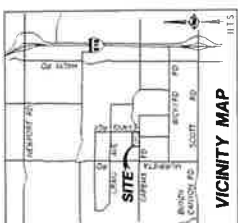




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 4. **STATE** \_\_\_\_\_  
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- EXISTING ZONING LOW DENSITY RESIDENTIAL-2 (LDR-2)  
PROPOSED LAND USE LOW DENSITY RESIDENTIAL-2  
(LDR-2)  
EXISTING LAND USE VACANT LAND  
PROPOSED LAND USE RESIDENTIAL

[illegible]

**LAND USE SUMMARY:**

[illegible]

## PRELIMINARY PARKING TABULATION

**LOT/UNIT SUMMARY**

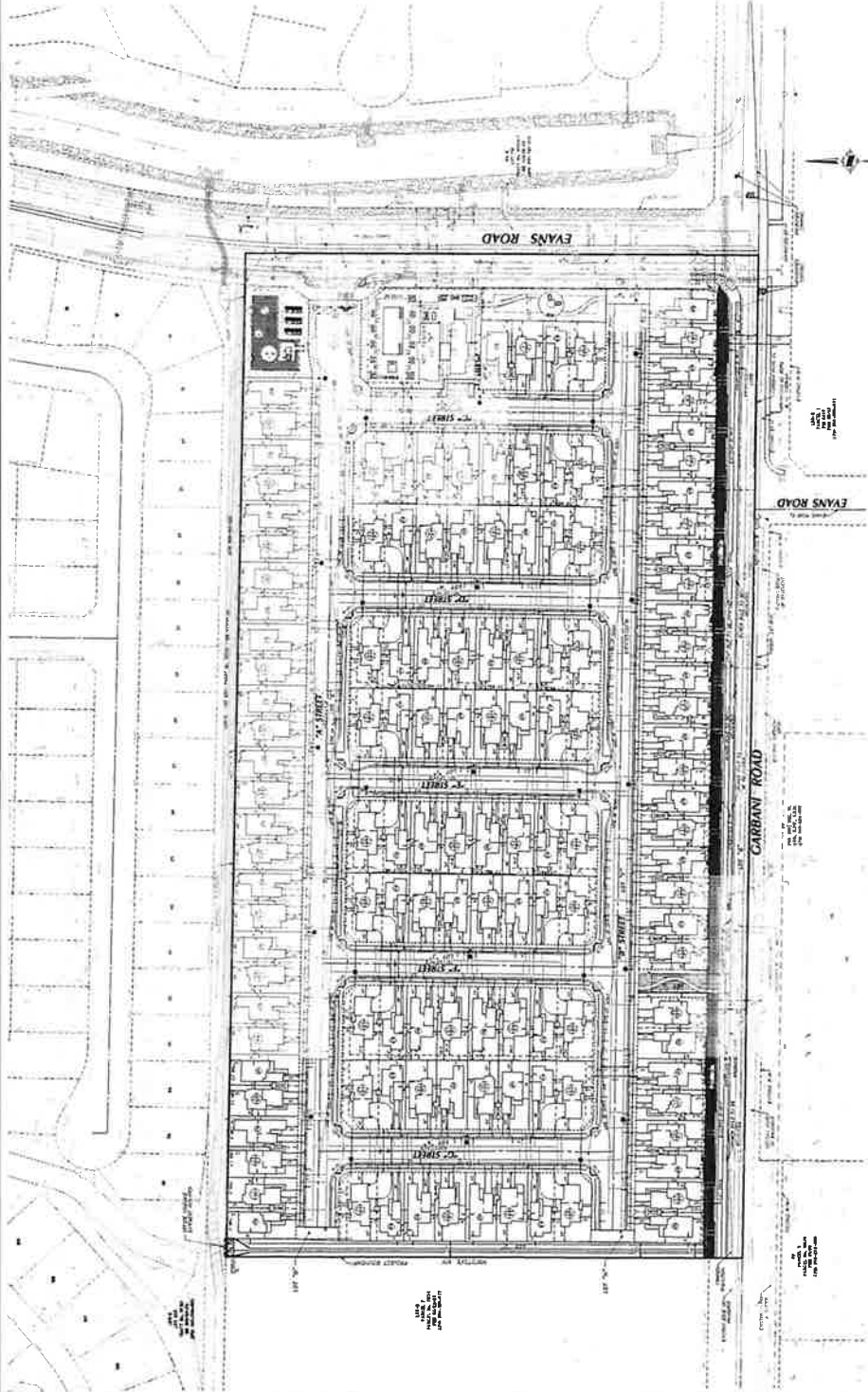
Figure 1 is a 10x10 grid representing the distribution of the 1000 most frequent words in the 1996 British National Corpus. The grid is organized by word frequency (rows) and word length (columns). The columns are labeled: 1-3, 4-5, 6-7, 8-9, 10-11, 12-13, 14-15, 16-17, 18-19, 20-21. The rows are labeled: 1-10, 11-20, 21-30, 31-40, 41-50, 51-60, 61-70, 71-80, 81-90, 91-100. The grid shows a high density of words in the top-left corner (high frequency, low length) and a lower density towards the bottom-right (lower frequency, higher length).

NUMBER LOT  
SUMMARY TABLE

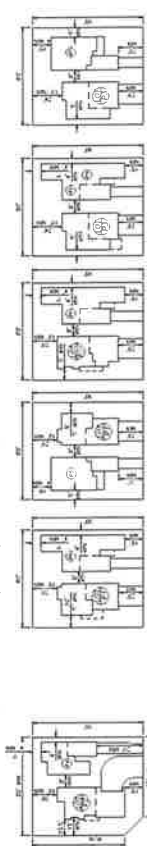
Year	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
1990	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100

**LETTERED LOT  
SUMMARY TABLE**

Lot No.	Lot Description	Lot Area	Area
A	LOT 1	0.12	0.12
B	LOT 2	0.12	0.12
C	LOT 3	0.12	0.12
D	LOT 4	0.12	0.12
E	LOT 5	0.12	0.12
F	LOT 6	0.12	0.12
G	LOT 7	0.12	0.12
H	LOT 8	0.12	0.12
I	LOT 9	0.12	0.12
J	LOT 10	0.12	0.12
K	LOT 11	0.12	0.12
L	LOT 12	0.12	0.12
M	LOT 13	0.12	0.12
N	LOT 14	0.12	0.12
O	LOT 15	0.12	0.12
P	LOT 16	0.12	0.12
Q	LOT 17	0.12	0.12
R	LOT 18	0.12	0.12
S	LOT 19	0.12	0.12
T	LOT 20	0.12	0.12
U	LOT 21	0.12	0.12
V	LOT 22	0.12	0.12
W	LOT 23	0.12	0.12
X	LOT 24	0.12	0.12
Y	LOT 25	0.12	0.12
Z	LOT 26	0.12	0.12
AA	LOT 27	0.12	0.12
AB	LOT 28	0.12	0.12
AC	LOT 29	0.12	0.12
AD	LOT 30	0.12	0.12
AE	LOT 31	0.12	0.12
AF	LOT 32	0.12	0.12
AG	LOT 33	0.12	0.12
AH	LOT 34	0.12	0.12
AI	LOT 35	0.12	0.12
AJ	LOT 36	0.12	0.12
AK	LOT 37	0.12	0.12
AL	LOT 38	0.12	0.12
AM	LOT 39	0.12	0.12
AN	LOT 40	0.12	0.12
AO	LOT 41	0.12	0.12
AP	LOT 42	0.12	0.12
AQ	LOT 43	0.12	0.12
AR	LOT 44	0.12	0.12
AS	LOT 45	0.12	0.12
AT	LOT 46	0.12	0.12
AU	LOT 47	0.12	0.12
AV	LOT 48	0.12	0.12
AW	LOT 49	0.12	0.12
AX	LOT 50	0.12	0.12
AY	LOT 51	0.12	0.12
AZ	LOT 52	0.12	0.12
BA	LOT 53	0.12	0.12
BB	LOT 54	0.12	0.12
BC	LOT 55	0.12	0.12
BD	LOT 56	0.12	0.12
BE	LOT 57	0.12	0.12
BF	LOT 58	0.12	0.12
BG	LOT 59	0.12	0.12
BH	LOT 60	0.12	0.12
BI	LOT 61	0.12	0.12
BJ	LOT 62	0.12	0.12
BK	LOT 63	0.12	0.12
BL	LOT 64	0.12	0.12
BM	LOT 65	0.12	0.12
BN	LOT 66	0.12	0.12
BO	LOT 67	0.12	0.12
BP	LOT 68	0.12	0.12
BQ	LOT 69	0.12	0.12
BR	LOT 70	0.12	0.12
BS	LOT 71	0.12	0.12
BT	LOT 72	0.12	0.12
BU	LOT 73	0.12	0.12
BV	LOT 74	0.12	0.12
BW	LOT 75	0.12	0.12
BX	LOT 76	0.12	0.12
BY	LOT 77	0.12	0.12
BZ	LOT 78	0.12	0.12
CA	LOT 79	0.12	0.12
CB	LOT 80	0.12	0.12
CC	LOT 81	0.12	0.12
CD	LOT 82	0.12	0.12
CE	LOT 83	0.12	0.12
CF	LOT 84	0.12	0.12
CG	LOT 85	0.12	0.12
CH	LOT 86	0.12	0.12
CI	LOT 87	0.12	0.12
CJ	LOT 88	0.12	0.12
CK	LOT 89	0.12	0.12
CL	LOT 90	0.12	0.12
CM	LOT 91	0.12	0.12
CN	LOT 92	0.12	0.12
CO	LOT 93	0.12	0.12
CP	LOT 94	0.12	0.12
CQ	LOT 95	0.12	0.12
CR	LOT 96	0.12	0.12
CS	LOT 97	0.12	0.12
CT	LOT 98	0.12	0.12
CU	LOT 99	0.12	0.12
CV	LOT 100	0.12	0.12
CW	LOT 101	0.12	0.12
CX	LOT 102	0.12	0.12
CY	LOT 103	0.12	0.12
CZ	LOT 104	0.12	0.12
DA	LOT 105	0.12	0.12
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DF	LOT 329		



