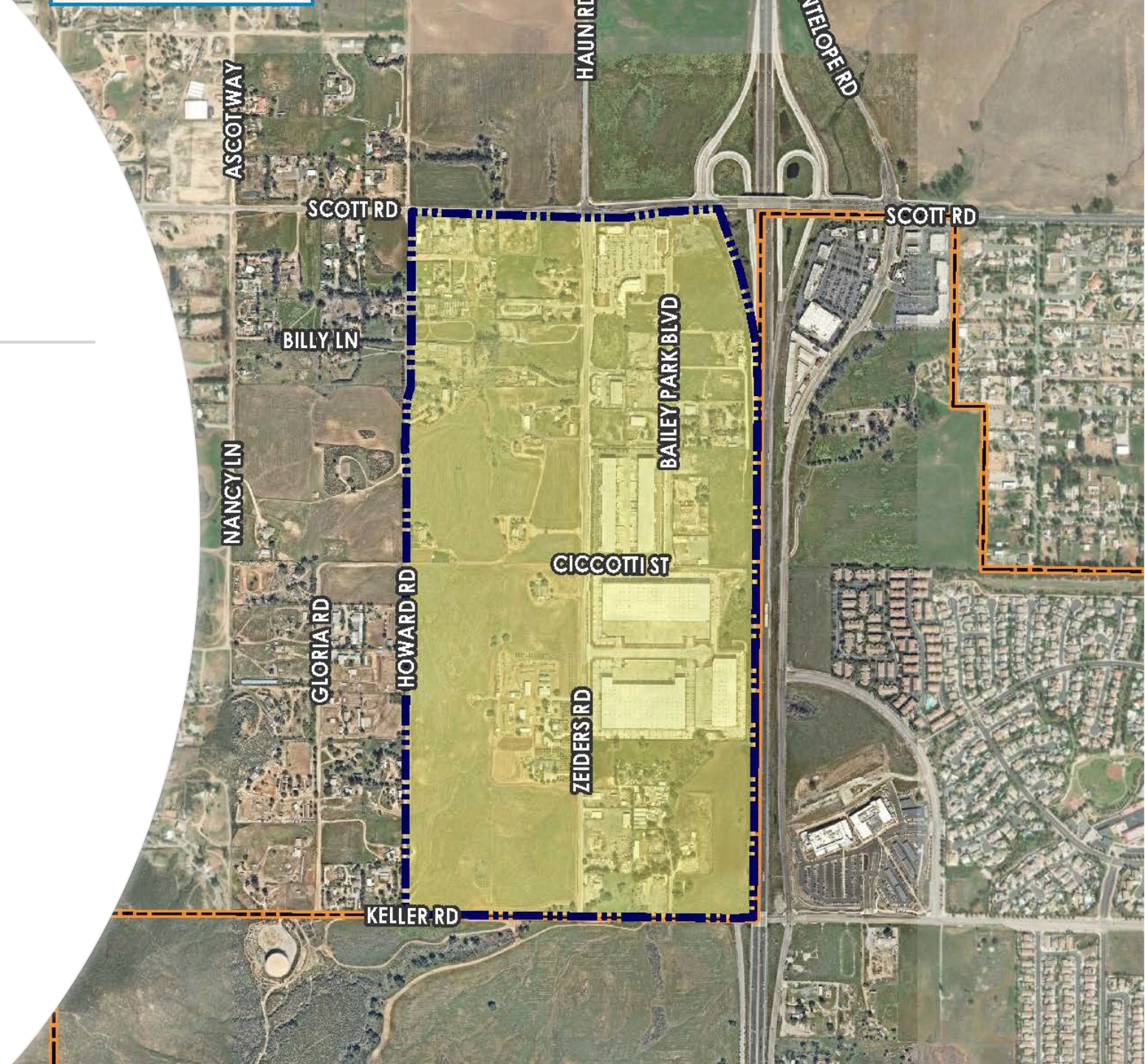
# Specific Plan

**Joint City Council and Planning Commission Workshop**

December 4, 2024

# Workshop Purpose

- Provide a Project Overview
- Share outreach and decisionmaker interview findings
- Collaboratively create a Specific Plan Vision Statement





# Project Goals



Create a vision for the Menifee Innovation District that reflects the input from the City Council, stakeholders and the Menifee community.



Identify the areas opportunities to leverage and constraints to address through the creation of a Specific Plan.



Evaluate and identify infrastructure needs to support future development of the area.



Prepare allowable use matrix, development standards and design guidelines that promotes an appropriate mix of uses that will implement the plan's vision.



Ensure the plan is in compliance with the California Environmental Quality Act (CEQA).



# Project Process

## Spring 2024

- Research and Site Analysis

## Summer 2024

- Opportunities & Constraints Report
- Workshop #1
- PC/CC joint Interviews



## Fall 2024

- Joint CC/PC Workshop
- Design Charette

## Winter 2025

- Land Use Alternatives
- Workshop #2

## Spring 2025

- Preferred Land Use Plan
- CEQA Notice of Preparation and Scoping Mtg.

