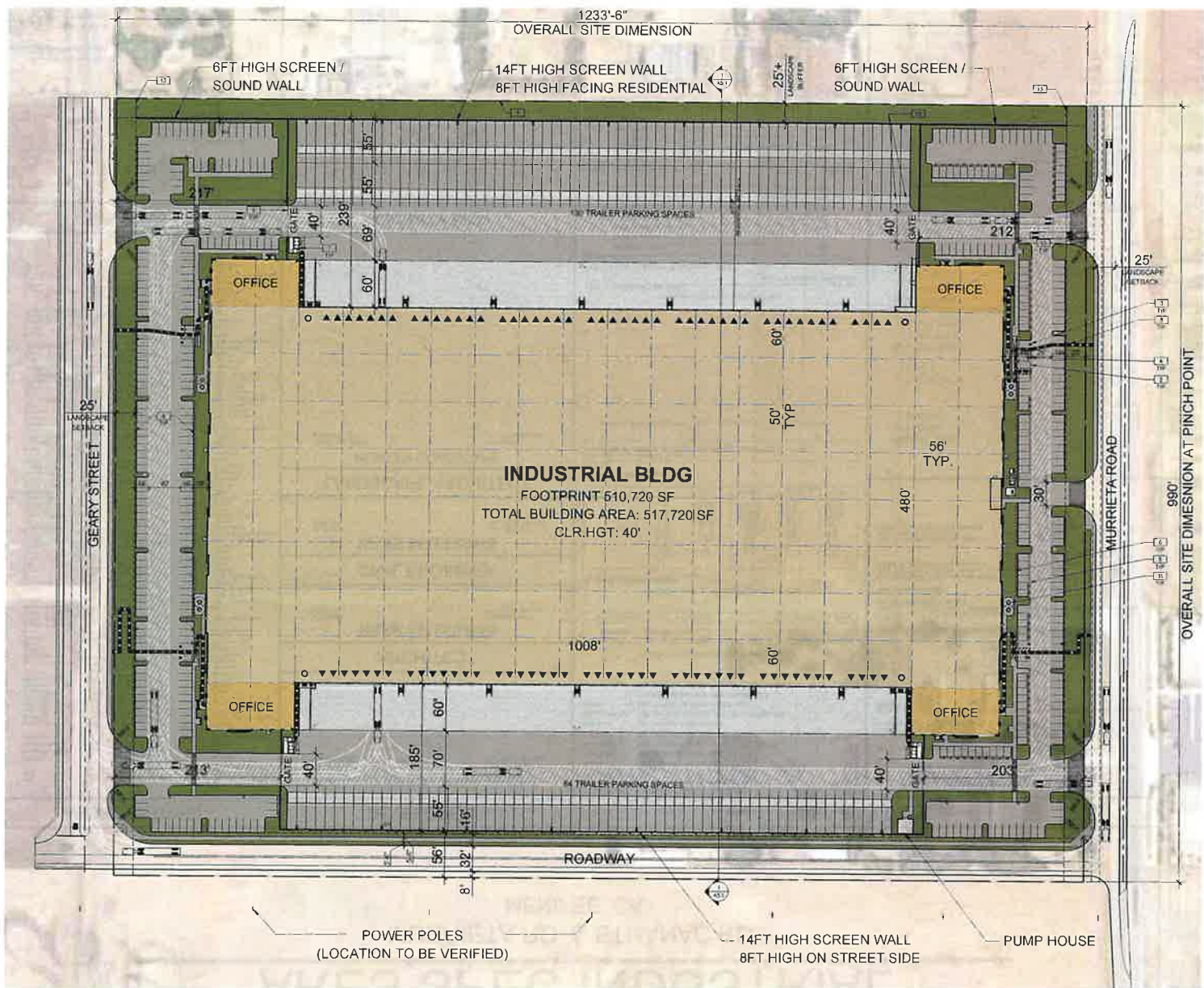


MURRIETA RD. & ETHANAC RD.
MENIFEE, CA

Read more about our new book *How to Grow a Business* on page 100.



SITE PLAN NOTES

SEE SHEET A0.2 FOR GENERAL NOTES

- 1. PROPERTY LINE, SEE CIVIL DRAWINGS ()
- 2. ACCESSIBLE ELECTRIC VEHICLE CHARGING STATION
- 3. ACCESSIBLE PARKING STALL WITH SIGNAGE
- 4. VAN ACCESSIBLE PARKING STALL WITH SIGNAGE
- 5. PAVED PARKING STOPPING PER CITY STANDARDS
- 6. 2'-0" PARKING OVERLAP
- 7. TRASH ENCLOSURE WITH RECYCLE BIN
- 8. ACCESSIBLE PATH OF TRAVEL: 3.00 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS (SEE 808 AND 809 FOR MAX. SLOPE)
- 9. 14' HIGH SOLAR SHIELD GATE: GATES SHALL BE AUTOMATIC WINDUP 24 FEET IN WIDTH. GATE ACCESS SHALL BE EQUIPPED WITH A RAPID ENTRY SYSTEM FOR ACCESS OFFICE AND LOADING DOCK. PLAN SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION. AUTOMATICALLY CLOSE GATES SHALL BE INSTALLED WITH 1000 LB. FORCE, NOT TO EXCEED 30 POUNDS. AUTOMATIC GATES SHALL BE EQUIPPED WITH EMERGENCY CLOSURE POWER GATES ACTIVATED BY THE RAPID ENTRY SYSTEM SHALL REMAIN OPEN UNTIL CLOSED BY THE RAPID ENTRY SYSTEM
- 10. DECORATIVE FENCE
- 11. BRICK WALL
- 12. CONDUIT TO BE PROVIDED FOR FUTURE TRUCK CHARGING STATIONS
- 13. POWER BY LOCKED GATE

SITE LEGEND

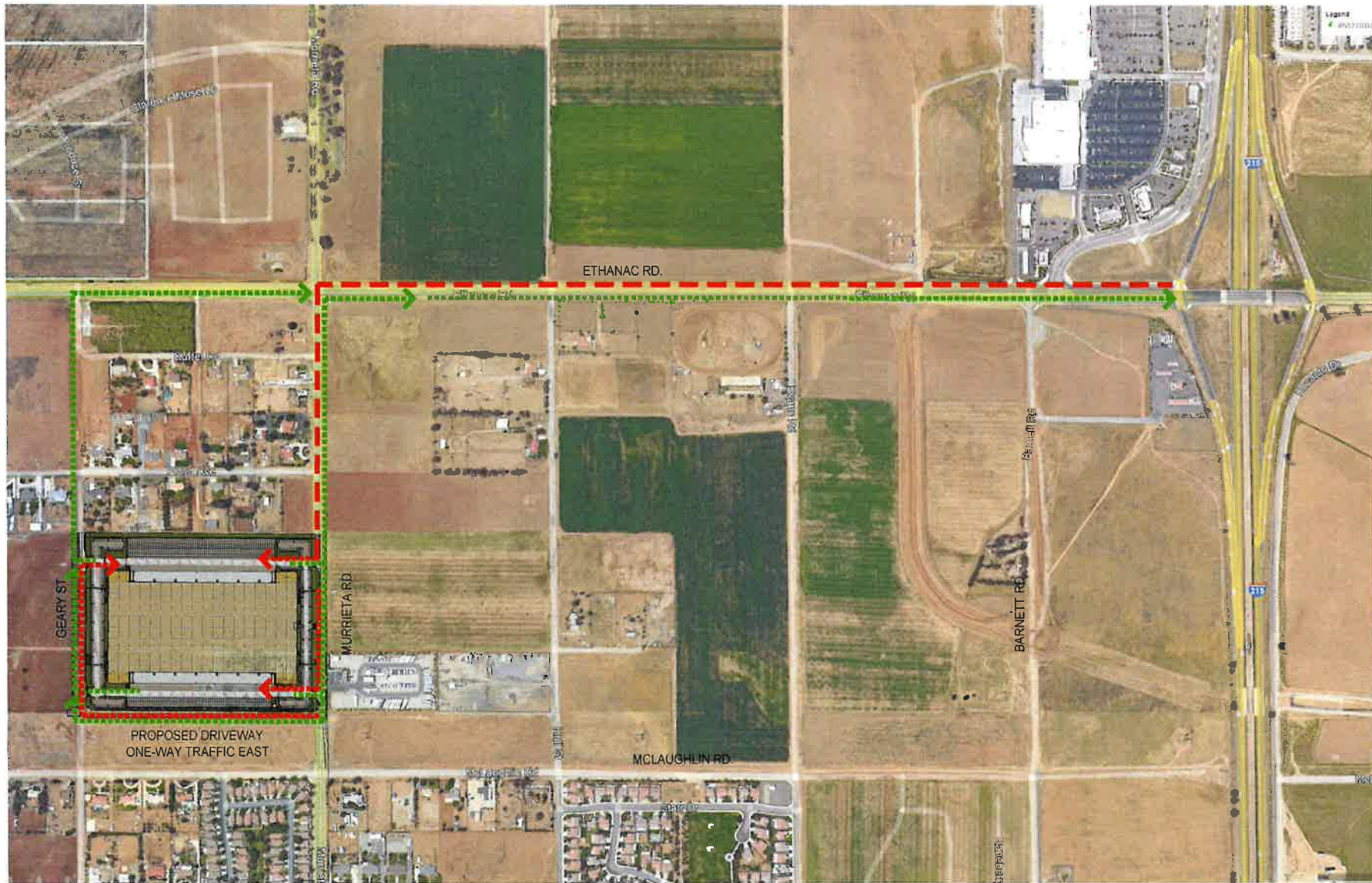
- POLE MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- TRANSFORMER WITH CONCRETE PAD (PROVIDE PROTECTIVE BALANCING FOR LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- FIRE LAKE (WATCHDOG) - ALL APPARATUS ACCESS ROADS SHALL BE DESIGNED TO SUPPORT THE GROSS WEIGHTS OF FIRE APPARATUS (EMERGENCY VEHICLE LOADS) AND SHALL BE SURFACED TO 40' TO PROVIDE ALL-WEATHER DRIVING CAPABILITY (FROM WHEEL DRIVE APPARATUS) FOR THE LENGTH AND GRADES OF THE FIRE APPARATUS ACCESS ROAD
- DOOR HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE HYDRANT (EVERY LOCATION WITH CIVIL DRAWINGS)

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www.waremalcomb.com

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MENEFEE, CALIFORNIA

SITE PLAN	
DATE: 10/15/2024	REVISION: 1
DESIGNED BY: J.E.	CHECKED BY: J.E.
DRAWN BY: J.E.	IN CHARGE: J.E.
DATE: 10/15/2024	DATE: 10/15/2024

A1.0



--- TRUCK TRAFFIC TOWARDS SITE
--- TRUCK TRAFFIC AWAY FROM SITE



SITE PLAN

DATE	REVISION
11/11/2021	1.0
11/11/2021	1.1
11/11/2021	1.2
11/11/2021	1.3
11/11/2021	1.4
11/11/2021	1.5
11/11/2021	1.6
11/11/2021	1.7
11/11/2021	1.8
11/11/2021	1.9
11/11/2021	2.0

PAJPM	T. REED
DRAWN BY	E.S.
JOB NO.	19123-0000-00

SHEET
A1.1

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SCALE:
 1" = 100'
 1" = 200'
 1" = 400'
 1" = 800'
 1" = 1600'

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 www.waremalcomb.com

DATE: 11/11/2021

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----- TRUCK TRAFFIC TOWARDS SITE
----- TRUCK TRAFFIC AWAY FROM SITE



SITE PLAN

DATE	BY	REVISION
10/1/2023	AW	1.0
10/1/2023	AW	1.1
10/1/2023	AW	1.2
10/1/2023	AW	1.3
10/1/2023	AW	1.4
10/1/2023	AW	1.5
10/1/2023	AW	1.6
10/1/2023	AW	1.7
10/1/2023	AW	1.8
10/1/2023	AW	1.9
10/1/2023	AW	2.0

DATE	10/1/2023
BY	AW
REVISION	1.0
JOB NO.	10/1/2023-0001-00

SHEET
A1.2

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MURRIETA RD. & ETHANAC RD.
MENEFEE, CALIFORNIA

CLIENT: Ares Spec Industrial
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10000 N. 10TH AVE., SUITE 100
DENVER, CO 80231
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WWW.WAREMALCOMB.COM



CONCRETE WALL

CONCRETE WALL W/ STRENGTH GRADE

SEE SHEET A02 FOR GENERAL NOTES

- 1 STRUCTURAL COLUMN.
- 2 CONCRETE SLAB. PROVIDE VAPOR RETARDER OVER SAND BASE AT OFFICE AREA PER SOILS REPORT.
PROVIDE SEALER FOR CONCRETE FLOOR AREA IN WAREHOUSE.
- 3 8' x 10' H DOCK HOOD HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/
FACTORY PAINTED FINISH.
- 4 STOREFRONT GLAZING.
- 5 INTERIOR ROOF DRAINS, TYPICAL.

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A2.1

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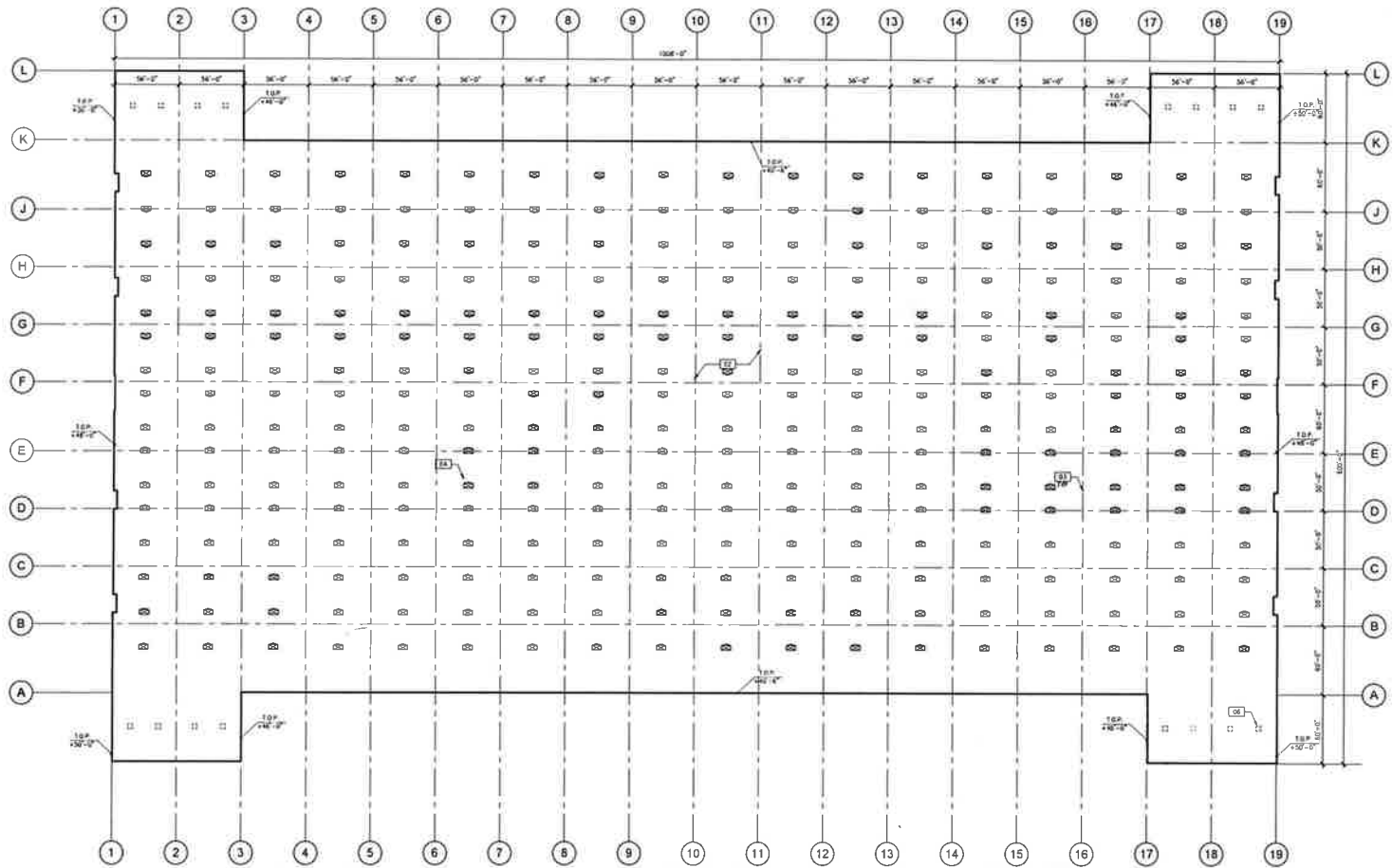
Los Angeles
Northern California
San Antonio
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New Jersey

architecture
planning
interiors
graphics

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10 redwood
sunnyvale, california 94088
p 918 640 8828 f 918 641 1248

CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT.