## TYPICAL SFD & ADU PLOTTING



ARCHITECTURAL PLANS RECEIVED DECEMBER 12, 2023 FROM WHA  
FOR PARTICIPATION PRIOR TO COMPLETE TRANSPARENT BIDDING  
SEE LANDSCAPE PLANS (IP23-XXX) FOR COMPLETE PLANTING DETAILS

ORNER LOTS ARCHITECTURAL PLANS (2 & 4 ADU)  
RECEIVED MARCH 8, 2024 FROM WHA

Case	Model	Estimate	SE	Test Statistic	DF	P-Value	Model	Estimate	SE	Test Statistic	DF	P-Value
Case 1	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 2	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 3	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 4	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 5	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 6	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 7	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 8	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 9	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			
Case 10	Model 1	1.152	0.56				Model 1	1.152	0.56			
	Model 2	1.706	0.56				Model 2	1.706	0.56			
	Model 3	2.171	0.56				Model 3	2.171	0.56			



**TOPOGRAPHY SOURCE**  
 7175 ANGLICAN AVE. SUITE A  
 CANYON, CA 92503  
 CONTACT: JIMMY L. WILSON  
 COMPANY: BY PHOTOGRAPHIC METHODS  
 COMPLIES WITH STANDARD METHODS  
 FORMED BY STATE STANDARDIZED  
 PRACTICE (SEE 2007-2008)

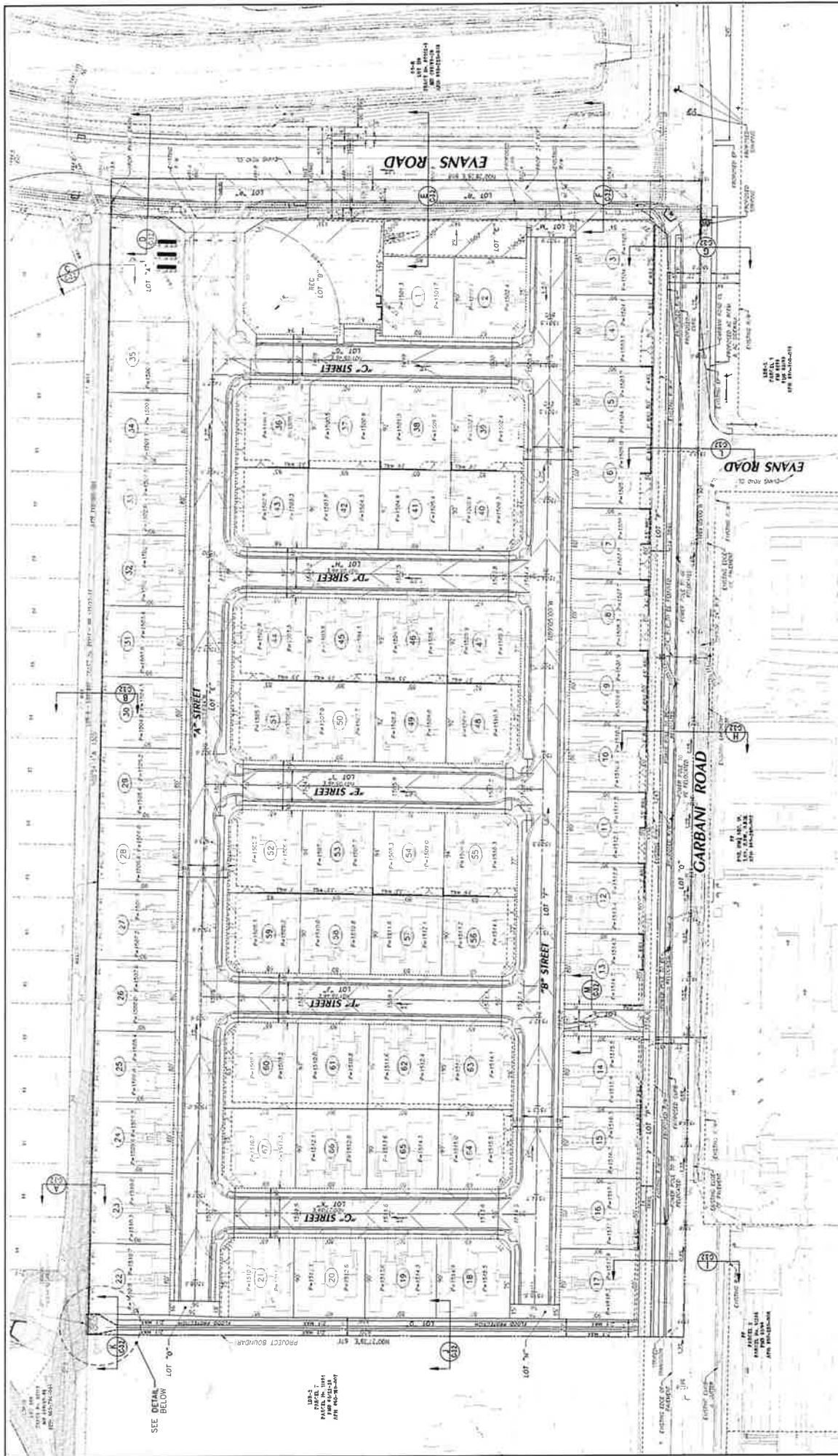
**OWNER**  
 15055 COLUMBIA HWY. SUITE 300  
 VANES, CALIFORNIA 92686  
 CONTACT: MATTHEW BLANCH  
 COMPANY: VANES REAL ESTATE, LLC


**CIVIL ENGINEER**  
 2850 SHAWNEE & SHERIDAN, #115  
 PLEASANTON, CA 94566  
 TEL: (925) 390-7627  
 FAX: (925) 390-7627  
 EMAIL: JIM.FREEDMAN@PCL.COM

[illegible][illegible]

PLANNING APPLICATION NO. PLN23-0248		SHEET NO	
CONCEPTUAL GRADING PLAN		C-3.1	
TTM NO. 38766		CITY OF MENIFEE	
OWNER:		PREPARED BY:	
ALBA PLACIDICA		HUNSENER & ASSOCIATES	
19255 ALTON PARKWAY, SUITE 200		IRVINE, INC.	
IRVINE, CA 92614		INLAND EMPIRE REGION	
TEL (949) 310-2973		TEL (949) 310-2973	
WWW.ALBAPLACIDICA.COM		WWW.IRVINEREC.COM	
WWW.HUNSENERANDASSOCIATES.COM		WWW.HUNSENERANDASSOCIATES.COM	
PROJECT LOCATION: 19255 ALTON PARKWAY, SUITE 200, IRVINE, CA 92614		PROJECT LOCATION: 19255 ALTON PARKWAY, SUITE 200, IRVINE, CA 92614	
DATE: 08/15/2023		DATE: 08/15/2023	
DRAWN BY:		APPROVED BY:	
DESIGNED BY:		CHECKED BY:	
DATE:		DATE:	
REVISIONS:		REVISIONS:	

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2' WALL 80'