## Summer 2025

- CEQA document prep
- Public Review Draft Specific Plan and EIR

## Fall 2025

- Final Specific Plan and EIR
- Public Hearings

[illegible]

# Workshop #1 – Key Themes

- Create a unique identity and use high-quality design elements.
- Focus on technology-oriented, educational, and research-based industries.
- Cultivate a vibrant economy
- Create spaces for entertainment, mixed-use development, live-work spaces, and offices.
- Prohibit warehouse and distribution buildings.
- Provide open space and buffers between SPA and adjacent rural residential areas.
- Encourage multi-modal transit opportunities and walkable streets and trails connecting to surrounding areas.

# CC/PC Interviews – Key Themes

- Create a unique identity for the area through innovative architecture, and clear design guidelines.
- Focus on attracting development of office/business parks or innovation campus/incubator spaces/technology hub.
- Provide local, high-paying jobs.
- Further discussion is required about residential development and entertainment/community amenities.
- Collaborate with local educational institutions.



# Topics For Discussion...



Residential Land Use



Entertainment Land Use



# Residential Development

## Meniffee General Plan



GP assumes 10%  
residential land use  
(30 acres)



EDC land use  
designation  
envisioning residential  
uses playing a  
supporting role



Residential uses  
shall be integrated  
vertically



Residential uses  
shall not be allowed  
directly adjacent to  
the freeway (within  
1,000 feet)



State Law (SB 330): Prohibits a jurisdiction from downzoning property for housing unless the jurisdiction “concurrently” up-zones other property to increase enough permitted density to ensure there is no net loss in residential capacity city-wide.

# Examples of Residential Development in Innovation Districts



Aggie Square – Davis, CA



Research Triangle Park Hub – North Carolina

# Discussion Questions

How could residential development best be incorporated in the Meniffee Innovation District?

Where can residential be located to best fit the context of the surrounding community and the District?

# Existing Meniffee General Plan Vision & Dev't. Code Entertainment Uses

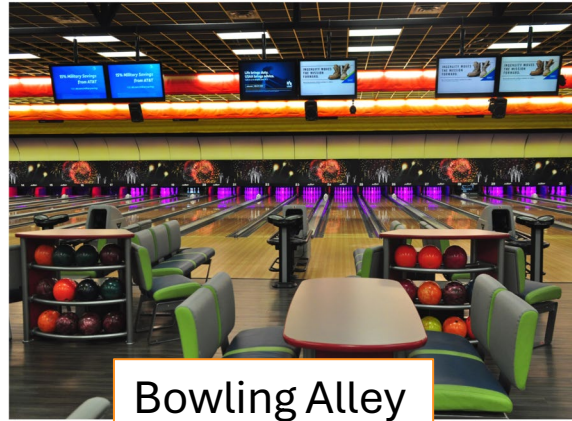
- **Meniffee General Plan:** “The intent of the EDC designation is to identify areas where a mixture of residential, commercial, office, civic, industrial, entertainment, educational, and/or recreational uses or other uses is planned.”
- “The EDC-Southern Gateway Subarea is envisioned as business park (predominantly light industrial and office uses) and limited support commercial use.”
- **Meniffee Development Code** entertainment uses allowed:
  - Art gallery
  - Museum
  - Batting cages (indoor)
  - Live entertainment/auditorium (indoor)
  - Bowling alley
  - Breweries
  - More...



# Examples of Entertainment Options in an Innovation District



Food Hall



Bowling Alley



Brewery



Climbing Gym



Art Gallery/Studio/Incubator Space



Makerspace

# Discussion Questions

Should entertainment be included in the Innovation District?

If yes, how do you envision entertainment being integrated into the Meniffee Innovation District?



# Draft Vision Statement #1

*The Meniffee Innovation District will be a **vibrant innovation hub** that attracts **high-tech businesses** and features **mixed-use** options. With **modern architecture, innovative infrastructure** and **high-quality amenities**, the district will create a **dynamic** environment that **creates high-paying jobs** and Includes **range of entrepreneurial opportunities** with incubator space, executive suites, research and development labs, light manufacturing and corporate headquarters.*



# Draft Vision Statement #2

*The Menifee Innovation District aims to attract **innovative industries** to the City that offer **high-wage employment** and drive **long-term economic growth**. Guided by **comprehensive development** and **design standards** to create a **unique identity** and **vibrant public spaces**, the district will emerge as a **premier destination for business**.*



# Draft Vision Statement #3

*The Menifee Innovation District aims to attract **innovative industries** to the City that offer **high-wage employment** and drive **long-term economic growth**. Featuring **cutting-edge architecture** and design, the district will create a **dynamic** environment with a **unique identity** that includes a **range of entrepreneurial opportunities** with incubator space, executive suites, research and development labs, light manufacturing and corporate headquarters.*

# Draft Vision Statement #4

*The Menifee Innovation District aims for **innovative and sustainable development**, attracting **high-paying industries and businesses** that drive **long-term economic growth**. Featuring **cutting-edge architecture** and design, the district will have a **unique identity** that **seamlessly blends work and life**, offers **entertainment** options, and includes **walkable streetscapes**, and **vibrant public spaces**.*

# Discussion & Deliberation