ROOF PLAN
SCALE: 1/4"=1'-0"

LEGEND

- 1. POOR MATCH
- 2. BUILT-UP ROOFING OVER WOOD DECK
- 3. STRUCTURAL FRAMING BELOW ROOF DECK (SHOWN)
- 4. 4" x 8" FLOOR Joist (SHOWN)
- 5. METAL CHOPPY
- 6. ROOF MOUNTED MECHANICAL UNITS, FULLY SCHEDULED BY PARAGETS

ROOF PLAN NOTES

SEE SHEET A3.2 FOR GENERAL NOTES

- 1. POOR MATCH
- 2. BUILT-UP ROOFING OVER WOOD DECK
- 3. STRUCTURAL FRAMING BELOW ROOF DECK (SHOWN)
- 4. 4" x 8" FLOOR Joist (SHOWN)
- 5. METAL CHOPPY
- 6. ROOF MOUNTED MECHANICAL UNITS, FULLY SCHEDULED BY PARAGETS

ROOF PLAN

NO.	DATE	REVISION
1	10/1/18	ISSUED FOR PERMIT
2	10/1/18	ISSUED FOR PERMIT
3	10/1/18	ISSUED FOR PERMIT
4	10/1/18	ISSUED FOR PERMIT
5	10/1/18	ISSUED FOR PERMIT
6	10/1/18	ISSUED FOR PERMIT
7	10/1/18	ISSUED FOR PERMIT
8	10/1/18	ISSUED FOR PERMIT
9	10/1/18	ISSUED FOR PERMIT
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11	10/1/18	ISSUED FOR PERMIT
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13	10/1/18	ISSUED FOR PERMIT
14	10/1/18	ISSUED FOR PERMIT
15	10/1/18	ISSUED FOR PERMIT
16	10/1/18	ISSUED FOR PERMIT
17	10/1/18	ISSUED FOR PERMIT
18	10/1/18	ISSUED FOR PERMIT
19	10/1/18	ISSUED FOR PERMIT

Drawn By: T. REED
Checked By: E.C.
Date: 10/1/18
Sheet: 10/1/18

10/1/18

10/1/18

10/1/18

10/1/18

10/1/18

10/1/18

10/1/18

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10/1/18

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A3.1

ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE DATE OF THE LAST MEETING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.



1	SW6517 REGATIA	5	SW7674 PEPPER CORN	9	HIGH PERFORMANCE GLAZING W/ CLEAR ANNOXIDIZED ALUMINUM MULLION
2	SW7658 GRAY CLOUDS	6	CONCRETE PANEL W/ HORIZONTAL REVEALS	10	SPANDREL GLASS
3	SW7076 CITYSCAPE	7	METAL DOOR, TYP		
4	SW7757 REFLECTIVE WHITE	8	12"x14" OVERSIZED DOCK DOOR		

FILE NO	1. RECD
DATE OF BY	E.C.
JOB NO	#V22-0086-00

A4.1

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GRAPHICS
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Suite 1000
Beverly Hills, CA 90210
(310) 276-1111

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MENIFEE, CALIFORNIA

W:\99\22\0036\0036\Architectural\Cost\SO\ELEVATIONS - SECTION WALL.dwg

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FAITH	1 FIELD
DEARBY	1.1
JOHN	MY12-2000-00

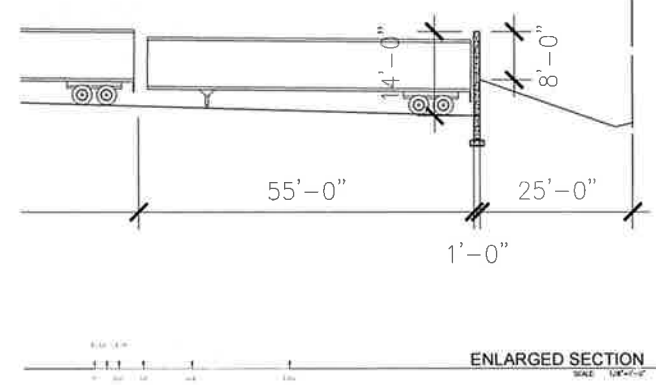
A4.2

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BUILDING SECTIONS		ELEVATIONS	
SECTION		ELEVATION	
SECTION	DATE	SECTION	DATE
PA-1/FW	E. FEED		
SHAFTS BY	E.C.		
JOB NO.	PH221-0026-50		
SHEET			
A5.1			



1 SHERWIN WILLIAMS
SW 6517 REGATTA



2 SHERWIN WILLIAMS
SW 7658 GRAY CLOUDS



3 SHERWIN WILLIAMS
SW 7076 CITYSCAPE



4 SHERWIN WILLIAMS
SW 7757 REFLECTIVE WHITE



5 SHERWIN WILLIAMS
SW 7674 PEPPERCORN



6 VITRO
SOLARBLUE GLASS



7 VITRO
ICD COATING SPANDREL GLASS
O-1974 STONE BISQUE



8 ARCADIA
CLEAR ANODIZED ALUMINUM
MULLION



9 METAL CANOPY - TUBULAR STEEL
SW 7674 PEPPERCORN
KYNAR FINISH

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10740 W. 10th Ave.
DENVER, CO 80231
303.751.1111

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MENIFEE, CALIFORNIA

MATERIAL BOARD	
NO.	DESCRIPTION
1	SHERWIN WILLIAMS SW 6517 REGATTA
2	SHERWIN WILLIAMS SW 7658 GRAY CLOUDS
3	SHERWIN WILLIAMS SW 7076 CITYSCAPE
4	SHERWIN WILLIAMS SW 7757 REFLECTIVE WHITE
5	SHERWIN WILLIAMS SW 7674 PEPPERCORN
6	VITRO SOLARBLUE GLASS
7	VITRO ICD COATING SPANDREL GLASS O-1974 STONE BISQUE
8	ARCADIA CLEAR ANODIZED ALUMINUM MULLION
9	METAL CANOPY - TUBULAR STEEL SW 7674 PEPPERCORN KYNAR FINISH

DATE: 11/11/2020
DRAWN BY: J.S.
JOB NO: 18022-0000-000
SHEET: DS2.0

ARES SPEC INDUSTRIAL - PRELIMINARY PLANS

MURRIETA RD. AND ETHANAC RD.,

MENIFEE, CA 92585

GENERAL NOTES

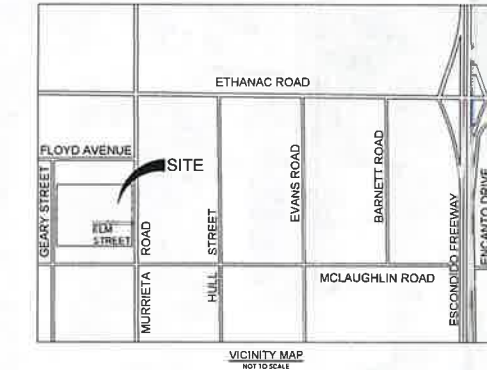
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF MENIFEE GRADING ORDINANCE 8.24 CALIFORNIA BUILDING CODE APPENDIX J THE CITY OF MENIFEE STANDARD DETAILS AND SPECIFICATIONS POLICES CODES AND PERMIT REQUIREMENTS. IN ADDITION, THE WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE GREENBOOK), THE RIVERSIDE COUNTY STREET IMPROVEMENT STANDARDS AND SPECIFICATIONS AND STANDARD PLANS, COUNTY ORDINANCE NO. 481 CALTRANS STANDARD PLANS AND SPECIFICATIONS, CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- A GRADING PERMIT SHALL BE OBTAINED FROM THE CITY OF MENIFEE ENGINEERING DEPARTMENT PRIOR TO START OF WORK.
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY OF MENIFEE PRIOR TO START OF WORK FOR WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- WORK IN PUBLIC STREETS ONCE BEGUN, SHALL BE UNINTERRUPTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- PRIOR TO START OF WORK, THE DEVELOPER/CONTRACTOR SHALL APPLY TO THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) FOR AN ENCROACHMENT PERMIT FOR WORK PERFORMED WITHIN THE STATE RIGHT-OF-WAY.
- WHEN GRADING PLANS HAVE BEEN SUBMITTED TO THE CITY FOR CHECKING AND THE CHECKING PROCESS HAS BEEN INTERRUPTED FOR A PERIOD OF ONE YEAR OR MORE, THE PLANS SHALL BE DEEMED ABANDONED. APPROVED GRADING PLANS FOR ALL SUBDIVISIONS SHALL BE DEEMED ABANDONED IF CONSTRUCTION HAS NOT COMMENCED WITHIN TWO YEARS OF THE LATEST APPROVAL DATE (ONE YEAR FOR NON-SUBDIVISIONS). IF CONSTRUCTION IS INTERRUPTED FOR A PERIOD OF ONE YEAR OR MORE, THE PLANS SHALL BE DEEMED ABANDONED. ABANDONED PLANS SHALL BE RESUBMITTED FOR REVIEW AND ALL FEES SHALL BE PAID IN ACCORDANCE WITH THE PLAN CHECK AND PROCESSING POLICY PRIOR TO ANY PERMITS BEING ISSUED.
- NOTIFY UNDERGROUND SERVICE ALERT (800) 227-2862, AND ALL CONCERNED UTILITY COMPANIES AT LEAST TWO WORKING DAYS IN ADVANCE OF EXCAVATION.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE DEVELOPER/CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS AND VERIFY CONDITIONS ON THE JOB SITE PRIOR TO COMMENCING WORK. THE DEVELOPER/CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR DAMAGES OCCURRED DUE TO FAILURE TO LOCATE AND PRESERVE UNDERGROUND UTILITIES. HAND DIG AS NEEDED UNTIL CLEAR OF OBSTRUCTIONS.
- APPROVAL OF THIS PLAN BY THE CITY OF MENIFEE DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OF, OR THE EXISTENCE OR NON-EXISTENCE OF, ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THE PROJECT. THIS NOTE APPLIES TO ALL PAGES.
- THE CONTRACTOR SHALL CONTACT THE CITY OF MENIFEE PUBLIC WORKS INSPECTOR 2 WORKING DAYS OR 48 HOURS PRIOR TO CONSTRUCTION AT (951) 872-8777.
- A PRECONSTRUCTION MEETING WITH THE PUBLIC WORKS INSPECTOR IS REQUIRED PRIOR TO START OF WORK.
- RIGHT OF ENTRY FOR ANY WORK PERFORMED ON ADJACENT PROPERTIES IS REQUIRED. PERMISSION FOR RIGHT OF ENTRY SHALL BE OBTAINED IN WRITING AND LETTER SHALL COMPLY WITH CITY FORMAT.
- APPROVAL OF PLANS AND/OR PERMIT ISSUANCE DOES NOT RELIEVE THE PERMITTEE OF THEIR RESPONSIBILITY TO MAINTAIN HEALTHY PROPERTY BOUNDARIES AND DEDICATED CITY RIGHT OF WAY. ANY TRESPASSING ON PRIVATE PROPERTY IS AGAINST THE LAW AND CAUSE FOR CANCELLATION OF PERMIT AND ISSUANCE OF STOP WORK NOTICE.
- ALL REVISIONS TO GRADING PLANS, OR MATERIAL SUBSTITUTION REQUESTS, PROPOSED DURING CONSTRUCTION SHALL BE SUBMITTED IN WRITING TO THE ENGINEERING DEPARTMENT BY THE ENGINEER OF RECORD AND SHALL FOLLOW THE PROCEDURES FOR APPROVAL OUTLINED IN THE MOST CURRENT CITY OF MENIFEE ENGINEERING DIRECTIVES.
- IT IS THE RESPONSIBILITY OF THE PERMITTEE TO SUBMIT A REQUEST FOR PERMIT EXTENSION TO THE CITY ENGINEER IN WRITING PRIOR TO EXPIRATION, EXTENSION AND RENEWAL OF PERMIT. THIS SHALL BE IN ACCORDANCE WITH THE UNIFORM BUILDING CODE AND/OR THE CITY OF MENIFEE ENGINEERING DESIGN GUIDELINES POLICES AND ORDINANCES.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON CITY OF MENIFEE RIGHT-OF-WAY AFFECTED BY DEVELOPER/CONTRACTOR WORK. THE DEVELOPER/CONTRACTOR SHALL KEEP CITY OF MENIFEE RIGHT-OF-WAY CLEAN OF DEBRIS WITH DUST AND OTHER HAZARDOUS BEING COLLECTED AT ALL TIMES. METHOD OF STREET CLEANING SHALL BE STREET SWEEPING OF ALL PAVED AREAS. THERE SHALL BE NO STOCKPILING OF CONSTRUCTION MATERIALS WITHIN THE CITY OF MENIFEE RIGHT-OF-WAY WITHOUT THE PERMISSION OF THE MENIFEE CITY ENGINEER.
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- THE ENGINEER OF WORK WHO INSPECTED AND SIGNED THIS GRADING PLAN HAS VERIFIED THE CONSISTENCY BETWEEN THE WORK SHOWN, THE RIGHT-OF-WAY AND THE ON-SITE GRADING WORK APPROVED SEPARATELY BY THE CITY OF MENIFEE ENGINEERING DEPARTMENT.
- A GEOTECHNICAL REPORT PREPARED BY A REGISTERED PROFESSIONAL SHALL BE PROVIDED.

GRADING NOTES

- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH HIS PRIVATE DEVELOPMENT CONSTRUCTION.
- PRIOR TO REMOVAL OF VEGETATION AND GRADING OF THE SITE, ALL MITIGATION MONITORING AS IDENTIFIED AND ITEMIZED IN THE PLANNING COMMISSION/CITY DEVELOPMENT CONDITIONS OF APPROVAL, SHALL BE ADDRESSED TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR AND THE CITY ENGINEER.
- FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCRIPED AND INSPECTED BY THE GRADING INSPECTOR AND SOILS ENGINEER PRIOR TO THE PLACING OF FILL.
- ALL CESSPOOLS, SEPTIC TANKS, ETC. TO BE ABANDONED SHALL BE FILLED OR REMOVED IN ACCORDANCE WITH THE RIVERSIDE COUNTY HEALTH DEPARTMENT AND CERTIFIED BY THE SOILS ENGINEER AND AS APPROVED BY THE CITY ENGINEER.
- ANY EXISTING WELLS NOT TO BE USED SHALL BE DESTROYED IN ACCORDANCE WITH RIVERSIDE COUNTY ORDINANCE 802.
- EXISTING GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL (BUT MANAGEMENT PRACTICES, BMPs) SHALL BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT PROPERTIES.
- PRIOR TO ANY CONSTRUCTION, THE DEVELOPER SHALL PROVIDE THE CITY A COPY OF THE NOI WITH A VALID VDO NUMBER.

CUT/FILL NOTES

- NO FILL SHALL BE PLACED ON EXISTING GROUND UNLESS THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
- CUT SLOPES SHALL BE AT LEAST 2 HORIZONTAL TO 1 VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER.
- WELLS SHALL BE CLEARED 2 HORIZONTAL TO 1 VERTICAL, OR AS DETERMINED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER.
- NO SLOPE TERRACES AT LEAST SIX (6) FEET IN WIDTH SHALL BE ESTABLISHED AT NOT MORE THAN THIRTY (30) FOOT VERTICAL INTERVALS ON ALL CUT OR FILL SLOPES EXCEPT THAT WHERE ONLY ONE (1) TERRACE IS REQUIRED, IT SHALL BE AT LEAST HEIGHT FOR CUT OR FILL SLOPES GREATER THAN 60 FEET AND UP TO 10 FEET IN VERTICAL HEIGHT. ONE TERRACE AT APPROXIMATELY MID-HEIGHT SHALL BE 12 FEET IN WIDTH. TERRACE WIDTHS AND SPACING FOR CUT AND FILL SLOPES GREATER THAN 60 FEET IN VERTICAL HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND APPROVED BY THE CITY ENGINEER. SUITABLE ACCESS SHALL BE PROVIDED TO PERMIT PROPER CLEANING AND MAINTENANCE.
- THE SLOPE STABILITY FOR CUT AND FILL SLOPES OVER 30 FEET IN VERTICAL HEIGHT AND FOR SLOPES STEEPER THAN 1:1 (H:V) SHALL BE VERIFIED WITH A FACTOR OF SAFETY OF AT LEAST 1.5 BY CALCULATIONS SUBMITTED BY THE SOILS ENGINEER TO THE CITY OF MENIFEE ENGINEERING DEPARTMENT.
- FILL SHALL BE PLACED IN THIN LIFTS (8 INCH MAX OR AS RECOMMENDED IN SOILS REPORT), COMPACTED AND TESTED AT GRADING PROGRESS WITH FINAL GRADERS ARE AT LEAST 15% FILL ON SLOPES STEEPER THAN 1:1 (H:V) AND HEIGHT GREATER THAN 5 FEET SHALL BE NEEDED AND BENCHED INTO FINAL NATURAL SOIL FOR FULL SUPPORT. THE NICH UNDER THE TOE SHALL BE 10 FEET WIDE MIN. AND 2 HIGHER.
- NO ROCK OR SHALR BRICKABLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES IN ANY DIMENSION SHALL BE BURIED OR PLACED IN FILL.
- CUT FILL REQUIREMENTS: CLOSURE BEST MANAGEMENT PRACTICE, CONSTRUCTION, SECTION WM 3 STOCKPILES WHICH HAVE NOT BEEN USED FOR 14 CALENDAR DAYS SHALL BE STABILIZED THROUGH THE APPLICATION OF SOIL SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURES.
- WHEN MATERIAL IS BEING IMPORTED FROM AN APPROVED PERMITTED BORROW SITE, THE AFTER TOPOGRAPHICAL SURVEY OF THE EXCAVATED PORTION OF THE BASIN SHALL BE SUBMITTED ALONG WITH THE GRADING/GRADING CERTIFICATES.
- HAULING AND/OR STOCKPILE PERMITS MAYBE NOT BE COMBINED WITH A GRADING PERMIT.



BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CC83, ZONE 4 (NAD 83) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTION 8601.816. SAID BEARINGS HAVE BEEN DETERMINED LOCALLY UPON FIELD OBSERVED TIES TO THE FOLLOWING CALIFORNIA SPATIAL REFERENCE NETWORK CONTINUOUS OPERATING REFERENCE STATIONS (CORS):

C.S.R.C. CNRP
NORTHING = 254302.63 EASTING = 814611.30

C.S.R.C. EWSP
NORTHING = 234777.29 EASTING = 815536.72

BENCHMARK

THE CALIFORNIA SPATIAL REFERENCE CENTER COR 8 "CAMP", ELEVATION 1096.47 FEET (NAD 83)

LEGEND

EXISTING	PROPOSED
BOUNDARY	BOUNDARY
SECTION	SECTION
1/4 SECTION	1/4 SECTION
1/2 SECTION	1/2 SECTION
LOT LINE	LOT LINE
EASEMENT	EASEMENT
CENTERLINE	CENTERLINE
MAJOR COUNTER	MAJOR COUNTER
MINOR COUNTER	MINOR COUNTER
CURB/GUTTER	CURB/GUTTER
SIDEWALK	SIDEWALK
FENCE	FENCE
BARRETT	BARRETT
STORM DRAIN	STORM DRAIN
SANITARY	SANITARY
WATERLINE	WATERLINE
DOMESTIC WATER	DOMESTIC WATER
FIRE WATER	FIRE WATER
RECLAIMED WATER	RECLAIMED WATER
IRRIGATION	IRRIGATION
OVERHEAD UTILITY	OVERHEAD UTILITY
JUNK UTILITY TRENCH	JUNK UTILITY TRENCH
CHANCE	CHANCE
BURIED ELECTRIC	BURIED ELECTRIC
FIBER OPTIC	FIBER OPTIC
NATURAL GAS	NATURAL GAS
TELEPHONE	TELEPHONE
UNKNOWN UTILITY	UNKNOWN UTILITY

GRADING LEGEND & ABBREVIATIONS

5.00	PROPOSED SPOT ELEVATION
1.00	EXISTING SPOT ELEVATION
2.00	PROPOSED SLOPE / GRADE
3.00	EXISTING SLOPE / GRADE
4.00	BOS BOTTOM OF STONE
5.00	BWS BOTTOM OF WALL
6.00	OF CURB FACE
7.00	DOOR ELEVATION AT DOOR
8.00	DWG DRAWING
9.00	EL ELEVATION
10.00	FINISHED FLOOR ELEVATION
11.00	FIN SHED GRADE
12.00	FL FLOWLINE
13.00	FINISHED SURFACE
14.00	FW FACE OF WALL
15.00	GR GRADE BREAK
16.00	HP HIGH POINT
17.00	INVERT ELEVATION
18.00	LN LOW POINT
19.00	RM ELEVATION
20.00	RL RIDGE LINE
21.00	RT TOP OF RAMP
22.00	STD STANDARD
23.00	IC TOP OF CURB
24.00	TC TOP OF CRATE
25.00	TDG TOP OF CHAMBER
26.00	TW TOP OF STONE
27.00	TOP OF WALL

PRELIMINARY EARTHWORK QUANTITY ESTIMATE

DESCRIPTION	EXCAVATION (CY)	EMBANKMENT (CY)
RAW	46,290	86,470
RE-MEDIAL GRADING TO REMOVE UNDOCUMENTED FILL SOILS	5.25 AVG. DEPTH	99,310
BLOC PAD OVER EX R/R (9' BEYOND BLOC PERIMETER)	0' DEPTH	118,220
SITE & RETAINING WALL OVER EX R/R (3' BEYOND PERIMETER)	3' DEPTH	3,300
PAVEMENT OVER CLASER	2' DEPTH	38,080
SUBTOTAL	303,180	343,360
SURKRADE	12% AVG.	141,210
BLOC SLAB SECTION	8"	-1,460
PCC PAVEMENT SECTION 1	7"	-8,250
PCC PAVEMENT SECTION 2	5"	-1,440
PCC FLATWORK	8"	-200
UNDERGROUND STORMWATER (SEE TECHNICAL BASIS)	6.75' DEPTH	-5,750
GRAND TOTAL	303,180	354,490
NET (IMPORT)		56,330 CY FILL

ADDITIONAL EARTHWORK DESIGN INFORMATION

MAX DEPTH OF CUT	18.0 FT
MAX CUT SLOPE (H:V) (2:1 MAX)	2:1
MAX DEPTH OF FILL	18.0 FT
MAX FILL SLOPE (H:V) (2:1 MAX)	2:1

NOTE: THE ESTIMATED QUANTITIES HEREON ARE ONLY FOR THE PURPOSE OF OBTAINING THE NECESSARY PERMITS. WARE MALCOMB DOES NOT GUARANTEE THE ACCURACY OF THE ESTIMATED QUANTITIES. THE CONTRACTOR SHALL PERFORM HIS OWN QUANTITY TAKEOFF BEFORE SUBMITTING A BID FOR ANY PORTION OF THE IMPROVEMENTS COVERED BY THESE PLANS.

AGENCY CONTACT LIST

OWNER/DEVELOPER
IPT MENIFEE CO LLC, A DELAWARE
LIMITED LIABILITY COMPANY
628 782 2112
CONTACT JAMIE MC LAUGHLIN

CITY OF MENIFEE
COMMUNITY DEVELOPMENT
DEPARTMENT
2084 HALL ROAD
MENIFEE, CA 92586
651 872 6777

CIVIL ENGINEER
WARE MALCOMB
10 EDEMAN
IRVINE, CA 92618
949 801 1126
CONTACT LUCAS CORSE
951 920 3777

ELECTRIC
SOUTHERN CALIFORNIA Edison
28100 MENIFEE ROAD
SANDHILL, CA 92586
600 984 8123

GAS
Socal Gas Co.
270 TRUMBLE ROAD
PERRIS, CA 92571
909 307 7000

WATER & SEWER
EASTERN MUNICIPAL WATER DISTRICT
PERRIS, CA 92570
951 920 3777

DRAINAGE NOTES

- EXISTING DRAINAGE COURSES ON PROJECT SITE SHALL CONTINUE TO FUNCTION. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATIONS AND SHALL BE APPROVED BY THE APPROPRIATE REGULATORY AGENCY.
- DRAINAGE ACROSS THE PROPERTY LINE SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY.
- NO SLOPE SWALES OR DITCHES ON 4 FEET AND 12 FEET WIDE TERRACES SHALL HAVE A MINIMUM GRADIENT OF FIVE (5) PERCENT AND MUST BE PAVED WITH REINFORCED CONCRETE OR APPROVED EQUAL, NOT LESS THAN THREE (3) INCHES IN THICKNESS. A SINGLE RUN OF SHALE OR DITCH SHALL NOT COLLECT RUNOFF FROM A TRIBUTARY AREA EXCEEDING 15,000 SQUARE FEET (PROJECTED) WITHOUT DISCHARGING INTO A DRAIN.
- INTERCEPTOR DRAINAGE SHALL BE INSTALLED ALONG THE TOP OF CUT SLOPES RECEIVING DRAINAGE FROM A TRIBUTARY AREA GREATER THAN 40 FEET MEASURED HORIZONTALLY. INTERCEPTOR DRAINAGE SHALL BE 3 FEET WIDE MIN. AND 1 FOOT DEEP MIN. AND SHALL HAVE A MINIMUM GRADIENT OF TWO (2) PERCENT. THE DRAIN SHALL BE PAVED WITH CONCRETE NOT LESS THAN SIX INCHES THICK.
- PROVIDE 4 FEET WIDE BY 1 FOOT HIGH BERM ALONG THE TOP OF FILL SLOPES STEEPER THAN 3:1 (H:V) WHERE NECESSARY.
- MINIMUM BUILDING PAD DRAINAGE GRADIENT SHALL BE 1 PERCENT IF CUT OR FILL IS LESS THAN 10 FEET. 2 PERCENT IF CUT OR FILL IS GREATER THAN 10 FEET.
- THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION SHALL BE SLOPED AWAY AT 2% MIN. TO 20% MAX. FOR THE FIRST THREE FEET, AND 1% THEREAFTER. SWALES SHALL HAVE A 1% MIN. SLOPE.
- RESIDENTIAL LOT GRADING SHALL CONFORM TO THE CITY OF MENIFEE STANDARD PLAN NO. 300.
- THE ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OTHER CITY INSPECTION CLEARANCE IN-CHARGE PLACING CONCRETE.
- BURIAL SHALL BE GRADED STONE WHERE THE AVERAGE SIZE (50%) IS THE SIZE WHERE 50% OF THE BURIAL BY WEIGHT IS SMALLER.
- THE FORMULA FOR THE 50% STONE SIZE IS AS FOLLOWS:
D50 = 0.0124 W^{0.25} V^{1.65} / MEAN CHANNEL VELOCITY IN FPS
- THE RIPRAP SECTION SHALL CONSIST OF GEOTRIBARS PLACED ON 12" OF COMPACTED SUBGRADE TO 80% RELATIVE DENSITY. IF AGGREGATE BASE AND RIPRAP ARE PROVIDED IN SUBSECTION 200.1.2 OF THE STANDARD SPECIFICATIONS.
- RIPRAP STONE SHALL COMPLY WITH THOSE PROVISIONS OF SUBSECTION 200.1.6 OF THE STANDARD SPECIFICATIONS.
- AGGREGATE BASE SHALL CONFORM TO NUMBER 2 GRADATION AS PROVIDED IN SUBSECTION 200.1.2 OF THE STANDARD SPECIFICATIONS.
- ROCKS FOR GRADED RIPRAP SHALL BE A GOOD QUALITY BROKEN AND/OR RIVER RUN ROCK. THE SMALLEST DIMENSIONS SHALL EXCEED 3 INCHES AND THE LARGEST DIMENSION SHALL NOT EXCEED 18 INCHES. THE LARGEST DIMENSION SHALL NOT EXCEED 1.5 TIMES THE SMALLEST DIMENSION.
- THERE SHALL BE A CIRCUIT BED OF AT LEAST 3 INCHES BENEATH THE FIRST LAYER OF ROCK. ALL THE JOINTS BETWEEN THE ROCKS SHALL BE FILLED WITH GROUT. MAXIMUM SPACING BETWEEN ROCKS SHALL BE 2 INCHES.
- SURFACE ROCKS SHALL BE PROTECTED FROM 10% OF THEIR MASS BY OVERLAP.

COMPLETION OF WORK

- A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE CITY OF MENIFEE ENGINEERING DEPARTMENT A REGISTERED CIVIL ENGINEER'S CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED FINAL GRADING CERTIFICATION OF COMPLETION OF GRADING.
- AFTER ALL WORK, INCLUDING THE INSTALLATION OF DRAINAGE STRUCTURES AND PROTECTIVE DEVICES, HAS BEEN COMPLETED AND REQUIRED REPORTS HAVE BEEN SUBMITTED, THE PERMITTEE SHALL SUBMIT A ROUTING REQUEST TO THE CITY OF MENIFEE BUILDING INSPECTOR.
- A REGISTERED CIVIL ENGINEER SHALL SUBMIT TO THE CITY OF MENIFEE ENGINEERING DEPARTMENT FOR APPROVAL, WRITTEN FINAL GRADING CERTIFICATION OF COMPLETION OF GRADING IN ACCORDANCE WITH THE APPROVED PLANS. FINISH GRADING SHALL BE COMPLETED AND INSTALLED INCLUDING SLOPE PLANS AND PERMANENT EROSION CONTROL, AND IRRIGATION SYSTEMS PRIOR TO OCCUPANCY.



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Professional Engineer
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Exp. 12/31/2024
www.waremalcomb.com



September 28, 2024

FOR AND ON BEHALF OF WARE MALCOMB

ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

TITLE SHEET

DATE: 9/26/2024
BY: LUCAS CORSE

DATE: 9/26/2024
BY: LUCAS CORSE

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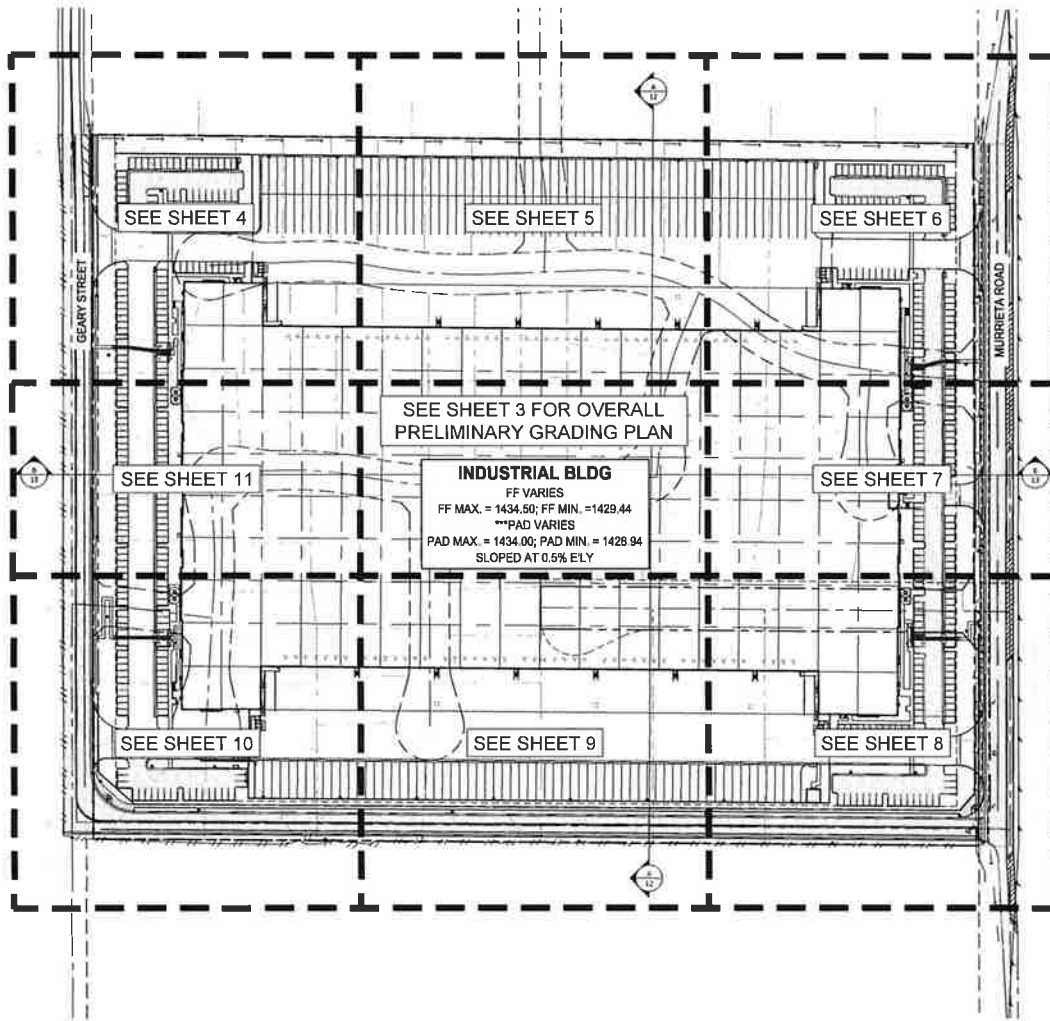
DATE: 9/26/2024
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DATE: 9/26/2024
BY: LUCAS CORSE



CONSTRUCTION NOTES

- (01) NEW COMMERCIAL DRIVEWAY APPROACH
- (02) NEW 6" CURB
- (03) NEW 6" CURB
- (04) NEW 6" CURB AND GUTTER
- (05) NEW VALLEY GUTTER
- (06) NEW TRASH ENCLOSURE
- (07) NEW CONCRETE PAVING PER GEOTECHNICAL REPORT
- (08) NEW ADA PARKING
- (09) NEW ADA CURB RAMP
- (10) NEW GATE
- (11) NEW BUILDING STEM WALL
- (12) NEW BUILDING DEEPENED FOOTING
- (13) NEW SCREEN WALL
- (14) NEW RETAINING WALL
- (15) NEW CONCRETE MROW DITCH

STORM DRAIN CONSTRUCTION NOTES

- (01) INSTALL NEW HDPE STORM DRAIN PIPE SLOPED AT 0.5% MIN PIPE SIZE, LENGTH AND SLOPE PER PLAN REFER TO DETAIL 01 ON SHEET 35 FOR TRENCHING
- (02) INSTALL NEW CURB OPENING CATCH BASIN WITH GRATING(S) PER GREENBOOK SWPPP STD PLAN 302.3
- (03) INSTALL NEW 36"x36" INCHEN PRECAST CATCH BASIN DROP INLET WITH FULL TRASH CAPTURE INSERT PER DETAIL 01, 04, & 05 ON SHEET 35
- (04) INSTALL UNDERGROUND STORAGE BASIN, ADD STORMTECH CHAMBERS OR EQUAL, PER DETAIL 03 ON SHEET 28 & DETAIL 01 ON SHEET 29
- (05) INSTALL MODULAR WETLAND SYSTEM BMP (MWS A & B) PER DETAIL 01 ON SHEET 28
- (06) INSTALL STORM DRAIN MANHOLE PIPE TO PIPE PER GREENBOOK SWPPP STD PLAN 321.2
- (07) CONNECT TO FUTURE OFF-SITE STORM DRAIN CONNECTION PER SEPARATE PLAN & PERMIT
- (08) CONSTRUCT NEW OVERSIDE DRAIN PER CITY OF MENIFEE STD PLAN NO. 303
- (09) INSTALL NEW STORM DRAIN CLEANOUT PER DETAIL 02 ON SHEET 35
- (10) INSTALL MODULAR WETLAND SYSTEM BMP (MWS C) PER DETAIL 02 ON SHEET 28

SEWER CONSTRUCTION NOTES

- (01) NEW SEWER LATERAL CONNECTION TO EXISTING SANITARY MANHOLE
- (02) NEW SEWER LATERAL PER EASTERN MUNICIPAL WATER DISTRICT STD DWG 58-177
- (03) NEW SEWER CLEANOUT PER EASTERN MUNICIPAL WATER DISTRICT STD DWG 58-52
- (04) NEW 2" PVC 50' TO SEWER LINE SLOPED AT 1% TRENCHING PER EASTERN MUNICIPAL WATER DISTRICT STD DWG 58-158
- (05) NEW SEWER SERVICE BUILDING POINT OF CONNECTION