10' IN

CHANNEL RFP-RAP DETAIL

DATE: 11/11/09


PLANNING APPLICATION NO. **PLN23-0246**

SHEET NO. **C-32**

**CONCEPTUAL GRADING PLAN**

**TTM NO. 38766**

**CITY OF MENIFEE**



**PREPARED BY:**

**HANISAKER & ASSOCIATES**

**IRVINE, INC.**

**INLAND EMPIRE REGION**

10000 E. 10TH AVENUE, SUITE 200

IRVINE, CA 92618

TEL: (949) 250-2023

FAX: (949) 250-2023

WWW.HANISAKER-IRVINE.COM

**PREPARED FOR:**

INLAND EMPIRE REGION

10000 E. 10TH AVENUE, SUITE 200

IRVINE, CA 92618

TEL: (949) 250-2023

FAX: (949) 250-2023

WWW.HANISAKER-IRVINE.COM

NO.	DATE	REVISIONS	APPROVED	DRAWS	INCHES	BY	DATE

**PROJECT NO.:** 10000 E. 10TH AVENUE, SUITE 200

**PROJECT NAME:** INLAND EMPIRE REGION

**PROJECT LOCATION:** 10000 E. 10TH AVENUE, SUITE 200

**PROJECT DATE:** 11/11/09

**PROJECT BY:** HANISAKER & ASSOCIATES

**PROJECT NO.:** 10000 E. 10TH AVENUE, SUITE 200

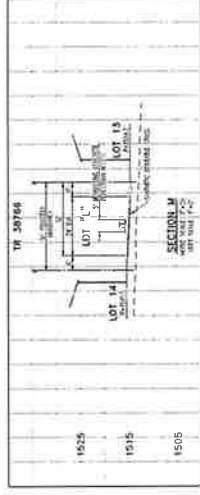
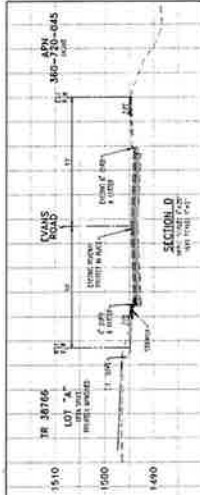
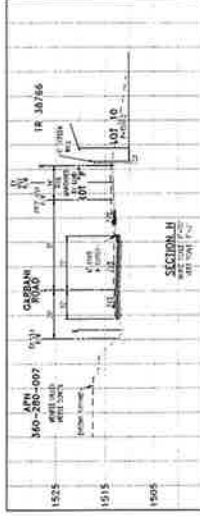
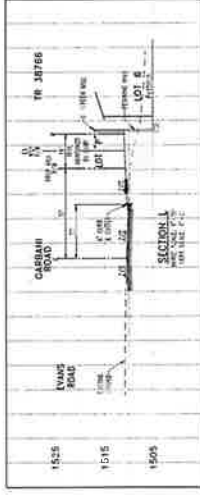
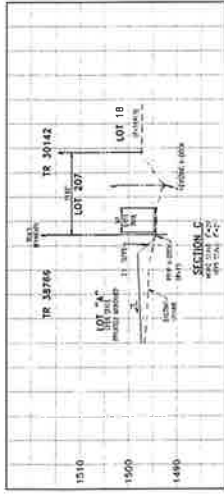
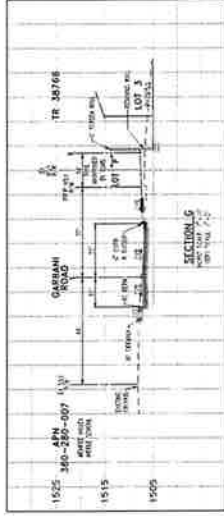
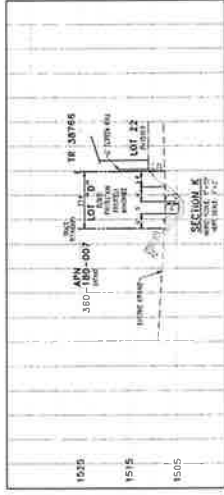
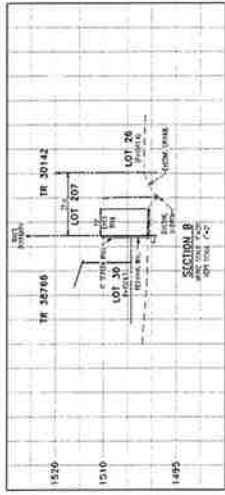
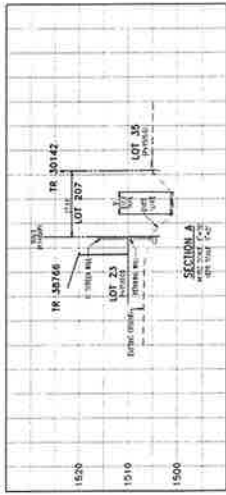
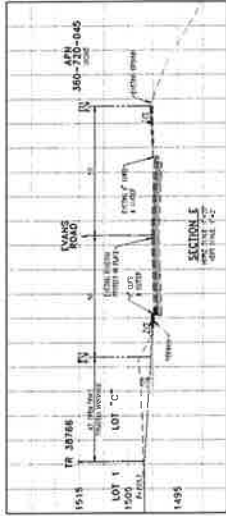
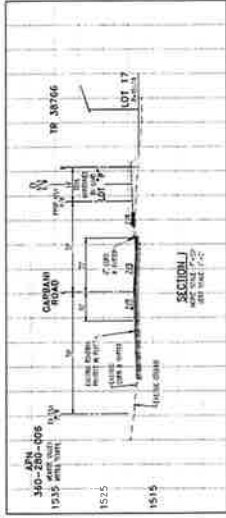
**PROJECT NAME:** INLAND EMPIRE REGION

**PROJECT LOCATION:** 10000 E. 10TH AVENUE, SUITE 200

**PROJECT DATE:** 11/11/09

**PROJECT BY:** HANISAKER & ASSOCIATES





PREPARED BY:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

OWNER:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

DESIGNED BY:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

CHECKED BY:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

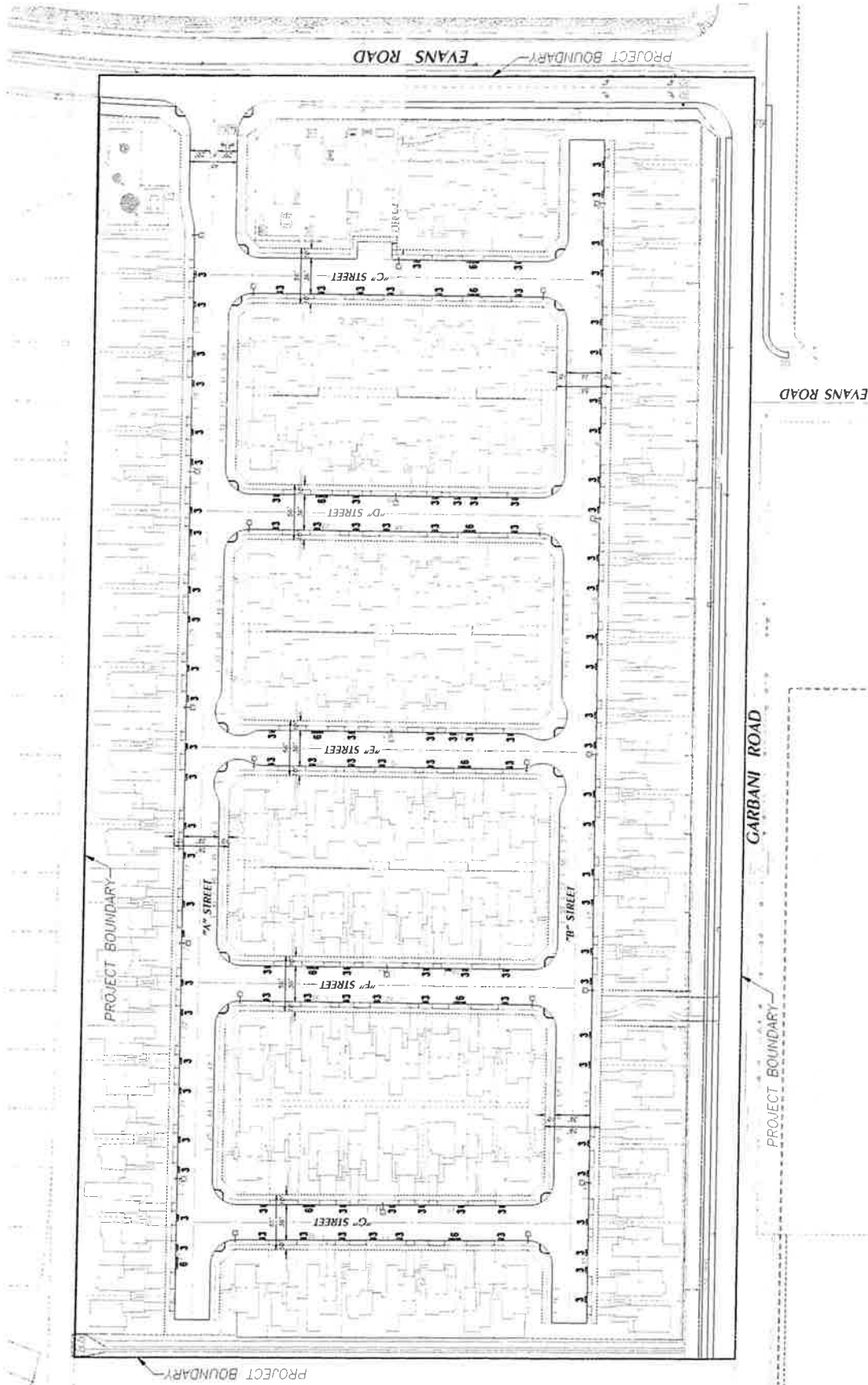
APPROVED BY:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

DATE:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

SCALE:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

NOTES:  
 HINES & ASSOCIATES, INC.  
 11000 E. 10TH AVE., SUITE 300  
 DENVER, CO 80231  
 PHONE: (303) 751-1100  
 FAX: (303) 751-1101  
 WWW.HINESANDASSOCIATES.COM

LEGEND  
 1" = 100' TRUCK OPEN + REQUIRED BAY  
 1" = 100' TRUCK



PLANNING APPLICATION NO. PLN23-0246

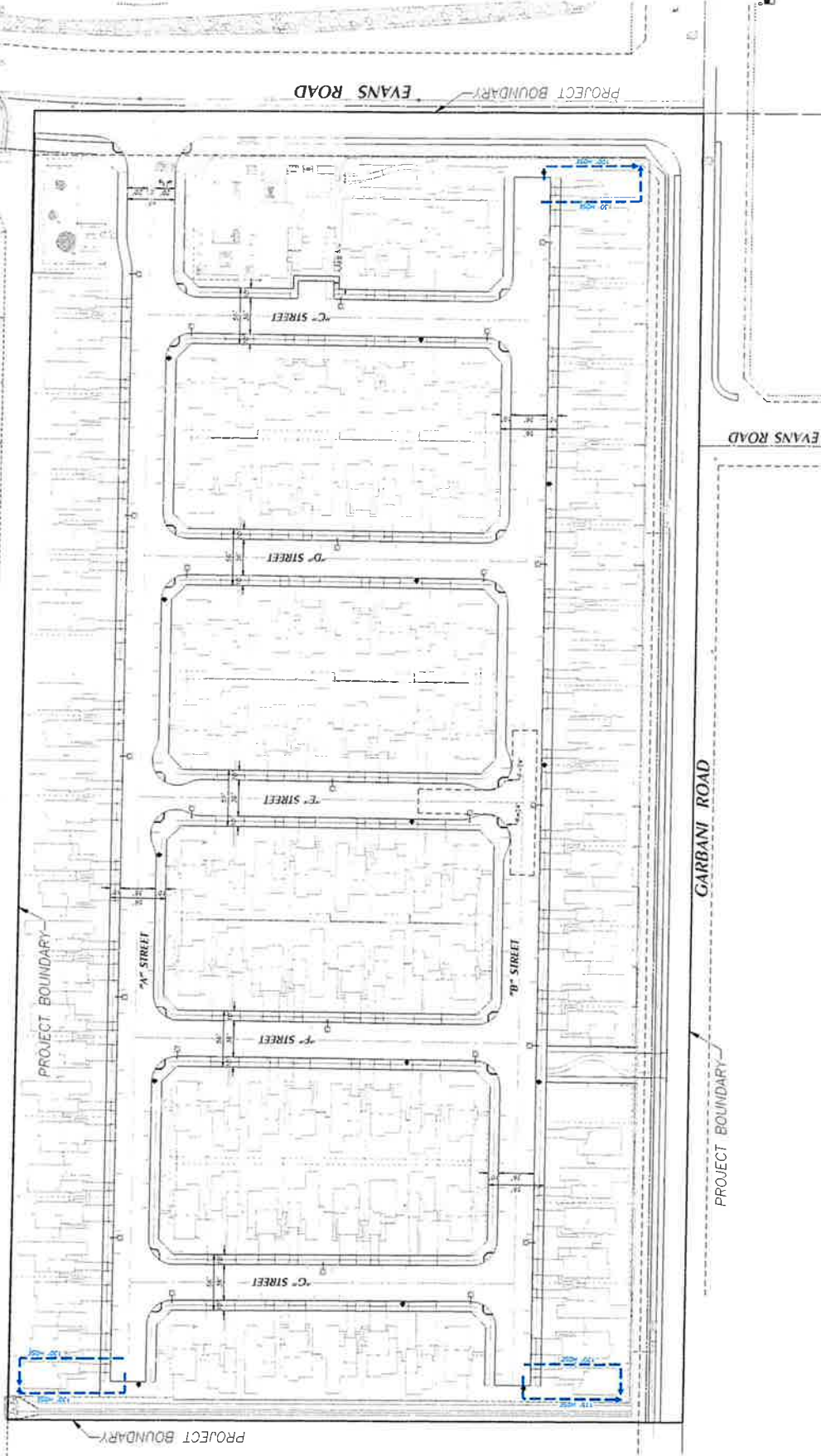
DESIGNATED TRASH PICK-UP LOCATION  
 TENTATIVE TRACT MAP NO. 38766  
 CITY OF MENIFEE

SHEET 100  
 C-4

OWNER	PREPARED BY	DRAWN BY	DESIGNED BY	CHECKED BY
HUSKINS & ASSOCIATES 1000 S. MAIN ST. SUITE 200 MENIFEE, CA 92554 (760) 325-1111 WWW.HUSKINSANDASSOCIATES.COM	HUSKINS & ASSOCIATES 1000 S. MAIN ST. SUITE 200 MENIFEE, CA 92554 (760) 325-1111 WWW.HUSKINSANDASSOCIATES.COM	HUSKINS & ASSOCIATES 1000 S. MAIN ST. SUITE 200 MENIFEE, CA 92554 (760) 325-1111 WWW.HUSKINSANDASSOCIATES.COM	HUSKINS & ASSOCIATES 1000 S. MAIN ST. SUITE 200 MENIFEE, CA 92554 (760) 325-1111 WWW.HUSKINSANDASSOCIATES.COM	HUSKINS & ASSOCIATES 1000 S. MAIN ST. SUITE 200 MENIFEE, CA 92554 (760) 325-1111 WWW.HUSKINSANDASSOCIATES.COM

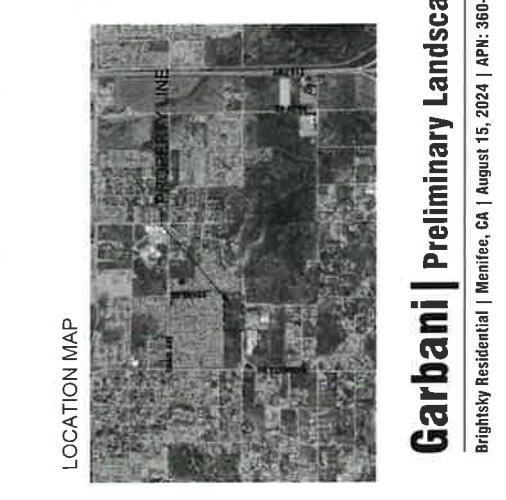
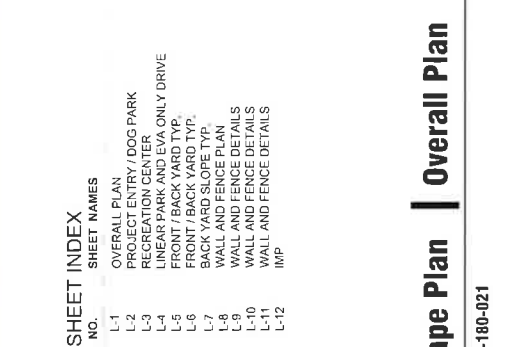
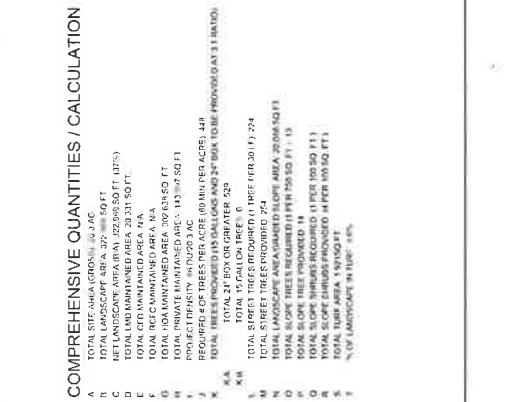
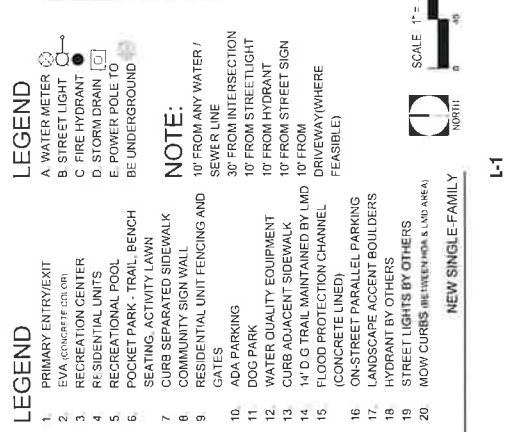
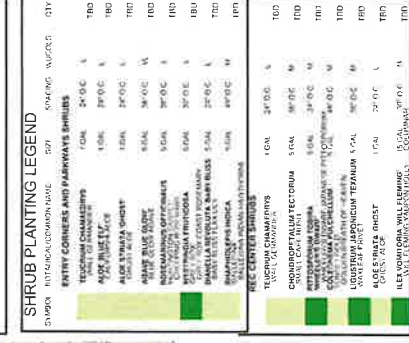
LEGEND

1" = 40' WIDE ROAD



PLANNING APPLICATION NO. PLN23-0246				SHEET NO.			
CONCEPTUAL FIRE				C-5			
EXHIBIT				TENTATIVE TRACT MAP NO. 38766			
				CITY OF MENEFEE			
PREPARED BY:				HINSHAKER & ASSOCIATES			
				INLAND EMPIRE REGION			
				PLANNING/ENGINEERING/ARCHITECTURE			
				1000 E. MAIN STREET, SUITE 200			
				MENEFEE, NEW MEXICO 87601			
OWNER:				ACORN PLACERCA			
				1000 E. MAIN STREET, SUITE 200			
				MENEFEE, NEW MEXICO 87601			
PREPARED FOR:				ACORN PLACERCA			
				1000 E. MAIN STREET, SUITE 200			
				MENEFEE, NEW MEXICO 87601			
DESIGNED BY:				HINSHAKER & ASSOCIATES			
CHECKED BY:				HINSHAKER & ASSOCIATES			
APPROVED BY:				HINSHAKER & ASSOCIATES			
DATE:				REVISIONS			