WATER CONSTRUCTION NOTES

- (01) NEW 2" COPPER DOMESTIC AND IRRIGATION SERVICE CONNECTIONS AND METERS PER EASTERN MUNICIPAL WATER DISTRICT STD DWGS B-344A AND B-344
- (02) NEW 2" DOMESTIC WATER AND IRRIGATION RP BACKFLOW PREVENTER ASSEMBLIES PER EASTERN MUNICIPAL WATER DISTRICT STD DWG B-567A
- (03) NEW 2" COPPER DOMESTIC WATER SERVICE PIPE
- (04) NEW DOMESTIC WATER SERVICE BUILDING POINT OF CONNECTION
- (05) NEW IRRIGATION SERVICE POINT OF CONNECTION REFER TO LANDSCAPE PLANS FOR CONTINUATION
- (06) NEW FIRE WATER SERVICE CONNECTION AND OCCA BACKFLOW PREVENTER ASSEMBLY PER EASTERN MUNICIPAL WATER DISTRICT STD DWG B-557
- (07) NEW FIRE WATER SERVICE LOOP WITH THRUST BLOCKS, PVC PIPE SIZE TWO THRUST BLOCKS PER EASTERN MUNICIPAL WATER DISTRICT STD DWGS B-427 TRENCH BACKFILL PER EASTERN MUNICIPAL WATER DISTRICT STD DWG B-284B
- (08) NEW FIRE HYDRANT PER EASTERN MUNICIPAL WATER DISTRICT STD DWG B-362
- (09) NEW BOLLARD PROTECTION AROUND WATER APPURTENANCES
- (10) NEW FIRE WATER SPRINKLER RISER, REFER TO FIRE SPRINKLER PLANS FOR CONTINUATION
- (11) NEW FIRE WATER POST INDICATOR VALVE
- (12) CONSTRUCT NEW FIRE PUMP STATION PER ARCHITECTURAL, STRUCTURAL, AND PLUMBING PLANS



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FROM: ca 92618
P: 660 9128
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FOR AND ON BEHALF OF WARE MALCOMB

ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

PRELIMINARY GRADING SHEET INDEX

NO.	DATE	REVISIONS

JOB NO.	IRV22 0046
DATE	08/02/2024
DESIGNED	A. CADAFEL
DATE	08/02/24
PLOT DATE	08/02/24

Sheet 2 of 14

living, ca 92518
p 949 650 9128
waremailcomb.com



ON AND ON BEHALF
OF WARE MALCOMB

OVERALL PRELIMINARY GRADING PLAN

[illegible]

JOB NO.	IRV22-0086
PAIRM.	L CORRIE
DESIGNED	A CASTELO
DATE	8/26/0024
PLG DATE	8/26/0024

Sheet 3 of 14



WARE MALCOMB
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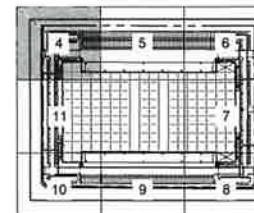
10 edman
lrvine, ca 92616
p 949 660 9128
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 September 26, 2024

 FOR AND ON BEHALF OF WARE MALCOLM

**ARES SPEC INDUSTRIAL
PRELIMINARY PLANS**
MURRIETA RD., & ETHANAC RD.
MENIFEE, CA 92585

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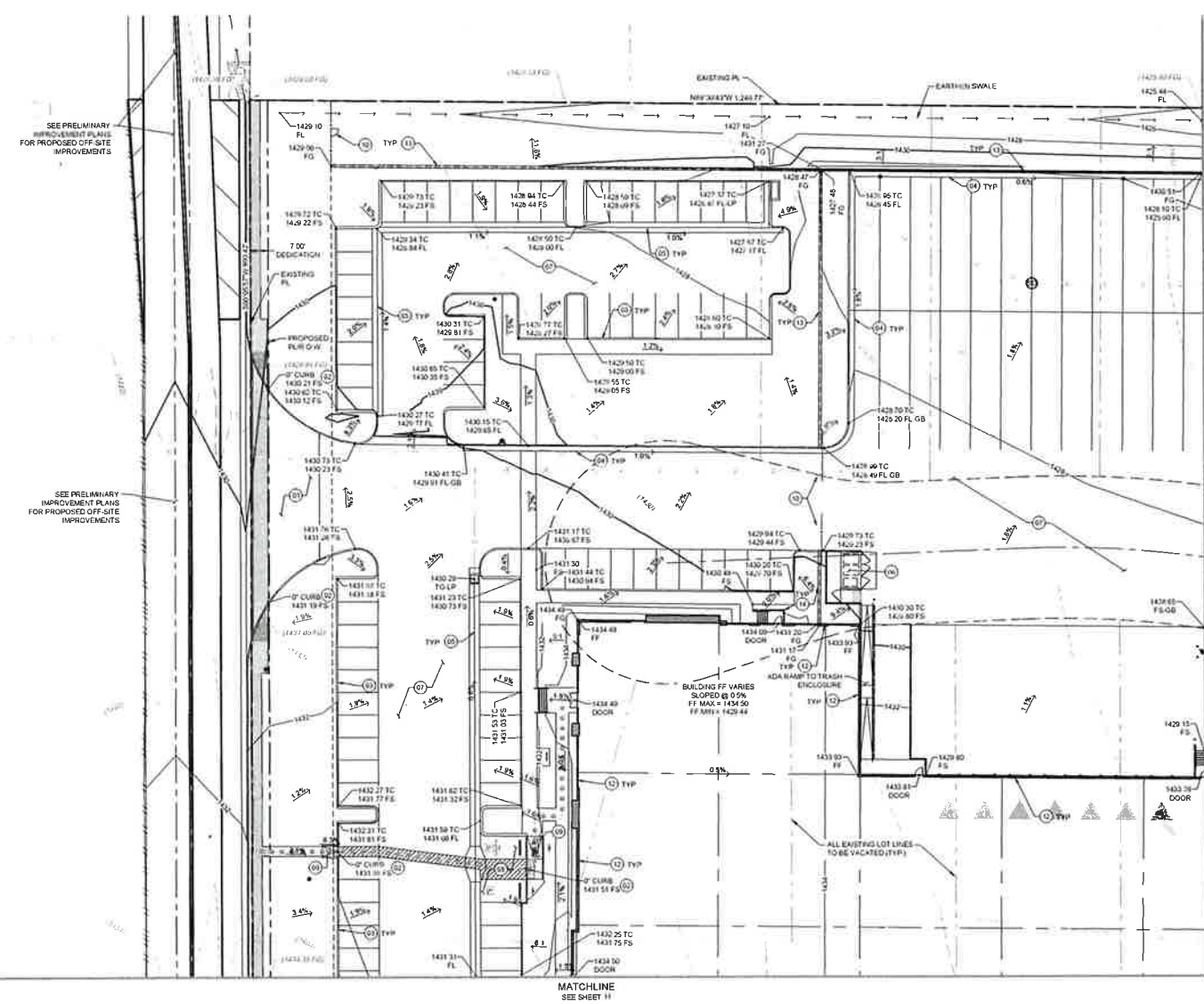
KEY MAP

CONSTRUCTION NOTE

- 01 NEW COMMERCIAL DRIVEWAY APPROACH
- 02 NEW 6" CURB
- 03 NEW 6" CURB
- 04 NEW 6" CURB AND GUTTER
- 05 NEW VALLEY GUTTER
- 06 NEW TRASH ENCLOSURE
- 07 NEW CONCRETE PAVING PER GEOTECHNICAL REPORT
- 08 NEW ADA PARKING
- 09 NEW ADA CURB RAMP
- 10 NEW GATE
- 11 NEW BUILDING STEM WALL
- 12 NEW BUILDING DEEPEINED FOOTING
- 13 NEW SCREEN WALL
- 14 NEW RETAINING WALL
- 15 NEW CONCRETE BROW DITCH

GRADING NOTES

1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIFFERENCES WITH THE ELEVATIONS SHOWN ON THE EXISTING GRADE SHEET.
2. ENGINEER SHALL REVIEW AND APPROVE OR DISAPPROVE ANY CHANGES TO THE ELEVATIONS.
3. ANY CHANGES TO THE ELEVATIONS SHALL BE FOR ANY SET COVER ASSOCIATED WITH CHANGES TO THE EXISTING UTILITY PROFILES.
4. THE ELEVATIONS SHALL BE BASED ON THE 1985 MEAN SEA LEVEL COVER SHEET TO THE BENCHMARK. BASIS OF BEARING, AND SURVEY INFORMATION.
5. ELEVATIONS ARE PERMITTED TO VARY UP TO .01' FROM ARCHITECTURAL FLOOR ELEVATIONS.
6. ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
7. CURB ELEVATIONS ARE AT FLOWLINE/BERM/UNLESS OTHERWISE NOTED.
8. ELEVATIONS SHALL BE BASED ON THE 1985 MEAN SEA LEVEL.
9. EXISTENTIALITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
10. EXISTING AND PROPOSED GRADES SHALL BE SHOWN CROSS-SECTION TOWARD ROADS, DRIVE LINES AND PARKING AREAS UNLESS OTHERWISE NOTED.
11. EXISTING AND PROPOSED GRADES SHALL BE SHOWN IN THE PARKING AREAS.
12. TO BE 2% MAX SLOPE IN ANY DIRECTION.
13. REFER TO THE GEOTECH REPORT FOR PROPOSED FLOOR ELEVATIONS.
14. GRADING OF LANDSCAPED AREAS AROUND EXISTING AND PROPOSED UTILITY STRUCTURES.
15. PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REGULATIONS RE ARCHITECTURAL/LANDSCAPE PLANS.

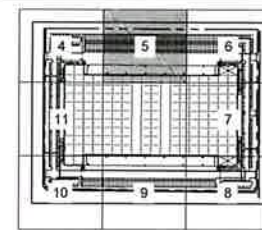
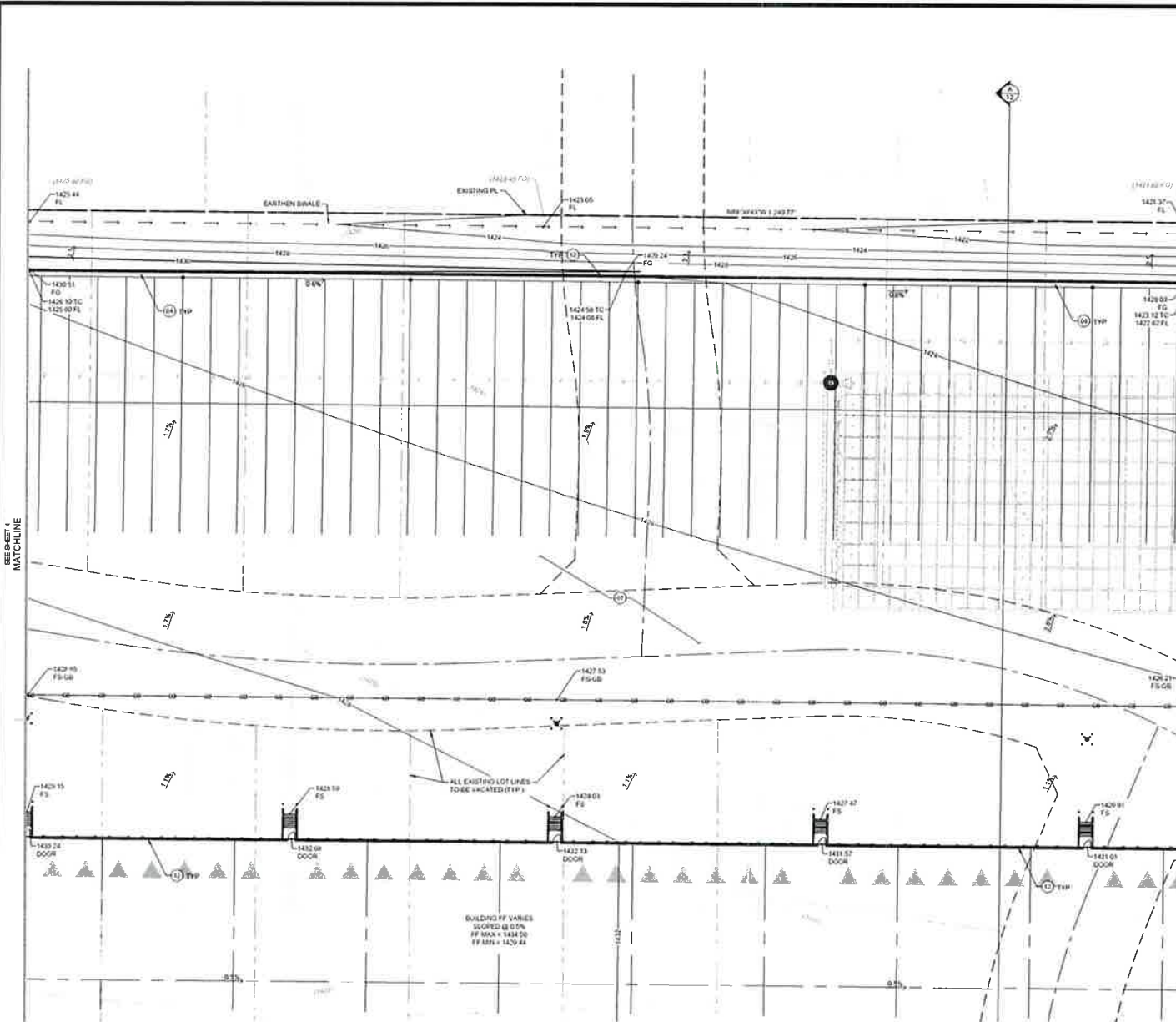


SEE PRELIMINARY
IMPROVEMENT PLANS
FOR PROPOSED OFF SITE
IMPROVEMENTS

SEE PRELIMINARY
IMPROVEMENT PLAN
FOR PROPOSED OFF-SITE
IMPROVEMENTS

MATCHLINE
SEE SHEET 11

WVH027006600-C-FCAD-Sheets29-AluminumRV22 QD8L BRELIMANMY GRADING PLATE Eng BR0004847 PM ACASTELLO 11



CONSTRUCTION NOTES

- 01 NEW COMMERCIAL DRIVEWAY APPROACH
- 02 NEW 6" CURB
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GRADING NOTES

- 1 CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THE PLANS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- 2 SEE COVER SHEET FOR BENCHMARK BASIS OF BEARINGS. AND SURVEY INFORMATION.
- 3 ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
- 4 ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
- 5 CURB ELEVATIONS ARE AT FLOWLINE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- 6 EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- 7 SIDEWALKS AND LANDINGS SHALL BE 2% MAX. CROSS-SLOPE TOWARD ROADS, DRIVE LINES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
- 8 ACCESSIBLE PARKING STALLS AND LOADING AREAS TO BE 2% MAX. SLOPE IN ANY DIRECTION.
- 9 REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER ELEVATIONS.
- 10 GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECHNICAL REPORT.
- 11 PROCESSION GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS RE ARCHITECTURAL/LANDSCAPE PLANS.



WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

10 Address
11 Phone: 951.551.8
12 P: 951.551.9128
13 wmalcomb.com



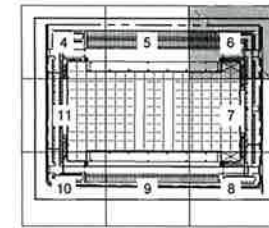
ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

PRELIMINARY GRADING PLAN	
DATE	REVISIONS

JOB NO.	11122-0038
PAI PM	L. CORNIE
DESIGNED	A. CASTELLO
DATE	9/26/2024

SHEET
5

5 of 14

KEY MAP
SCALE: NTS

CONSTRUCTION NOTES

- (01) NEW COMMERCIAL DRIVEWAY APPROACH
- (02) NEW "C" CURB
- (03) NEW "F" CURB
- (04) NEW "S" CURB AND GUTTER
- (05) NEW VALLEY GUTTER
- (06) NEW TRASH ENCLOSURE
- (07) NEW CONCRETE PAVING PER GEOTECHNICAL REPORT
- (08) NEW ADA PARKING
- (09) NEW ADA CURB RAMP
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GRADING NOTES

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2. SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS AND SURVEY INFORMATION.
3. ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
4. ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
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8. ACCESSIBLE PARKING STALLS AND LOADING AREAS TO BE 2% MAX SLOPE IN ANY DIRECTION.
9. REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
10. GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH REPORT.
11. PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS. RE: ARCHITECTURAL/LANDSCAPE PLANS.

SEE PRELIMINARY
IMPROVEMENT PLANS
FOR PROPOSED OFF-SITE
IMPROVEMENTS

SCALE: 1" = 20'

WARE MALCOMB
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p 949 660 9128
waremalcomb.com



FOR ADDITIONAL
OF WARE MALCOMB

ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

PRELIMINARY GRADING PLAN

NO.	DATE	REVISION

JOB NO.	REVISED DATE
DATE	DESIGNED BY
DATE	DATE
DATE	DATE

SHEET
6

Sheet 6 of 14

SEE SHEET 6
MATCHLINE

WARE MALCOMB & ASSOCIATES, INC. 10000 S. 100TH ST. SUITE 100, MENIFEE, CA 92585 949.660.9128

MATCHLINE
SEE SHEET 7

WARE MALCOMB
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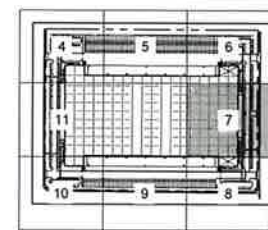


ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

DATE	BY

JOB NO.	REV'D 0006
PLAT NO.	L CORRIDOR
DATE	A CASTLE
PLAT DATE	9/26/2024

7
Sheet 7 of 14



KEY MAP
SCALE: NTS

CONSTRUCTION NOTES

- 01 NEW COMMERCIAL DRIVEWAY APPROACH
- 02 NEW 0" CURB
- 03 NEW 6" CURB
- 04 NEW 6" CURB AND GUTTER
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- 2 SET COVER SHEET FOR BENCHMARK BASIS OF ELEVATIONS AND SURVEY INFORMATION.
- 3 ELEVATIONS ARE 1% IN THE SURVEY DATUM NOT PER ARCHITECTURAL FLOOR TO ELEVATIONS. ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
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- 5 EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- 6 SIDEWALKS AND LANDINGS SHALL BE 2% MAX. CROSS-SLOPE TOWARD ROADS. DRIVE LANES AND PARKING AREAS UNLESS OTHERWISE NOTED.
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- 8 REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
- 9 GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH REPORT.
- 10 PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE OR FEDERAL REQUIREMENTS. RE ARCHITECTURAL/LANDSCAPE PLANS.



SCALE 1" = 20'

SEE SHEET 6
MATCHLINE

MATCHLINE
SEE SHEET 8

ALL EXISTING LOT
LINES TO BE
VACATED (TYP)

BUILDING FF VARIES
SLOPED @ 0.5%
FF MAX = 1424.50
FF MIN = 1420.44

SEE PRELIMINARY
APPROPRIATE PLANS
FOR PROPOSED OFF-SITE
IMPROVEMENTS

WARE MALCOMB & ASSOCIATES, INC. 10000 N. MURRIETA RD., SUITE 100, MENIFEE, CA 92585



- 01 NEW COMMERCIAL DRIVEWAY APPROACH
- 02 NEW 0" CURB
- 03 NEW 6" CURB
- 04 NEW 8" CURB AND GUTTER
- 05 NEW VALLEY OUTLET
- 06 NEW TRASH ENCLOSURE
- 07 NEW CONCRETE PAVING PER GEOTECHNICAL REPORT
- 08 NEW ADA PARKING
- 09 NEW ADA CURB RAMP
- 10 NEW GATE
- 11 NEW BUILDING STEM WALL
- 12 NEW BUILDING DEEPENDED FOOTING
- 13 NEW SCREEN WALL
- 14 NEW RETAINING WALL
- 15 NEW CONCRETE BROW DITCH

- 1 CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THIS DRAWING.
- 2 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PRIOR NOTIFICATION.
- 3 CONTRACTOR MUST OBTAIN RELEVANT DATA, SUCH AS BEARINGS, AND SURVEY INFORMATION.
- 4 ELEVATIONS ARE FOR THE SURVEY DATUM, NOT PCE.
- 5 ALL FINISHED FLOOR ELEVATIONS SHALL BE BASED ON THE ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
- 6 CURB ELEVATIONS ARE AT FLOOD ELEVATION OF CURB UNLESS OTHERWISE NOTED.
- 7 ELEVATIONS SHALL BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- 8 SIGNING AND LANDSCAPING SHALL BE IN 2% MAX. SLOPE TOWARD ROADWAY, DRAIN LINES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
- 9 GRADING SHALL BE IN 2% MAX. SLOPE AND AROUND 1% TO 2% MAX. SLOPE IN ANY DIRECTION.
- 10 REFER TO THE GEOTECH REPORT FOR FOUNDATION ELEVATION.
- 11 GRADING OF LANDSCAPY AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH RECOMMENDATIONS FOR FOUNDATION WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS. RE ARCHITECTURAL/LANDSCAPE PLANS.



SEE SHEET 0
MATCHLINE

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- 07 NEW COMMERCIAL DRIVEWAY APPROACH
- 08 NEW 6" CURB
- 09 NEW 8" CURB
- 04 NEW 6" CURB AND GUTTER
- 05 NEW VALLEY GUTTER
- 06 NEW TRASH ENCLOSURE
- 07 NEW CONCRETE PAVING PER GEOTECHNICAL REPORT
- 06 NEW ADA PARKING
- 09 NEW ADA CURB RAMP
- 10 NEW GATE
- 11 NEW BUILDING STEM WALL
- 12 NEW BUILDING DEEPER NEED FOOTING
- 13 NEW SCREEN WALL
- 14 NEW RETAINING WALL
- 15 NEW CONCRETE BROW DITCH

- 1 CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITH NOTED PROPER NOTIFICATION.
- 2 CONTRACTOR SHALL VERIFY THE ELEVATIONS OF BEARINGS AND SURVEY INFORMATION.
- 3 ELEVATIONS ARE PER THE SURVEY DATUM NOT P.L.R.
- 4 CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
- 5 CONTRACTOR SHALL VERIFY THE ELEVATIONS OF CURB/ELEVATIONS ARE AT FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- 6 CONTRACTOR SHALL VERIFY THE ELEVATIONS ARE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- 7 SIDEWALKS AND LANDINGS SHALL BE 2% MAX. SLOPE TOWARD THE CURB.
- 8 DRIVEWAYS SHALL BE 2% MAX. SLOPE TOWARD THE PARKING AREAS UNLESS OTHERWISE NOTED.
- 9 DRIVEWAYS SHALL BE 2% MAX. SLOPE AWAY FROM THE 2% MAX. SLOPE IN ANY DIRECTION.
- 10 REFER TO THE GEOTECH REPORT FOR FLOOR SLAB ELEVATIONS.
- 11 CONTRACTOR SHALL VERIFY THE ELEVATIONS OF GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH REPORT.
- 12 CONTRACTOR SHALL VERIFY THE ELEVATIONS OF GRADING REQUIRED BY LOCAL STATE OR FEDERAL REQUIREMENTS RE ARCHITECTURAL AND/SCAPE.

10 edelman
irvine, ca 92618
p 949 660 9128
war@edelman.com



FOR AND ON BEHALF
OF WADE MALCOMB

**ARES SPEC INDUSTRIAL
PRELIMINARY PLANS**
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

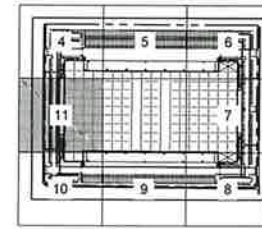
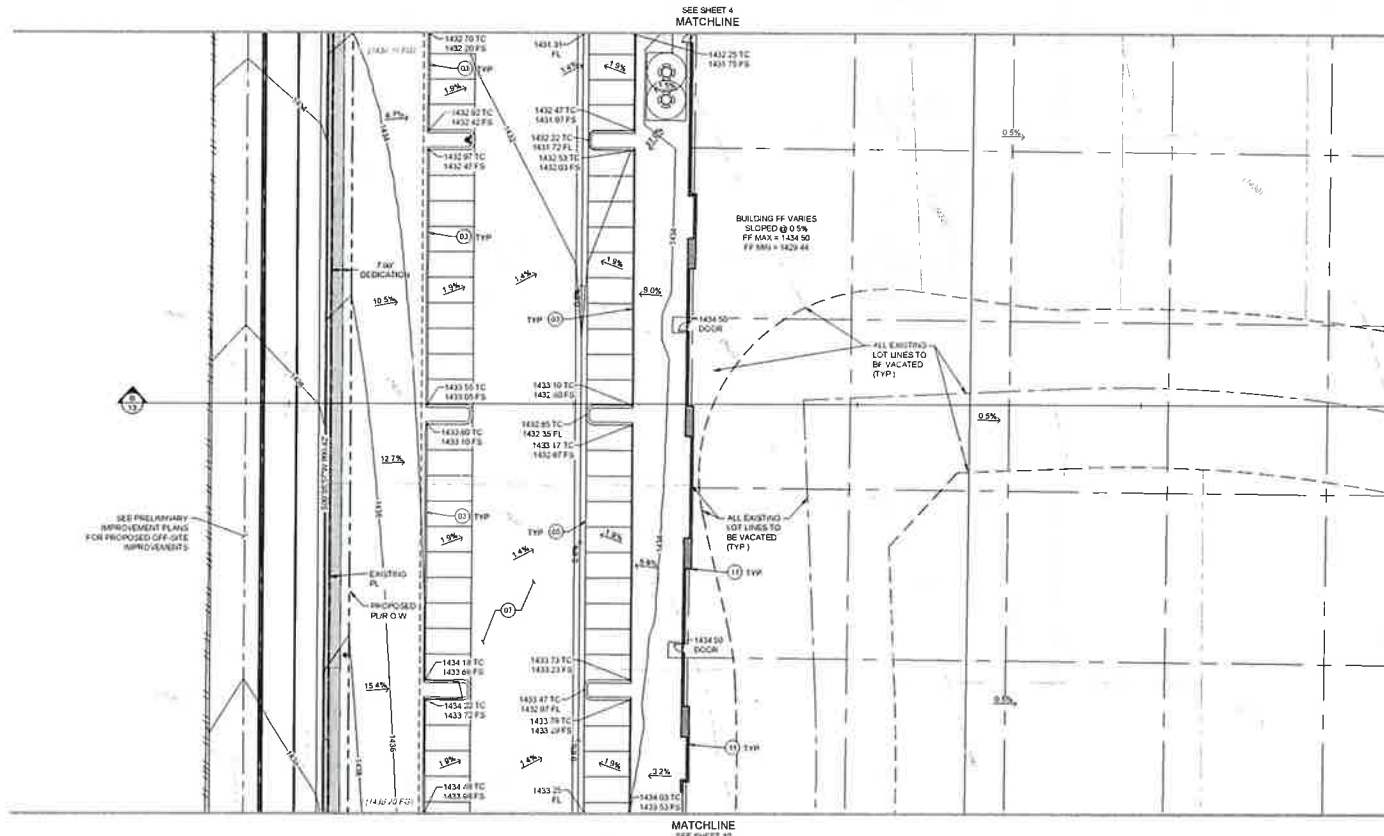
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JOB NO	IRV22.00M
PA / PM	L CORSENE
DESIGNER	A CASTELO
DATE	9/26/2024
PLOT DATE	9/26/2024

10

Sheet 10 of 14

W:\PROJECTS\2024\ARES SPEC INDUSTRIAL PRELIMINARY GRADING PLAN.dwg 08/20/24 11:00 AM ACASTELO 11



KEY MAP
SCALE: NTS

CONSTRUCTION NOTES

- (01) NEW COMMERCIAL DRIVEWAY APRRACH
- (02) NEW 1" CURB
- (03) NEW 4" CURB
- (04) NEW 4" CURB AND GUTTER
- (05) NEW VALLEY GUTTER
- (06) NEW TRASH ENCLOSURE
- (07) NEW CONCRETE PAVING FOR GEOTECHNICAL REPORT
- (08) NEW ADA PARKING
- (09) NEW ADA CURB RAMP
- (10) NEW GATE
- (11) NEW BUILDING STEM WALL
- (12) NEW BUILDING DEEPEVED FOOTING
- (13) NEW SCREEN WALL
- (14) NEW RETAINING WALL
- (15) NEW CONCRETE BROW DITCH

GRADING NOTES

- 1 CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ELEVATIONS SHOWN ON THE PLANS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
- 2 SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
- 3 ELEVATIONS ARE PER THE SURVEY DATUM, NOT PER ARCHITECTURAL FLOOR ELEVATIONS.
- 4 ELEVATIONS ARE AT FINISHED SURFACE UNLESS OTHERWISE NOTED.
- 5 CURB ELEVATIONS ARE AT FLOWLINE/SOTTOM OF CURB UNLESS OTHERWISE NOTED.
- 6 EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
- 7 SIDEWALKS AND LANDINGS SHALL BE 2% MAX CROSS-SLOPE TOWARD ROADS, DRIVE LANES, AND PARKING AREAS UNLESS OTHERWISE NOTED.
- 8 ACCESSIBLE PARKING STALLS AND LOADING AREAS TO BE 2% MAX SLOPE IN ANY DIRECTION.
- 9 REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
- 10 GRADING OF LANDSCAPED AREAS AROUND BUILDINGS TO COMPLY WITH GEOTECH REPORT.
- 11 PEDESTRIAN GUARDRAILS TO BE INSTALLED WHERE REQUIRED BY LOCAL, STATE, OR FEDERAL REQUIREMENTS RE ARCHITECTURAL/LANDSCAPE PLANS.



WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

10 address
Irvine, CA 92618
P 949 860 9128
waremalcomb.com

ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92555

PRELIMINARY GRADING PLAN

NO.	DATE	REVISIONS

JOB NO.	HW22-0046
PA / PM	L. CORSADE
DESIGNED	A. CASTELLO
DATE	8/20/2024
PLOT DATE	9/20/2024

SHEET
11
of 14

12

Sheet 12 of 14



WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

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rvine, ca 92618
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varemail@comcast.com



FOR AND ON BEHALF

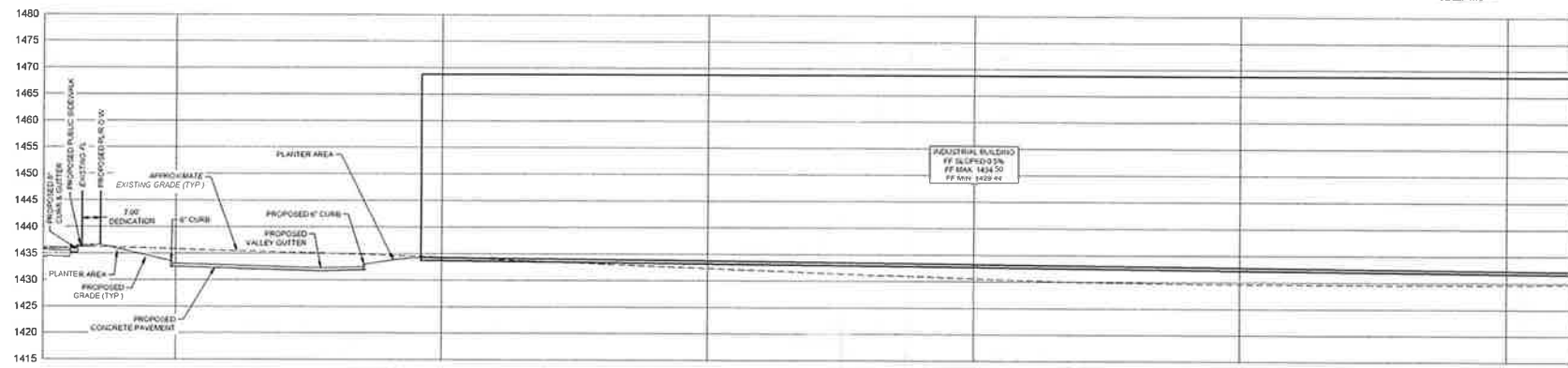
**ARES SPEC INDUSTRIAL
PRELIMINARY PLANS**
MURRIETA RD. & ETHANAC RD.
MENIFEE, CA 92585

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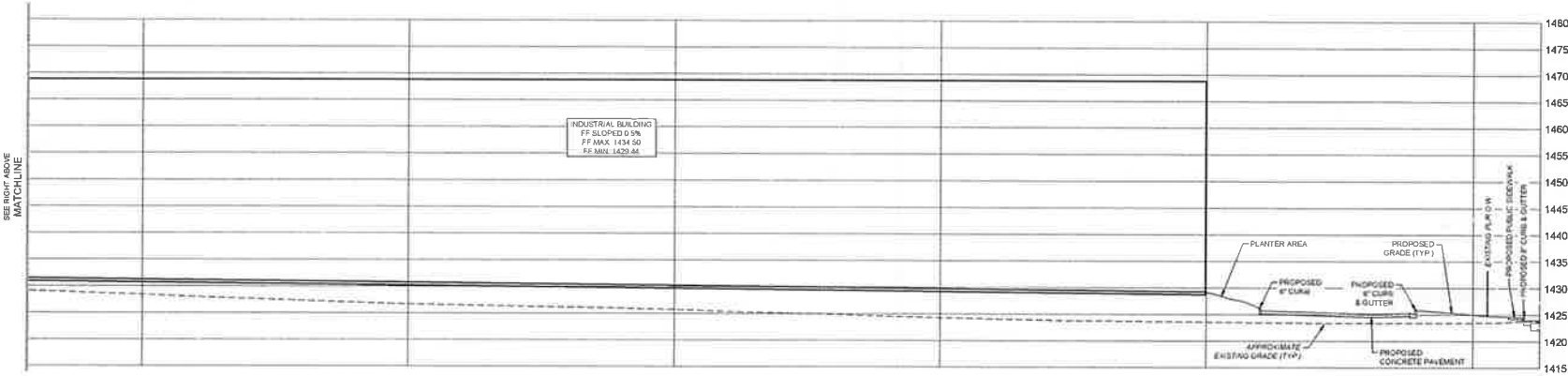
JOINT#:	HRV22-0006
PA / PM	L. CORSE
DESIGNED	A. CASTELO
DATE:	6/26/2024
PLOT DATE	6/26/2024

13

Sheet 13 of 14



SITE SECTION B-B
HOR. SCALE: 1" = 20'
VERT. SCALE: 1" = 10'