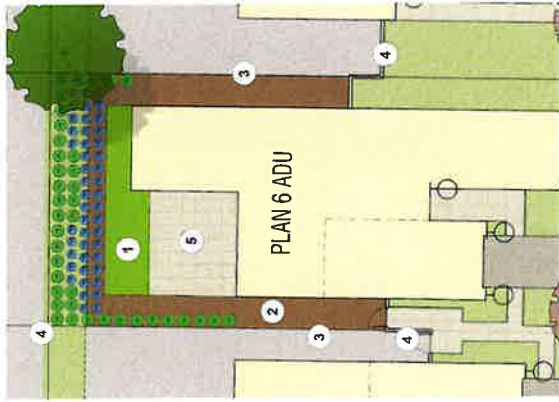




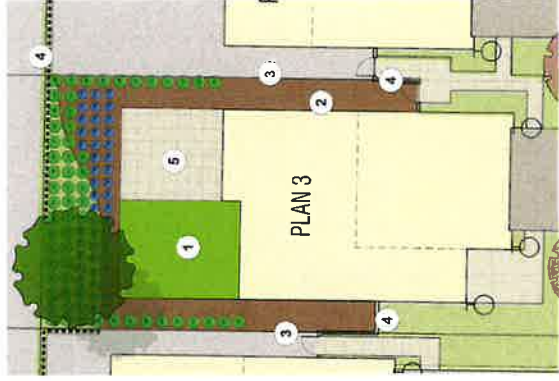




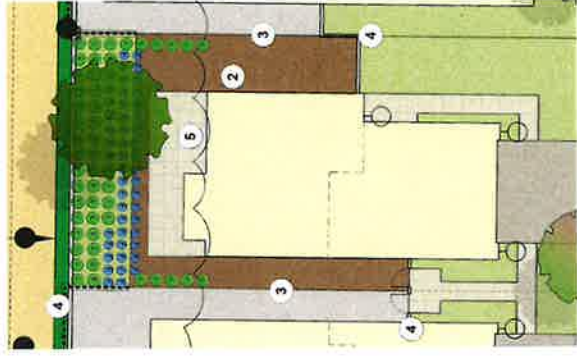




SCALE: 1/8" = 1' - 0"



SCALE: 1/8" = 1' - 0"



SCALE: 1/8" = 1' - 0"

TREE PLANTING LEGEND			
SYMBOL	BOTANICAL COMMON NAME	SIZE	QUANTITY
	<b>SLOPE TREES</b>		
	QUERCUS ILEX HOLY OAK	24" DBH 7" CALIBER	1

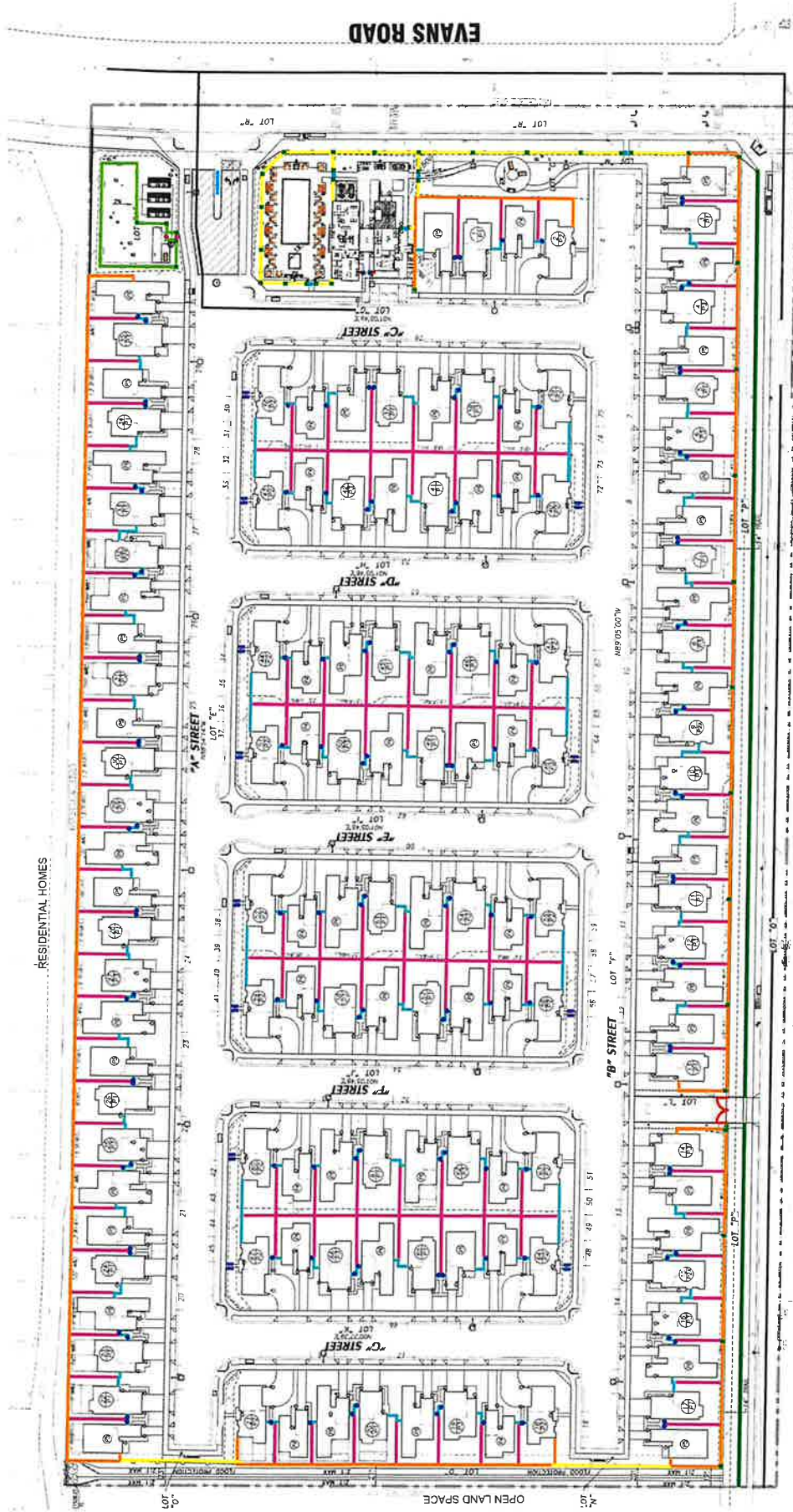
SHRUB PLANTING LEGEND			
SYMBOL	BOTANICAL COMMON NAME	SIZE	QUANTITY
	<b>SLOPE SHRUBS</b>		
	QUERCUS ILEX HOLY OAK	24" DBH 7" CALIBER	1

NOTE:  
THE (TYP) SLOPE SHRUBS & GROUND COVERAGE PERCENTAGE COVERAGE IS 4 TIMES WHAT IS REQUIRED  
NOTES:  
SHRUB QUANTITY VARIES BASED ON LOT SIZE, QUANTITIES AND SIZES SHALL MEET MINIMUMS FOR FRONT YARD LANDSCAPING

## LEGEND

1. SYNTHETIC LAWN
2. 3" DECORATIVE GRAVEL
3. VINYL SIDE YARD FENCE AND GATES
4. CMU SPLIT FACE COMMUNITY WALLS
5. NATURAL CONCRETE BACK YARD PATIO WITH TOOL JOINTS





**WALL AND FENCE LEGEND:**

- 6'-0" HIGH 8" CMU COMMUNITY WALL W/ SPLIT FACE FINISH / 2" FINISH / 2" PRECISION CAP
- 6'-0" HIGH 6" CMU WALL W/ SPLIT FACE FINISH / 2" PRECISION CAP
- 5'-6" HIGH SIDE YARD VINYL FENCE
- 36" HIGH ENHANCED SOLID STONE MONUMENT WALL
- 6' HIGH TUBULAR STEEL VIEW FENCE
- 48" EQUESTRIAN WHITE RAIL FENCE
- 6" X 8" POUR IN PLACE CHEEK WALL
- 6'-0" HIGH WELDED WIRE STEEL DOG FENCE
- 36" HIGH ENHANCED SOLID STONE WALL

- 2'X2'X8'-6" CMU PILASTER W/ SPLIT FACE FINISH / 2" PRECISION CAP
- 2'X2'X42" CMU PILASTER W/ STONE FINISH / 2" PRECISION CAP
- 6'-0" HIGH TUBULAR STEEL VIEW GATE WITH KEY FOB
- 5'-6" HIGH BACKYARD VINYL GATE
- 6'-0" HIGH WELDED WIRE STEEL DOG GATE
- 6'-0" HIGH TUBULAR STEEL VEHICULAR ACCESS GATE

WALL AND FENCE (ORIGINAL LIFT).  
 ALL WALLS, FENCES, GATES, AND SIGNS SHALL COMPLY WITH CITY OF MENIFEE STANDARDS AND SPECIFICATIONS FOR RESIDENTIAL DEVELOPMENT.

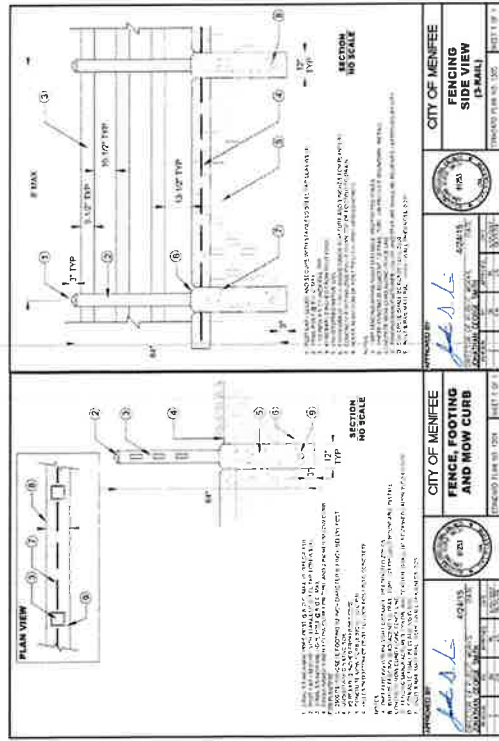
**Garbani | Preliminary Landscape Plan | Wall and Fence Plan**