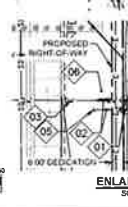
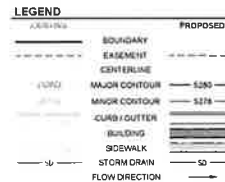
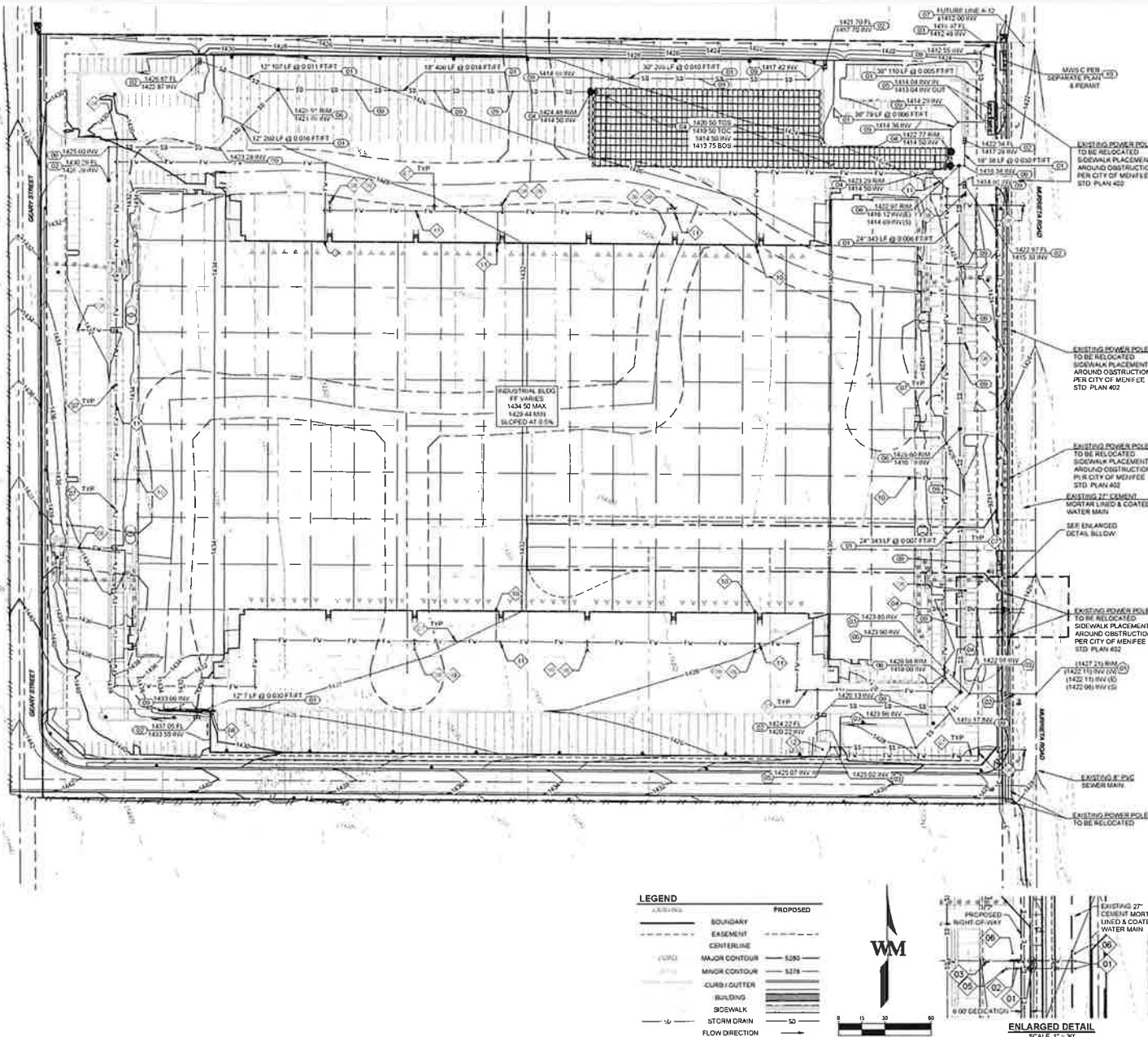


SITE SECTION B-B
HOR. SCALE 1" = 20'
VERT. SCALE 1" = 10'

SEE RIGHT ABOVE
MATCHLINE

SCALE: Hor: 1" = 20'
SCALE: Vert: 1" = 10'

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- STORM DRAIN CONSTRUCTION NOTES**
- INSTALL NEW 18" STORM DRAIN PIPE "S" OPEN AT 0.5% MIN. PIPE SIZE, LENGTH, AND SLOPE PER PLAN. REFER TO DETAIL 01 ON SHEET 35 FOR TRENCHING.
 - INSTALL NEW CURB OPENING CATCH BASIN WITH GRATING(S) PER GREENBOOK SWPPP, STD PLAN 302.3.
 - INSTALL NEW 36" JENSEN PRECAST CATCH BASIN DROP INLET WITH FULL TRASH CAPTURE INSERT PER DETAIL 03, 04, & 05 ON SHEET 35.
 - INSTALL UNDERGROUND STORAGE BASIN, DETAIL 06 STORMTECH CHAMBERS OR EQUAL. PER DETAIL 01 ON SHEET 38 & DETAIL 01 ON SHEET 28.
 - INSTALL MODULAR WETLAND SYSTEM BMP (MWS A & B) PER DETAIL 01 ON SHEET 28.
 - INSTALL STORM DRAIN MANHOLE PIPE TO PIPE PER GREENBOOK SWPPP, STD PLAN 302.3.
 - CONNECT TO FUTURE OFF-SITE STORM DRAIN CONNECTION PER SEPARATE PLAN & PERMIT. CONSTRUCT NEW OVERSIDE DRAIN PER CITY OF MENEFEE STD. PLAN NO. 302.
 - INSTALL NEW STORM DRAIN CLEANOUT PER DETAIL 02 ON SHEET 35.
 - INSTALL MODULAR WETLAND SYSTEM BMP (MWS C) PER DETAIL 02 ON SHEET 28.

- SEWER CONSTRUCTION NOTES**
- NEW SEWER LATERAL CONNECTION TO EXISTING SANITARY MANHOLE.
 - NEW SEWER LATERAL PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. SB 52.
 - NEW SEWER CLEANOUT PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. SB 52.
 - NEW 8" PVC SAN. SEWER LINE SLOPED AT 1% TRENCHING PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. SB 158.
 - NEW SEWER SERVICE BUILDING POINT OF CONNECTION.

- WATER CONSTRUCTION NOTES**
- NEW 2" COPPER DOMESTIC AND IRRIGATION SERVICE CONNECTIONS AND METERS PER EASTERN MUNICIPAL WATER DISTRICT STD DWGS. B-344A AND B-344.
 - NEW 2" DOMESTIC WATER AND IRRIGATION BACKFLOW PREVENTER ASSEMBLIES PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. B-347A.
 - NEW 2" COPPER DOMESTIC WATER SERVICE PIPE.
 - NEW DOMESTIC WATER SERVICE BUILDING POINT OF CONNECTION.
 - NEW IRRIGATION SERVICE POINT OF CONNECTION. REFER TO LANDSCAPE PLANS FOR CONTINUATION.
 - NEW FIRE WATER SERVICE CONNECTION AND DCD BACKFLOW PREVENTER ASSEMBLY PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. B-367.
 - NEW FIRE WATER SERVICE LOOP WITH THRUST RODS. PVC 600 SIZE 180' THRU 8" COAS. PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. B-427. TRENCH BACKFILL PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. B-288.
 - NEW FIRE HYDRANT PER EASTERN MUNICIPAL WATER DISTRICT STD DWG. B-362.
 - NEW BOLLARD PROTECTION AROUND WATER APPLIANCE.
 - NEW FIRE WATER SPRINKLER RISER. REFER TO FIRE SPRINKLER PLANS FOR CONTINUATION.
 - NEW FIRE WATER POST INDICATOR VALVE.
 - CONSTRUCT NEW FIRE PUMP STATION PER ARCHITECTURAL, STRUCTURAL, AND PLUMBING PLANS.

UTILITY PURVEYORS:

EASTERN MUNICIPAL WATER DISTRICT (WATER & SEWER)
2270 TRIMBLE ROAD
PERMI, CA 92510
PHONE: 951 828-5777

- UTILITY NOTES**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHERE NEW GRADING OR UTILITY WORK WILL OCCUR AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS. ENGINEER WILL NOT BE LIABLE FOR ANY COSTS ASSOCIATED WITH CHANGES TO THE DESIGN WITHOUT PROPER NOTIFICATION.
 - SEE COVER SHEET FOR BENCHMARK, BASIS OF BEARINGS, AND SURVEY INFORMATION.
 - PROPOSED DRY UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY UTILITY PROVIDERS AND/OR METER.
 - EXISTING UTILITY STRUCTURES TO BE ADJUSTED AS NECESSARY FOR PROPOSED GRADING.
 - REFER TO THE GEOTECH REPORT FOR GROUNDWATER ELEVATIONS.
 - MANHOLES ARE CONTROLLED AT CENTER OF MANHOLE.
 - ALL RCP TO BE CLASS II OR APPROVED EQUIVALENT UNLESS OTHERWISE NOTED.
 - ALL STORM AND SANITARY PVC TO BE 8000 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.
 - ALL WATER PVC TO BE 8000 UNLESS OTHERWISE NOTED OR REQUIRED BY THE JURISDICTION.

WARE MALCOMB
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P 949.660.9128
waremalcomb.com



ARES SPEC INDUSTRIAL
PRELIMINARY PLANS
MURRIETA RD. & ETHANAC RD.
MENEFEE, CA 92585

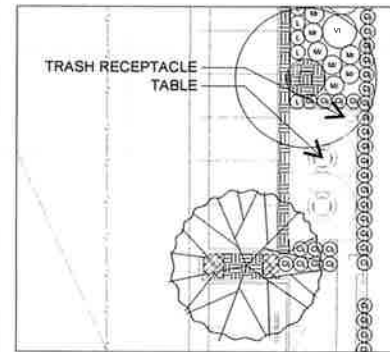
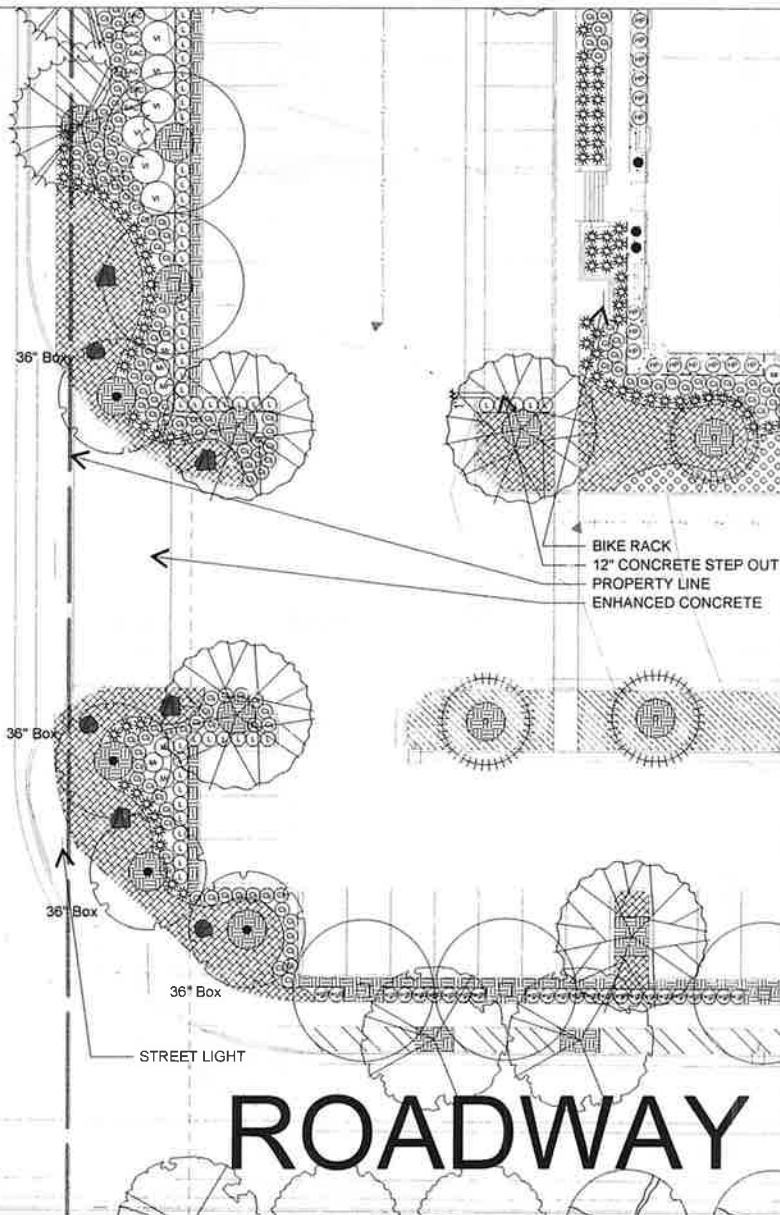
PRELIMINARY UTILITY PLAN

DATE	REVISIONS

JOB NO.	11222-0000
PA FPM	L. COBLINE
DESIGNED	A. CASTELLO
DATE	9/30/2024
PILOT DATE	9/30/2024

SHEET
14
14 of 14

GEARY STREET



EMPLOYEE BREAK AREA
SCALE: 1" = 10'

PLANTING LEGEND

TREES				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QUANTITY	REMARKS
	Chopala Irons	24" Box	1	1' OC
	Desert Willow	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC
	Chopala Irons	24" Box	1	1' OC

SHRUBS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QUANTITY	REMARKS
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC
	Chopala Irons	5 Gal	1	1' OC

ACCENTS				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QUANTITY	REMARKS
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC

GROUNDCOVER				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	REMARKS
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC
	Chopala Irons	1 Gal	1' O C	1' OC

VINES				
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	REMARKS
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC
	Chopala Irons	1 Gal	1	1' OC

2" layer shredded organic mulch in shrub areas, 1" layer in groundcover areas.
3/4" crushed rock decorative rock - Desert Gold 3" layer over filter fabric.
Cobble
4" boulders Desert Gold available from Southwest Boulder Supply, 1' of boulder in ground - 1" total
3" boulders Desert Gold available from Southwest Boulder Supply, 1' of boulder in ground - 1" total
Grass seed mix only

GEARY STREET SOUTH ENTRY IMPROVEMENTS
TYPICAL FOR ALL ENTRIES
SCALE: 1" = 10'

ENLARGEMENT PLANS - SHEET 3

ARES Spec Industrial

22-059
05.25.22
Sub P2 03.10.23 Sub P5 11.01.23
Sub B2 08.04.23 Sub B3 09.26.24

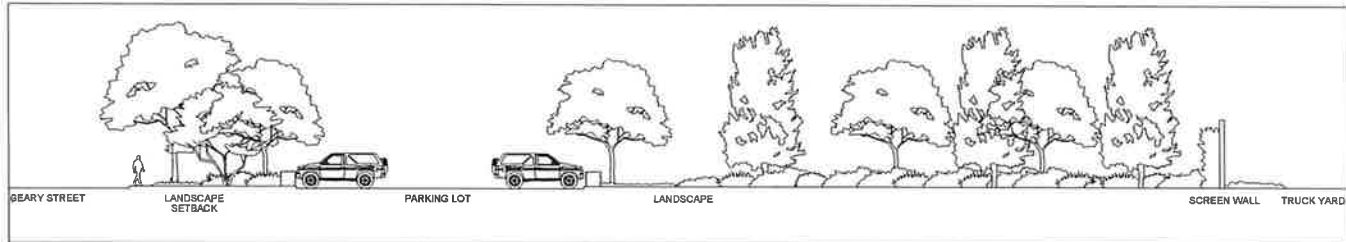
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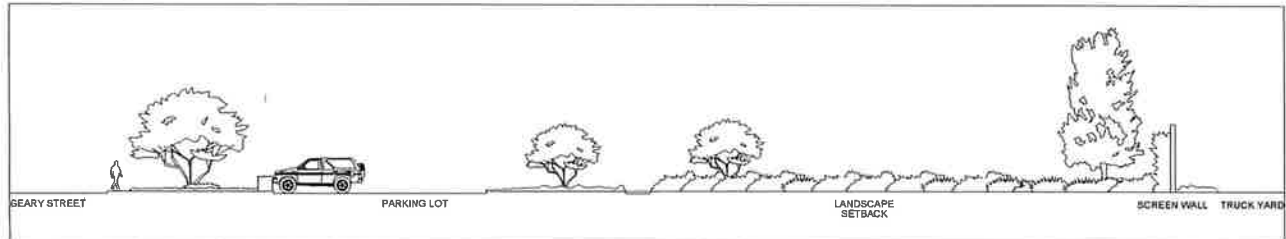
Menifee, California



HUNTER LANDSCAPE
711 FEE ANA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408



SECTION A-A



SECTION B-B



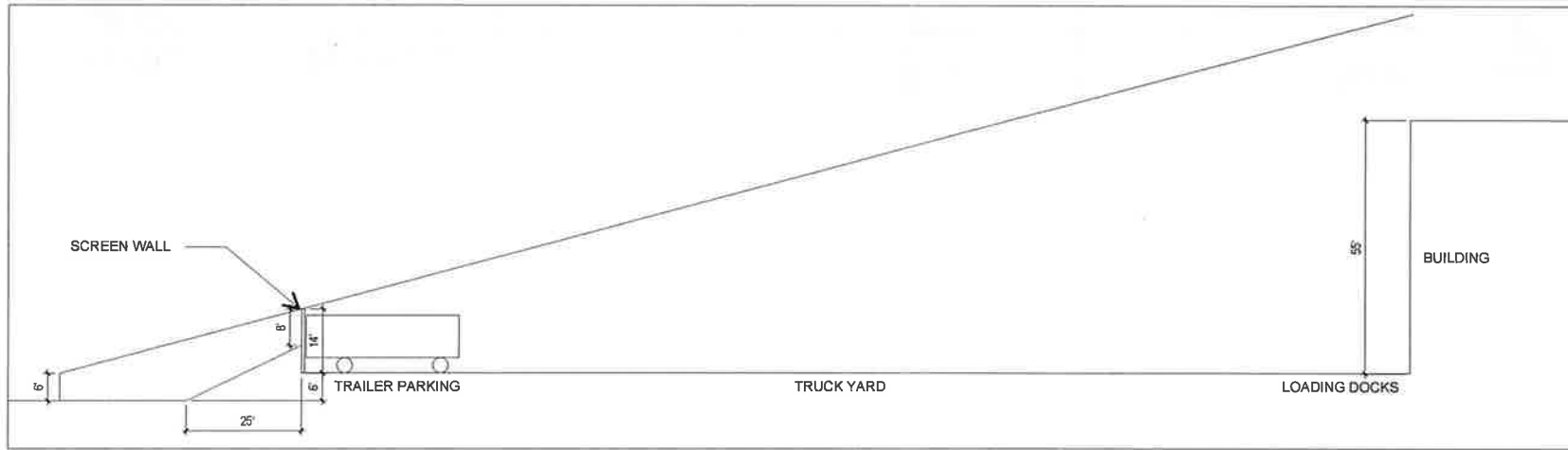
SECTIONS - SHEET 4

ARES Spec Industrial

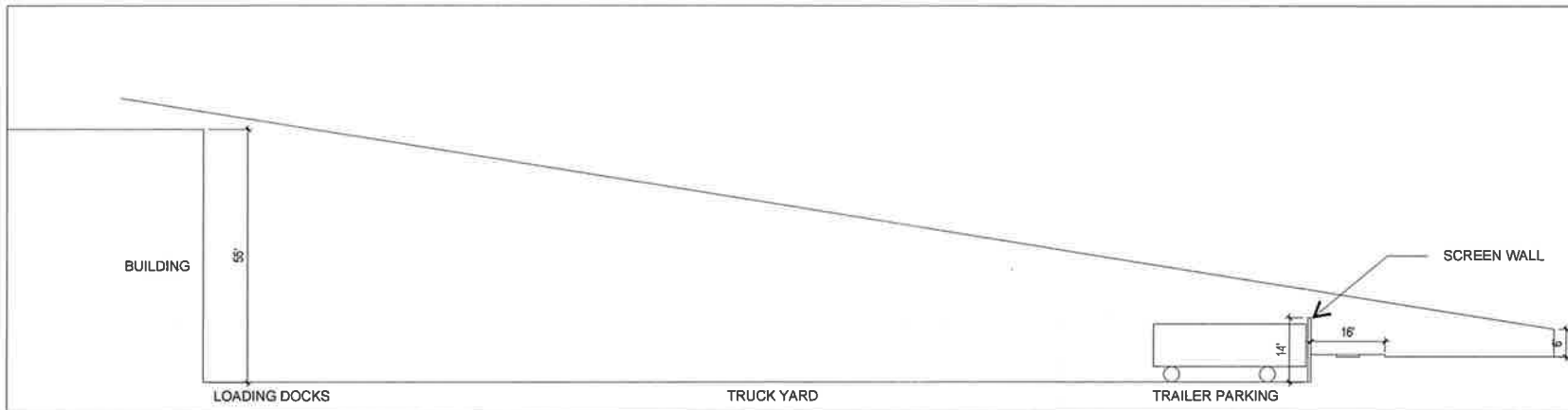
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05.24.22 SJD #4: 09.13.23
SJD #2: 05.10.22 SJD #3: 11.01.23
SJD #1: 05.04.22 SJD #5: 09.28.24



HUNTER LANDSCAPE
711 FEE ANA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408



SECTION C-C



SECTION D-D



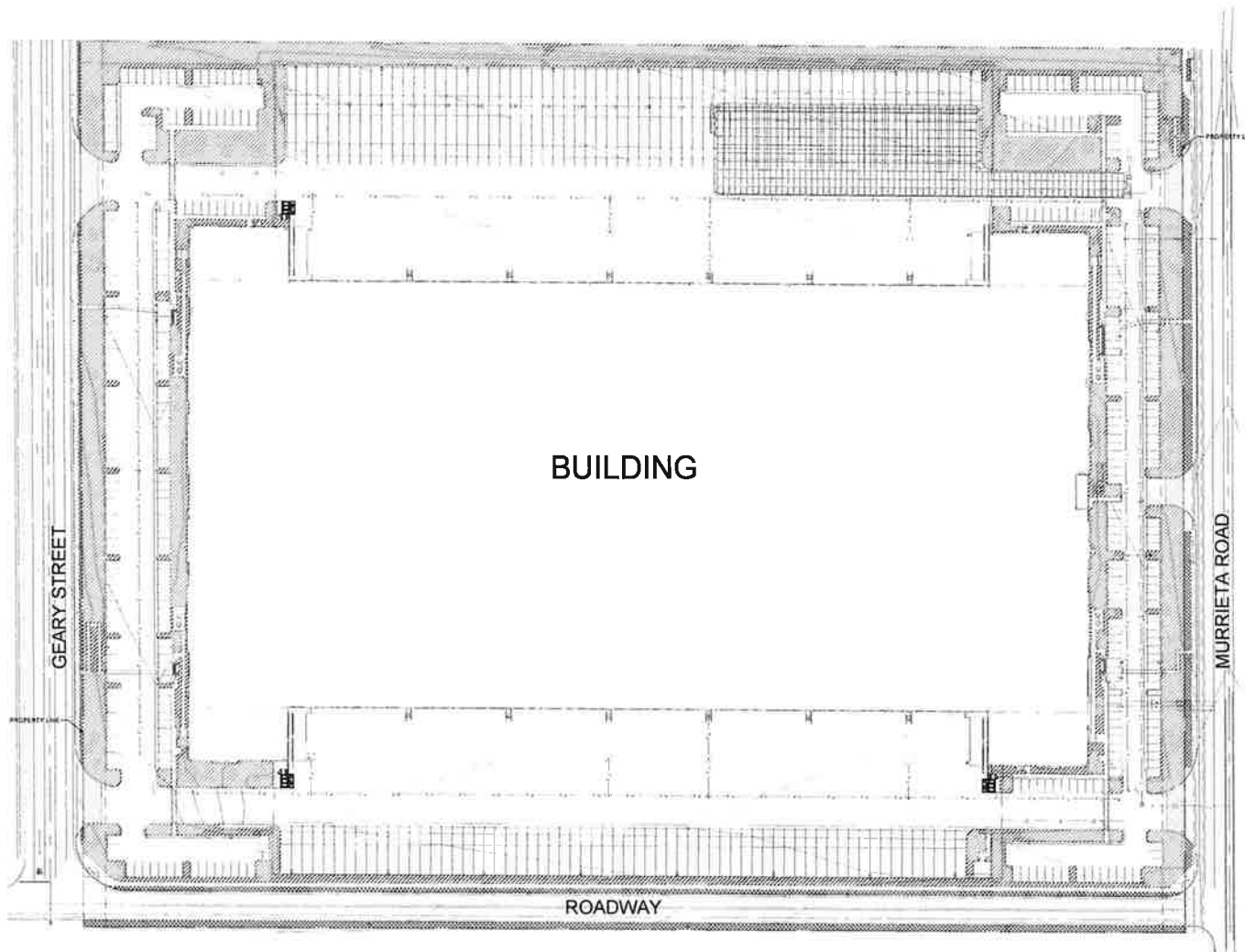
SECTIONS - SHEET 5



ARES Spec Industrial

22-059
 05.24.21 Sup #K: 09.13.23
 Sub #2: 03.10.23 Sub #3: 11.01.23
 Sub #5: 08.24.23 Sub #6: 09.26.24



HUNTER LANDSCAPE
 711 FEE ANA STREET PLACENTIA, CA 92870
 714.986.2400 FAX 714.986.2408



-  PRIVATE / ASSOCIATION MAINTAINED AREA
-  CFD MAINTAINED AREA



LANDSCAPE MAINTENANCE RESPONSIBILITIES EXHIBIT - SHEET 6

ARES Spec Industrial

22-059
05.26.22 Sub #4: 08.13.23
Sub #2: 09.10.23 Sub #5: 11.01.23
Sub #3: 08.04.23 Sub #6: 08.26.24



Menifee, California

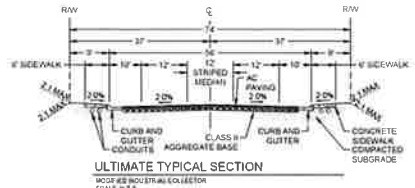
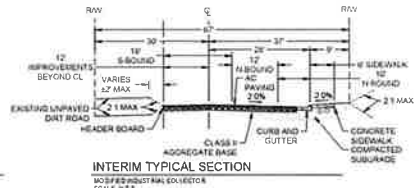
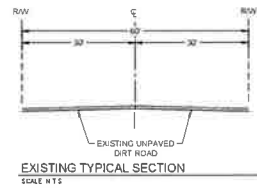
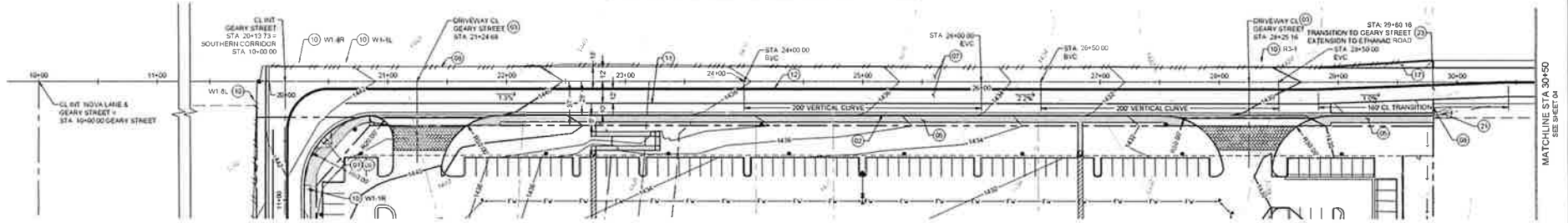


HUNTER LANDSCAPE

711 FEE AINA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408

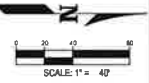
SHEET NO.
01
01 OF 05
CT NO: DEV2022-017

GEARY STREET - STA 19+50 TO 30+50

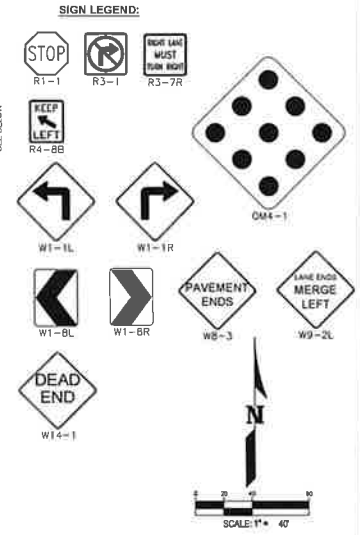
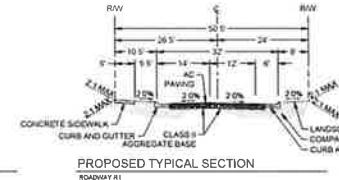
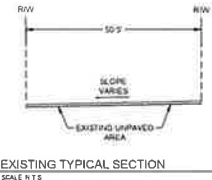
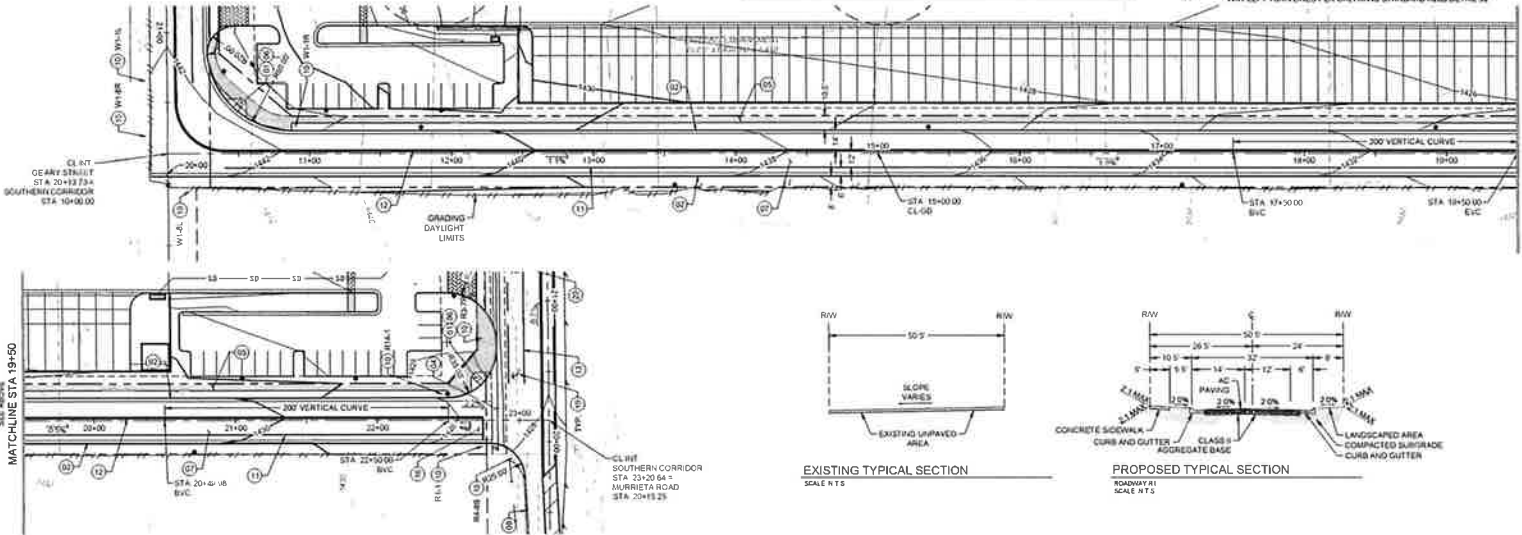


- CONSTRUCTION NOTES:**
- (1) CONSIDER BACK PER CITY STD NO. 82
 - (2) TYPE B CURB AND GUTTER PER CITY STD NO. 201
 - (3) COMMERCIAL DRIVE APPROACH PER CITY STD NO. 208
 - (4) CROSS CUTTING AND SPANDREL PER CITY STD NO. 209
 - (5) SIDEWALK PER CITY STD NO. 408
 - (6) AC PAVEMENT PER CITY STD NO. 408
 - (7) PAVEMENT RAMP TYPE PER CITY STD NO. 408
 - (8) JOIN TO EXISTING PAVEMENT
 - (9) NEW SIGN PER PLAN
 - (10) 1" SOLID WHITE REFLECTIVE THERMOPLASTIC RIGHT EDGE LINE PER CALTRANS STANDARD PLAN A20 DETAIL 37B
 - (11) 1" SOLID WHITE REFLECTIVE THERMOPLASTIC LEFT EDGE LINE PER FIGURE 3A 107CA
 - (12) 3" SOLID WHITE REFLECTIVE CHANGELINE LINE PER FIGURE 3A 107CA
 - (13) 1" SOLID WHITE REFLECTIVE LANE DROP PER CALTRANS STANDARD PLAN A20 DETAIL 37B
 - (14) 1" SOLID WHITE REFLECTIVE THERMOPLASTIC LANE LINE PER CALTRANS STANDARD PLAN A20 DETAIL 37B
 - (15) 1" WHITE REFLECTIVE THERMOPLASTIC LANE LINE (STOP LINE) PER CALTRANS STANDARD PLAN A20 DETAIL 37B
 - (16) 1" SOLID WHITE REFLECTIVE THERMOPLASTIC MEDIAN LINE PER CALTRANS STANDARD A20 DETAIL 37B
 - (17) 1" SOLID WHITE REFLECTIVE THERMOPLASTIC TWO WAY LEFT TURN LINES PER CALTRANS STANDARD A20 DETAIL 37B