Brightsky Residential | Menifee, CA | August 15, 2024 | APN: 360-180-021

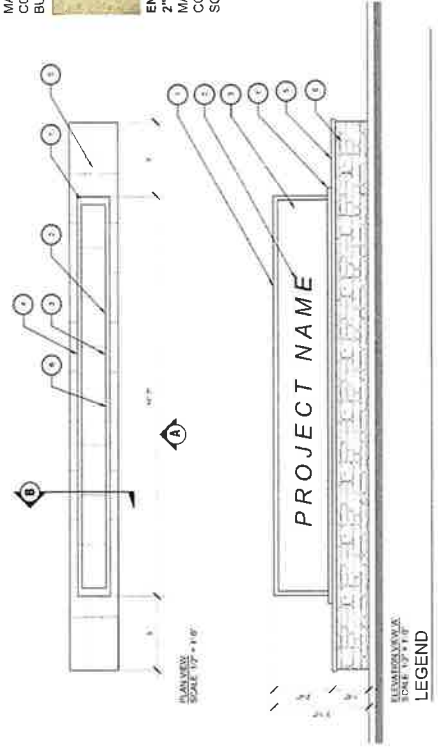
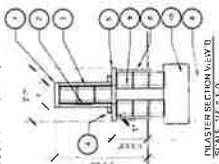
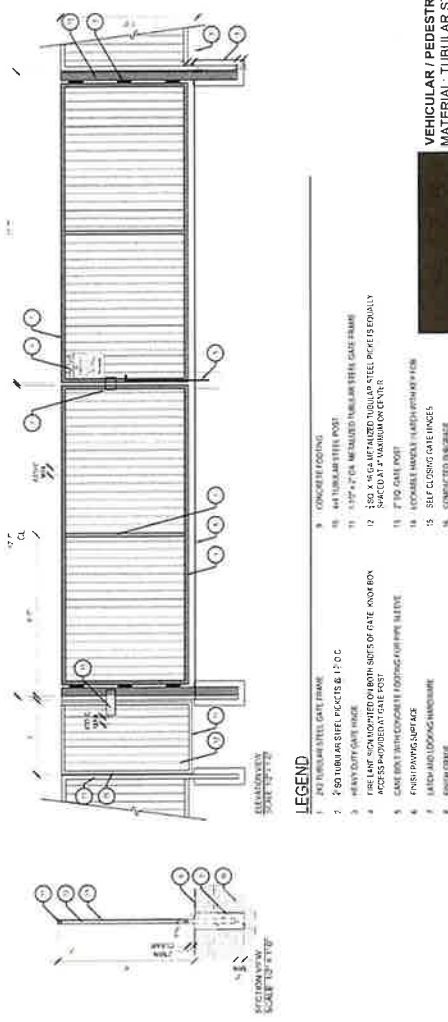
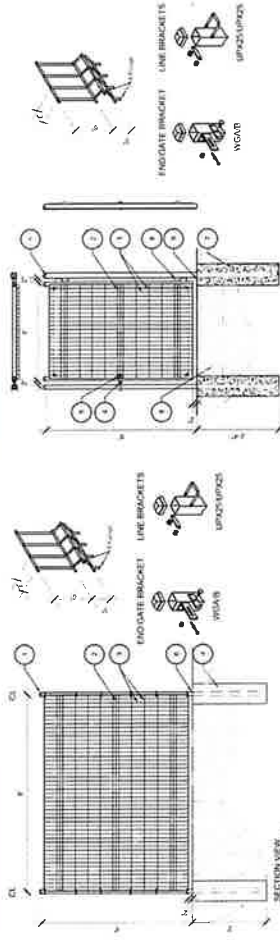








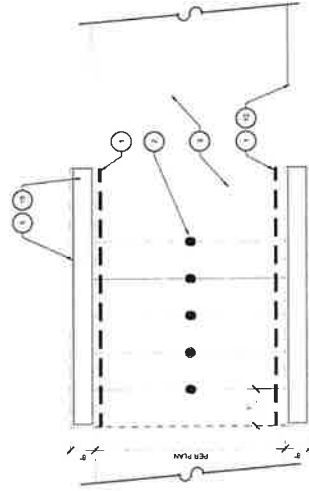
6'-0" HIGH TUBULAR STEEL VEHICULAR ACCESS GATE &  
PEDESTRIAN GATE  
SCALE 1" = 1'-0"





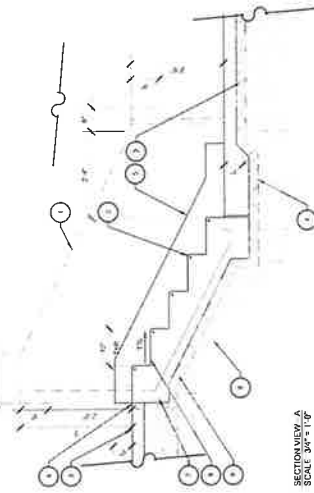
# LEGEND

1. MANHOLE
2. STEP RISER
3. CONCRETE PAVING
4. EXPANSION JOINT
5. 8" X 8" PP CHECK WALL
6. THICKENED CONCRETE PAVING EDGE AT STEP
7. CONCRETE
8. SUB BASE MATERIAL



# SECTION VIEW A

SCALE 3/4" = 1'-0"

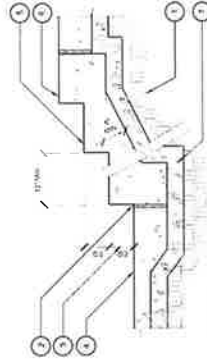


# CHECK WALLS

SCALE 3/4" = 1'-0"

# STAIRS VARIES PER PLAN

SCALE 3/4" = 1'-0"



# LEGEND

1. COMPACTED SUB-GRADE
2. EXPANSION JOINT TYP
3. CONCRETE PAVING - REFER TO FINISH SCHEDULE
4. CONCRETE PAVING - REFER TO FINISH SCHEDULE
5. 8" X 8" PP CHECK WALL
6. 12" RADIUS CORNER
7. 8" X 8" PP CHECK WALL
8. SUB BASE MATERIAL

NOTES:  
1. STEP IS TO BE CONCRETE PAVING TO MATCH EXISTING PAVING.  
2. SET CORNER TO MATCH EXISTING CORNER.

# Garbani | Preliminary Landscape Details | Wall and Fence Details

Brightsky Residential | Menifee, CA | August 15, 2024 | APN: 360-180-021







PLAN 2A   Traditional Scheme TR1	PLAN 4 ADU-A   Traditional Scheme TR7	PLAN 3C   Spanish Scheme SP4	PLAN 6 ADU-C   Spanish Scheme SP1	PLAN 1A   Traditional Scheme TR3	PLAN 5 ADU-A   Traditional Scheme TR2	PLAN 4 ADU-B   Farmhouse Scheme FH5	PLAN 2B   Farmhouse Scheme FH10
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## CITY SUBMITTAL

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BrightSky  
RESIDENTIAL



WHA  
ARCHITECTS + PLANNERS + DESIGNERS

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GARBANI ROAD

MENIFEE, CA







# Conceptual Street Scenes **GARBANI ROAD**

MENIFEE, CA







1A | Traditional

Scheme TR3



1B | Farmhouse

Scheme FH5



1C | Spanish

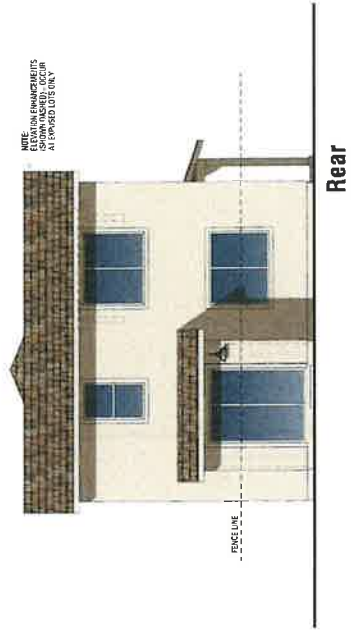
Scheme SP3





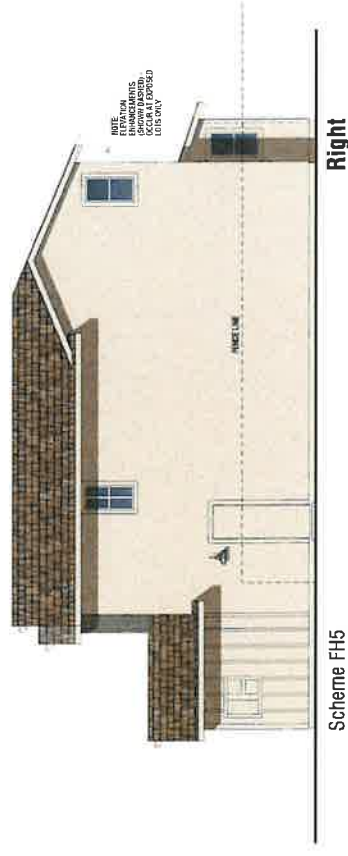


Left



Rear

NOTE:  
ELEVATION DIMENSIONS  
SHOWN TO MATCH ELEVATION  
STYLE  
AT 1/8" = 1'-0" ONLY



Right

Scheme FH5

NOTE:  
ELEVATION DIMENSIONS  
SHOWN TO MATCH ELEVATION  
STYLE  
AT 1/8" = 1'-0" ONLY



Front

NOTE:  
ELEVATION DIMENSIONS  
SHOWN TO MATCH ELEVATION  
STYLE  
AT 1/8" = 1'-0" ONLY

#### 'B' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - VINYL WINDOW
- C - VINYL ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA GULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - WOOD TRIM
- J - WOOD POSTS (COLUMNS)
- K - WOOD CORBEL

### PLAN 1B - Farmhouse | Exterior Elevations

## GARBANI ROAD

MENIFEE, CA

A1.4

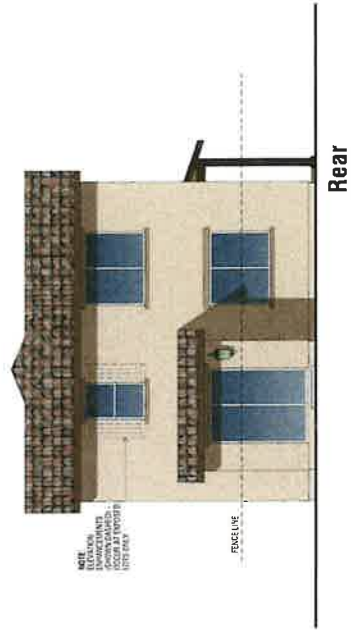
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Note: Artist's Conception; Colors, Materials and Application May Vary.





Left



Rear



Right

Scheme SP3



Front

'C' ELEVATION KEYNOTES

- A - CONCRETE S TLE
- B - VINYL WINDOW
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - DECORATIVE GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURES INC
- F - STUCCO
- G - DECORATIVE PIPES
- H - STUCCO OVER FOAM TRIM
- I - DECORATIVE SHUTTERS
- J - POSTS (ST / COLUMNS)

PLAN 1C - Spanish | Exterior Elevations

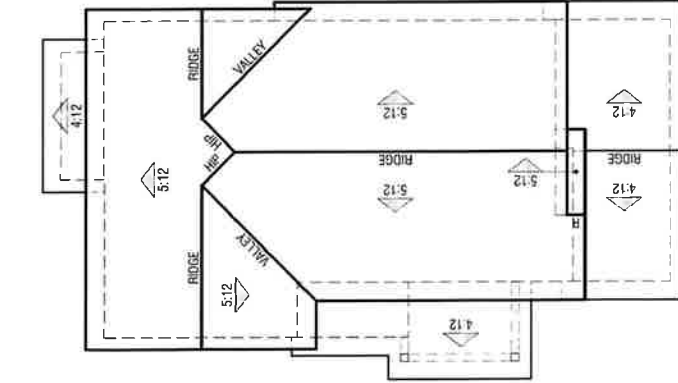
GARBANI ROAD

MENIFEE, CA

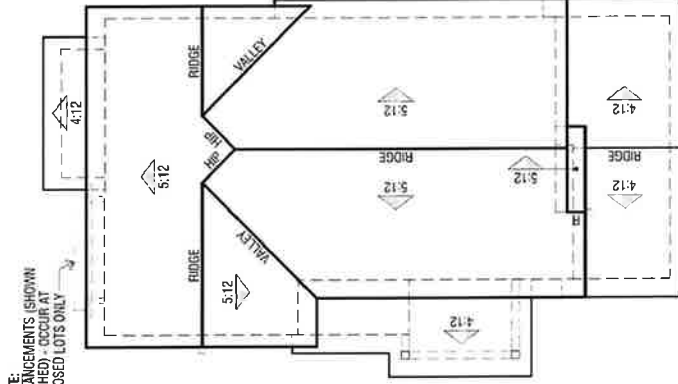
A1.5

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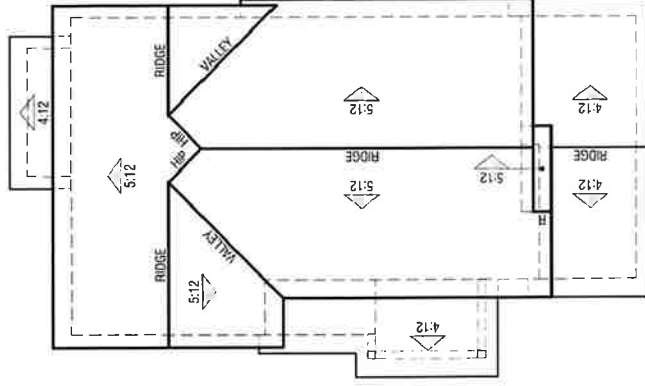
Note: Artist's Conception; Colors, Materials and Application May Vary.



1A | Traditional



1B | Farmhouse

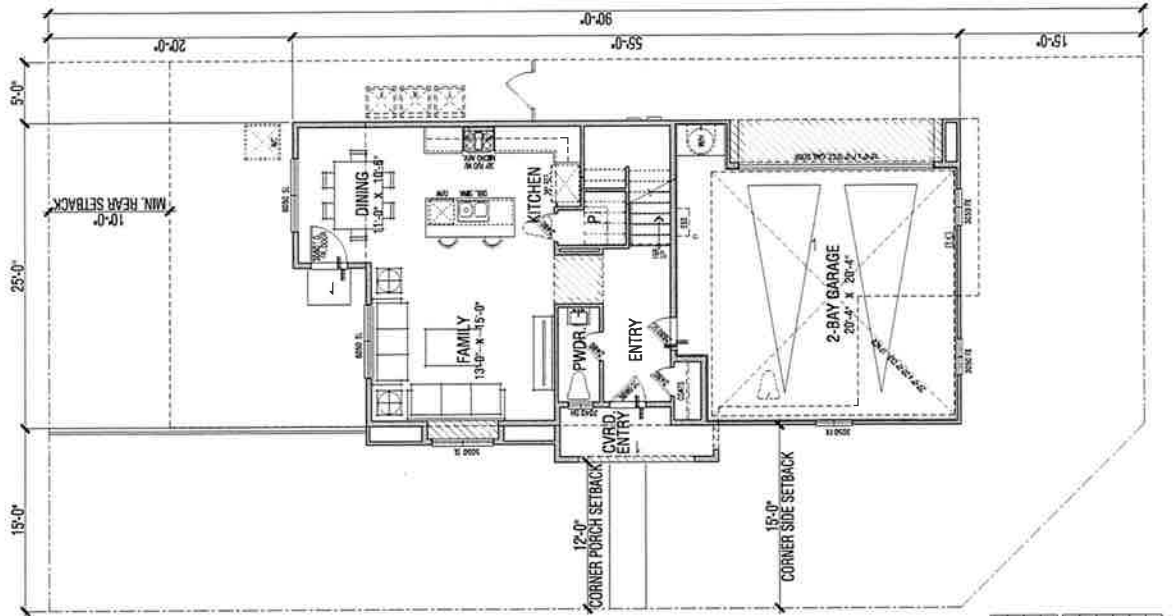


1C | Spanish

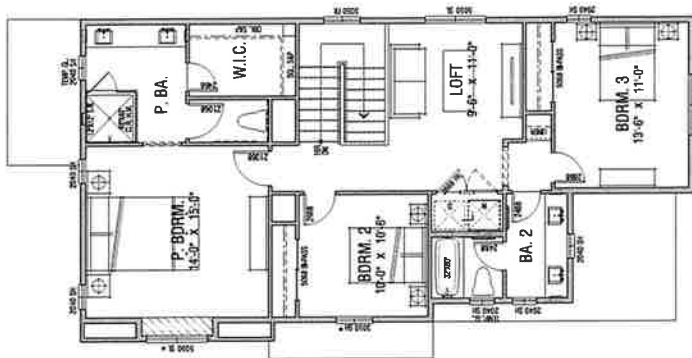


PLAN 2 | Floor Plan  
**GARBANI ROAD**  
MENIFEE, CA

A2.1  
CITY SUBMITTAL



DWELLING PLAN SUMMARY - PLAN 2	
ROOM TYPE	QUANTITY
BEDROOM	3
BATH	2.5
FLOOR AREA TABLE	PLAN 2A
LOFT	77 SQ. FT.
BDRM. 1	150 SQ. FT.
BDRM. 2	100 SQ. FT.
BDRM. 3	143 SQ. FT.
2-BAY GARAGE	400 SQ. FT.
COVERED ENTRY	50 SQ. FT.
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION	





Scheme TR1 2A | Traditional



Scheme FH10 2B | Farmhouse



Scheme SP1 2C | Spanish





Front



Left



Rear



Right

'A' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - VINYL WINDOW
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - LAP SIDING WHERE OCCURS
- H - SHINGLES WHERE OCCURS
- I - WOOD TRIM
- J - POST(S) / COLUMN(S)
- K - DECORATIVE SHUTTERS

PLAN 2A - Traditional | Exterior Elevations  
**GARBANI ROAD**

MENIFEE, CA



A2.3

CITY SUBMITTAL

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Note: Artist's Conception. Colors, Materials and Application May Vary.