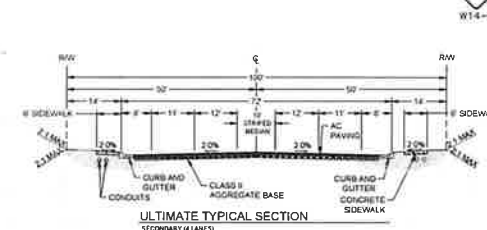
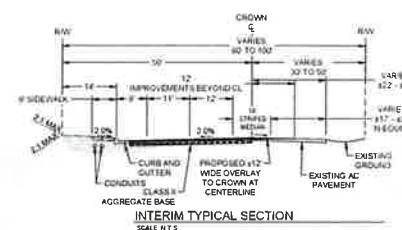
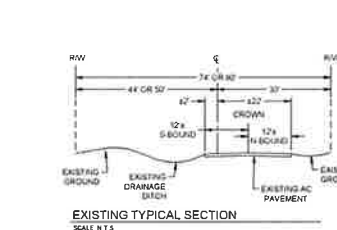
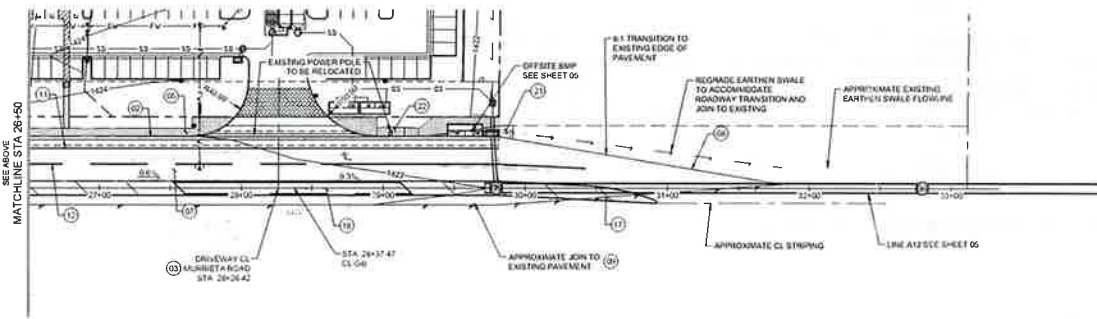
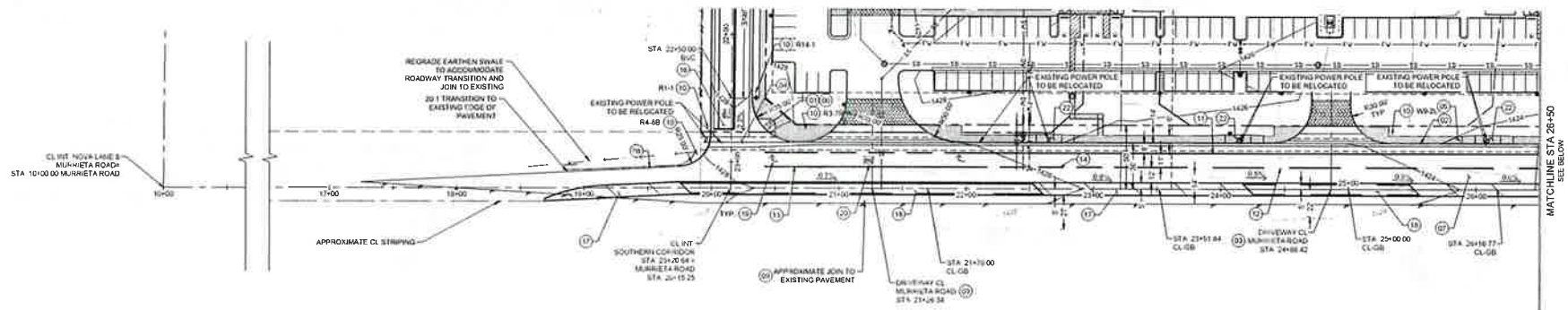
- CONSTRUCTION NOTES (CONTINUED):**
- (18) 1" SOLID WHITE PAVEMENT MARKING PER CALTRANS DETAIL A20B
 - (19) 1" SOLID WHITE PAVEMENT MARKING PER CALTRANS DETAIL A20B
 - (20) 1" SOLID WHITE PAVEMENT MARKING PER CALTRANS DETAIL A20B
 - (21) 1" SOLID WHITE PAVEMENT MARKING PER CALTRANS DETAIL A20B
 - (22) 1" SOLID WHITE PAVEMENT MARKING PER CALTRANS DETAIL A20B
 - (23) 1" SOLID WHITE PAVEMENT MARKING PER CALTRANS DETAIL A20B
- NOTE:**
STREPPING AND SIGNAGE IS PRELIMINARY. FINAL DESIGN SHALL BE COORDINATED WITH THE APPROVED TRAFFIC IMPACT ANALYSIS AND APPROVED BY THE CITY ENGINEER.



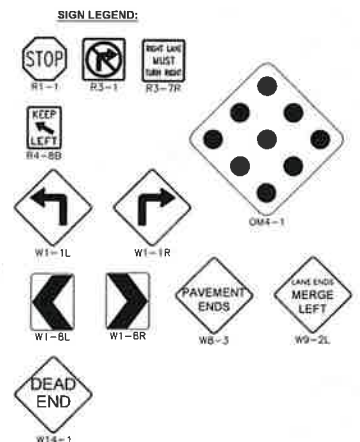
SOUTH CORRIDOR - STA 10+00 TO 23+21



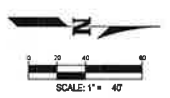
<p>Call before you Dig</p> <p>811</p> <p>1-800-221-2800</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>APP.</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	APP.	1					<p>ENGINEER LOGO</p> <p>WARE MALCOMB</p> <p>LEADING DESIGN FOR COMMERCIAL REAL ESTATE</p> <p>10 edelman p 949 660 9128 waremalcomb.com</p>	<p>ENGINEER SEAL</p> <p>SCALE: AS SHOWN</p> <p>DESIGN: AC</p> <p>DRAWN: AC</p> <p>CHECKED: LC</p> <p>APPROVED: --</p> <p>DATE: 09/13/2023</p>	<p>CITY OF MENEFEE</p> <p>ENGINEERING DEPARTMENT</p> <p>CITY ENGINEER</p> <p>RECEIVED: _____ DATE: _____</p> <p>EXP. --/--</p> <p>RECOMMENDED BY: _____</p>	<p>CITY OF MENEFEE</p> <p>ENGINEERING DEPARTMENT</p> <p>IMPROVEMENT PLANS FOR: GEARY STREET & SOUTH CORRIDOR</p> <p>PRELIMINARY STREET PLAN</p>	<p>SHEET NO.</p> <p>02</p> <p>02 OF 05</p> <p>PROJECT NO DEV2022-017</p>
	NO.	DESCRIPTION	DATE	BY	APP.											
	1															



- CONSTRUCTION NOTES:**
- (01) CORNER CUT BACK PER CITY STD NO. 82
 - (02) TYPE B CURB AND GUTTER PER CITY STD NO. 301
 - (03) COMMERCIAL DRIVE APPROACH PER CITY STD NO. 208
 - (04) CROSS GUTTER AND SPANDREL PER CITY STD NO. 208
 - (05) SIDEWALK PER CITY STD NO. 400
 - (06) PEDESTRIAN RAMP TYPE I PER CITY STD NO. 400
 - (07) AC PAVEMENT - PRELIMINARY DESIGN PENDING
 - (08) HEADS BOARD
 - (09) JOIN TO EXISTING PAVEMENT
 - (10) NO SIGN PER PLAN
 - (11) 8" SOLID WHITE REFLECTIVE THERMOPLASTIC RIGHT EDGE LINE PER CALTRANS STANDARD PLAN A201 DETAIL 318
 - (12) 4" DOUBLE SOLID YELLOW REFLECTIVE THERMOPLASTIC LEFT EDGE LINE PER FIGURE 3A-102(CA)
 - (13) 4" SOLID WHITE REFLECTIVE CHANNELIZED LINE PER FIGURE 3A-102(CA)
 - (14) 8" SOLID WHITE REFLECTIVE LAKE DROP PER CALTRANS STANDARD PLAN A201 DETAIL 318
 - (15) 4" DASHED WHITE REFLECTIVE THERMOPLASTIC LAKE LINE PER CALTRANS STANDARD PLAN A201 DETAIL 318
 - (16) 12" WHITE REFLECTIVE THERMOPLASTIC LANE LINE (STOP LINE) PER CALTRANS STANDARD PLAN A201 DETAIL 318
 - (17) 4" DOUBLE SOLID YELLOW REFLECTIVE THERMOPLASTIC MEDIAN LINE PER CALTRANS STANDARD A201 DETAIL 29
 - (18) 8" SOLID AND DASHED YELLOW REFLECTIVE THERMOPLASTIC TWO WAY LEFT TURN LINES PER CALTRANS STANDARD A201 DETAIL 32
 - (19) TYPE B (R) PAVEMENT MARKING PER CALTRANS DETAIL A218
 - (20) "ONLY" PAVEMENT MARKING PER CALTRANS DETAIL A218
 - (21) BURN BAR ENERGY DISSIPATION FOR INTERIM STREET RUNOFF OR OVERLOWPASS
 - (22) SIDEWALK PLACEMENT AROUND OBSTRUCTION PER CITY STD NO. A03

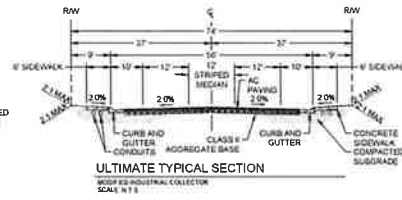
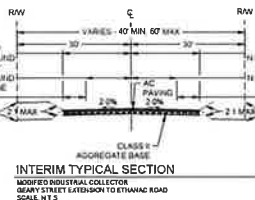
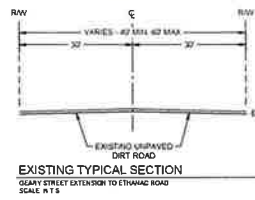
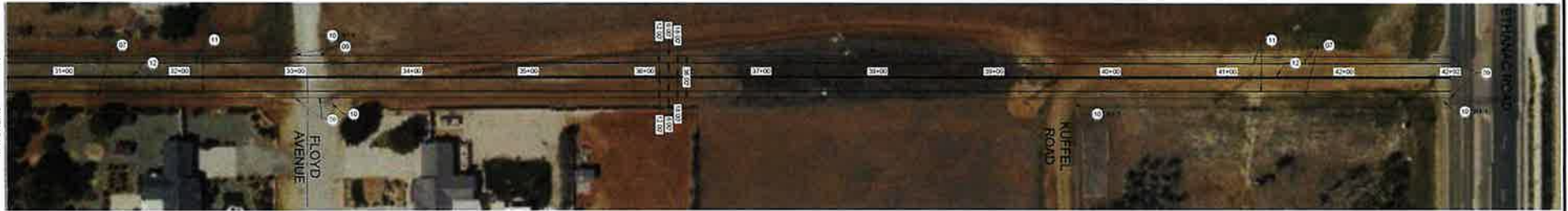


NOTE:
STRIPING AND SIGNAGE IS PRELIMINARY. FINAL DESIGN SHALL BE COORDINATED WITH THE APPROVED TRAFFIC IMPACT ANALYSIS AND APPROVED BY THE CITY ENGINEER.



<p>Call before you dig 811 1-800-227-7888</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>				NO.	DESCRIPTION	DATE	BY	APPROVED						<p>ENGINEER LOGO</p> <p>WARE MALCOMB LEADING DESIGN FOR COMMERCIAL REAL ESTATE</p> <p>10 edelman irvine, ca 92618 p 949 960 9128 waremalcomb.com</p>		<p>ENGINEER SEAL</p>	<p>SCALE: AS SHOWN</p> <p>DESIGN: AC</p> <p>DRAWN: AC</p> <p>CHECKED: LC</p> <p>APPROVED: ---</p> <p>DATE: 09/13/2023</p>	<p>CITY OF MENEFEE ENGINEERING DEPARTMENT</p> <p>CITY ENGINEER</p> <p>RECEIVED: 09/13/2023</p> <p>DATE</p>	<p>CITY OF MENEFEE ENGINEERING DEPARTMENT</p> <p>IMPROVEMENT PLANS FOR MURRIETA ROAD</p> <p>PRELIMINARY STREET PLAN</p>	<p>SHEET NO.</p> <p>03</p> <p>03 OF 05</p> <p>PROJECT NO. DEV2022-017</p>
	NO.	DESCRIPTION	DATE	BY	APPROVED																

GEARY STREET - STA 30+50 TO 43+00

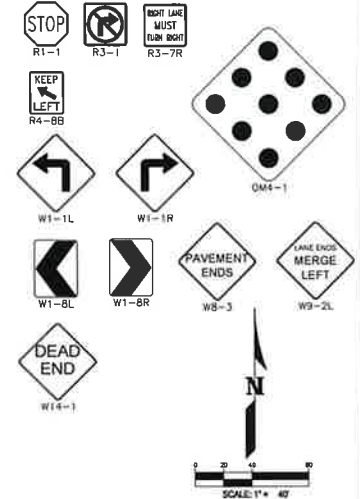


- CONSTRUCTION NOTES:**
- (01) CORNER CUT BACK PER CITY STD. NO. 42
 - (02) TYPE B CURB AND GUTTER PER CITY STD. NO. 201
 - (03) CURB/SEAL DRIVE APPROACH PER CITY STD. NO. 208
 - (04) CROSS GUTTER AND SPANDREL PER CITY STD. NO. 208
 - (05) SIDEWALK PER CITY STD. NO. 420
 - (06) PAVEMENT PRELIMINARY DESIGN PENDING
 - (07) HEADER BOARD
 - (08) JOIN TO EXISTING PAVEMENT
 - (09) NEW SIGN PER PLAN
 - (10) 6" SOLID WHITE REFLECTIVE THERMOPLASTIC RIGHT EDGE LINE PER CALTRANS STANDARD PLAN A208 DETAIL 27B
 - (11) 6" DOUBLE SOLID YELLOW REFLECTIVE THERMOPLASTIC LEFT EDGE LINE PER FIGURE 3A-11(CA)
 - (12) 6" SOLID WHITE REFLECTIVE CHANGELINE LINE PER FIGURE 3A-11(CA)
 - (13) 6" SOLID WHITE REFLECTIVE LANE DROP PER CALTRANS STANDARD PLAN A208 DETAIL 31B
 - (14) 4" DASHED WHITE REFLECTIVE THERMOPLASTIC LANE LINE PER CALTRANS STANDARD PLAN A208 DETAIL 9
 - (15) 12" WHITE REFLECTIVE THERMOPLASTIC LANE LINE (STOP LINE) PER CALTRANS STANDARD PLAN A240 LETTERING AND LOCATION PER CITY STD. 1201
 - (16) 6" DOUBLE SOLID YELLOW REFLECTIVE THERMOPLASTIC MEDIAN LINE PER CALTRANS STANDARD A208 DETAIL 29
 - (17) 6" SOLID AND DASHED YELLOW REFLECTIVE THERMOPLASTIC TWO WAY LEFT TURN LINES PER CALTRANS STANDARD A208 DETAIL 32

- CONSTRUCTION NOTES (CONTINUED):**
- (18) TYPE B PAVEMENT MARKING PER CALTRANS DETAIL A208
 - (19) "ONLY" PAVEMENT MARKING PER CALTRANS DETAIL A208
 - (20) RIP RAP ENERGY DISSIPATION FOR INTERMEDIATE STREET RUNDOWN
 - (21) SIDEWALK PLACEMENT AROUND OBSTRUCTION PER CITY STD. NO. 420

NOTE:
STRIPING AND SIGNAGE IS PRELIMINARY. FINAL DESIGN SHALL BE COORDINATED WITH THE APPROVED TRAFFIC IMPACT ANALYSIS AND APPROVED BY THE CITY ENGINEER.

SIGN LEGEND:



REVISIONS	DESCRIPTION	DATE	BY	APPROVED
1	10/11/2023			
2				
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8				
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10				

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE
10 edelman
phone: 612 52518
p 948 680 9126
waremalcomb.com



SCALE: AS SHOWN
DESIGN: AC
DRAWN: AC
CHECKED: LC
APPROVED: --
DATE: 09/13/2023

CITY OF MENIFEE
ENGINEERING DEPARTMENT
CITY ENGINEER
RECOMMENDED BY: --
DATE: --

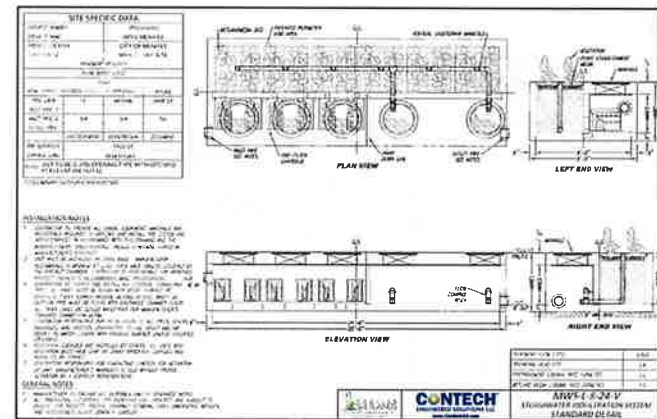






CITY OF MENIFEE
ENGINEERING DEPARTMENT
IMPROVEMENT PLANS FOR
GEARY STREET EXTENSION TO ETHANAC ROAD
PRELIMINARY STREET PLAN

SHEET NO.
04
04 of 05
PROJECT NO. DEV2022-017



- CONSTRUCTION NOTES:**
- (01) SECTION STRUCTURE NO. 1 PER R/CFC STD. NO. MH024
 - (02) SUMP BASED ON DESIGNATION AT OUTFALL
 - (03) STORM DRAIN LINE: APPROXIMATE MATERIAL, DIAMETER AND LENGTH PER PLAN
 - (04) MANHOLE NO. 4 PER R/CFC STD. NO. MH054
 - (05) MANHOLE NO. 2 PER R/CFC STD. NO. MH052
 - (06) CATCH BASIN NO. 1 WITH LOGICAL DEPRESSION PER R/CFC STD. NO. CB100
 - (07) P/LD END FOR FUTURE CONNECTION
 - (08) MODULAR WETLAND SYSTEM WITH CURB OPENING UPSTREAM OF CATCH BASIN
TYPICAL DETAIL HEREIN



 <p>Call before you dig 811 1-800-221-2500</p>	REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>				NO.	DESCRIPTION	DATE	BY	APPROVED																																														ENGINEER LOGO  <p>WARE, MALCOMB LEADING DESIGN FOR COMMERCIAL REAL ESTATE</p> <p>10 edition Irvine, ca 92618 p 949 660 9128 w@malcomb.com</p>	ENGINEER SEAL 	SCALE: AS SHOWN DESIGN: AC DRAWN: AC CHECKED: LC APPROVED: — DATE: 09/13/2023	CITY OF MENIFEE ENGINEERING DEPARTMENT TOLANDA S. MACALALAD CITY ENGINEER REG. 60180 EXP. 9/30/21 DATE: _____ RECOMMENDED BY: _____ DATE: _____	SEAL 	CITY OF MENIFEE ENGINEERING DEPARTMENT IMPROVEMENT PLANS FOR STORM DRAIN LINE - A12 <p>PRELIMINARY SD PLAN - LINE A12</p>	SHEET NO. <p>05</p> <p><u>05</u> of <u>05</u></p> <p>PROJECT NO DEV2022-017</p>
	NO.	DESCRIPTION	DATE	BY	APPROVED																																																								