Front



Left



Rear



Right

'B' ELEVATION KEYNOTES

- A - CONCRETE CHIMNEY
- B - VINYL WINDOW
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA GULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING, WHERE OCCURS
- H - 1/2" X 6" SHIP LAP TYPICAL TRIM
- I - WOOD TRIM
- J - POST(S) / COLUMN(S)
- K - WOOD CORBEL





Front



Left



Rear



Right

10' ELEVATION KEYNOTES

- A - CONCRETE S TILE
- B - STUCCO OVER POLYSTYRENE INSULATION
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - DECORATIVE PIPES
- H - STUCCO OVER POLYSTYRENE INSULATION
- I - DECORATIVE COLUMNS
- J - POST(S) / COLUMN(S)

PLAN 2C - Spanish | Exterior Elevations

GARBANI ROAD

MENIFEE, CA

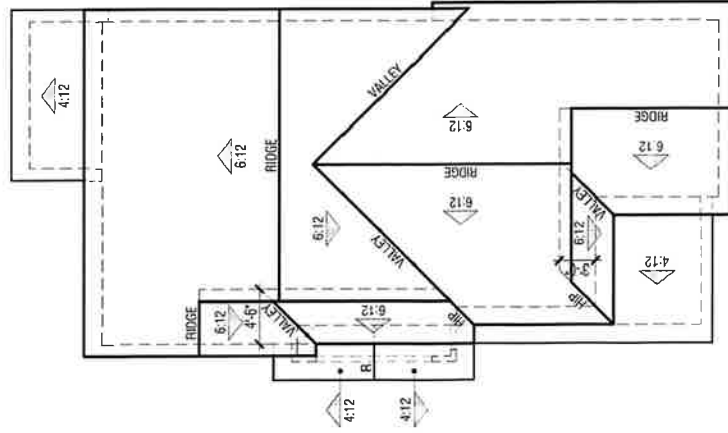
A2.5



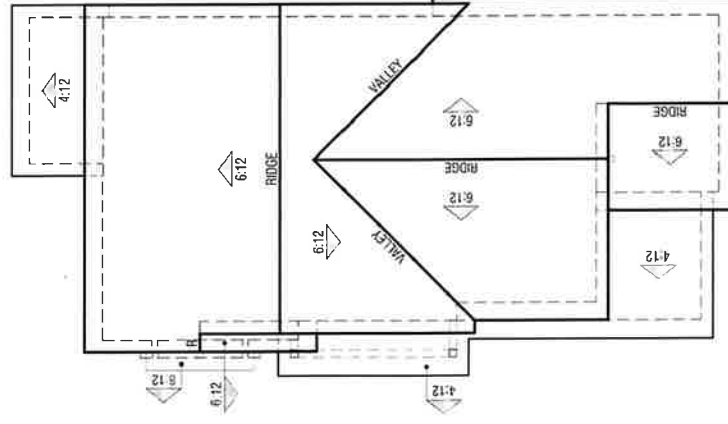
CITY SUBMITTAL

Note: Artist's Conception: Colors, Materials and Application May Vary

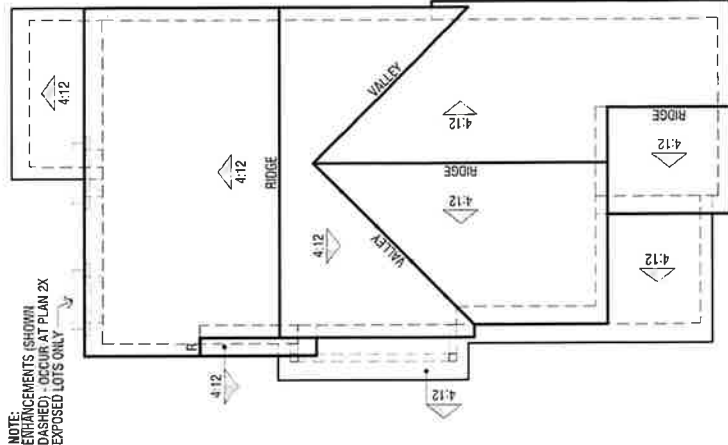




2A | Traditional



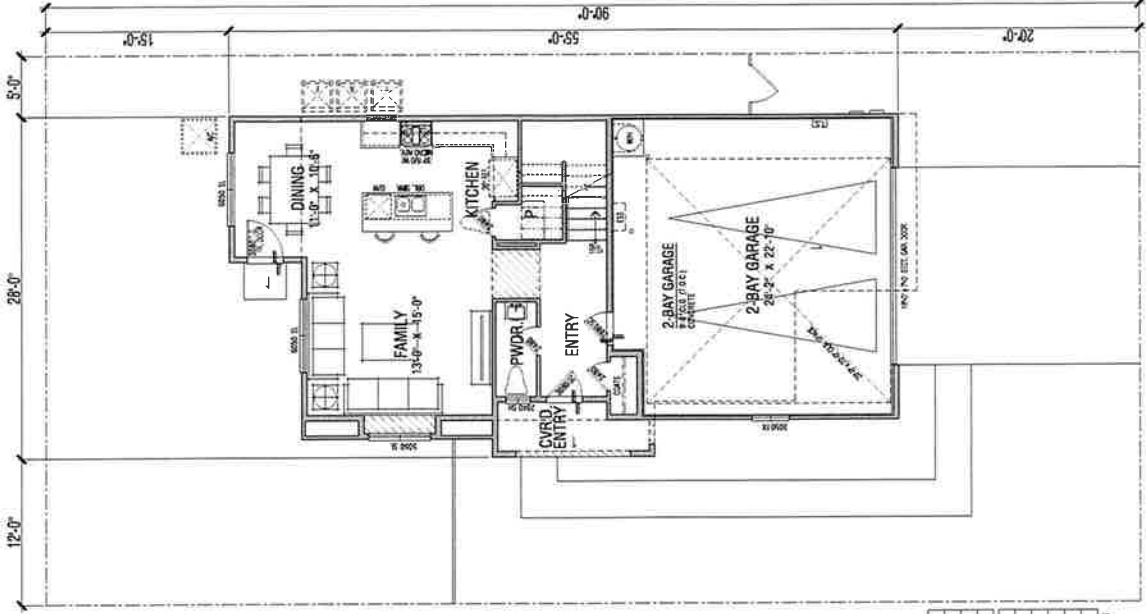
2B | Farmhouse



2C | Spanish

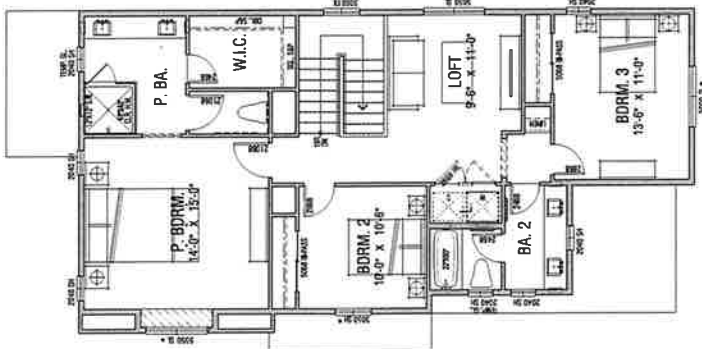


PLAN 2X | Floor Plan  
**GARBANI ROAD**  
MENIFEE, CA



DWELLING PLAN SUMMARY - PLAN 2X	
ROOM TYPE	QUANTITY
BATHROOMS	3
BEDROOMS	3
BREAKFAST ROOM	1
DINING ROOM	1
FAMILY ROOM	1
KITCHEN	1
LOFT	1
PORCH	1
SCREENED PORCH	1
TERRACE	1
TOTAL	17

NOTE: GARAGE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.





2XA | Traditional

Scheme TR1



2XB | Farmhouse

Scheme FH10



2XC | Spanish

Scheme SP1



Left



Rear



Right



Front

'A' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - 1/2" X 6" SILLING
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - LAP SIDING WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - 1/2" X 6" SILLING
- J - POST(S) / COLUMN(S)
- K - DECORATIVE SHUTTERS

PLAN 2XA - Traditional | Exterior Elevations

GARBANI ROAD

MENIFEE, CA

A2X.3



Note: Artist's Conception, Colors, Materials and Application May Vary.

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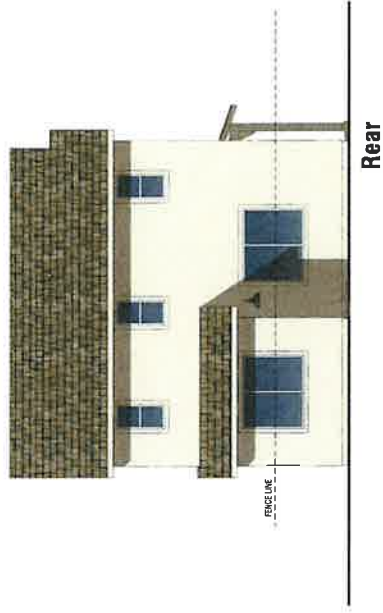
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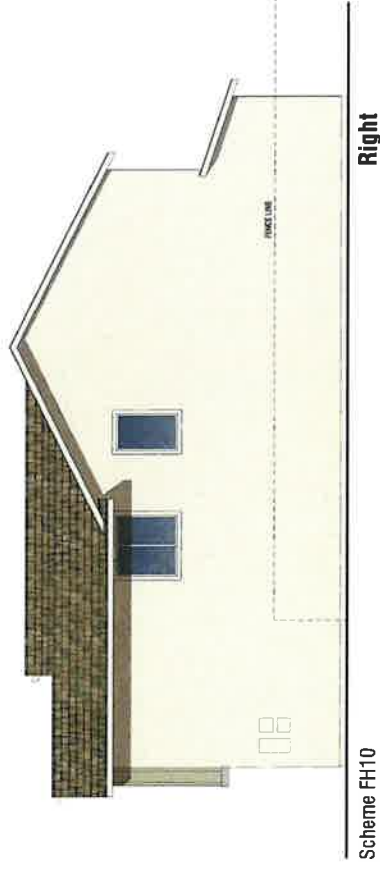




Left



Rear



Right

Scheme FH10



Front

### 'B' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - VINYL WINDOW
- C - EXTERIOR ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECONDARY ENTRY DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA GULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING, WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - WOOD TRIM
- J - 6" X 6" POSTS (COLUMNS)
- K - WOOD CORBEL

## PLAN 2XB - Farmhouse | Exterior Elevations

**GARBANI ROAD**

MENIFEE, CA

A2X.4

CITY SUBMITTAL

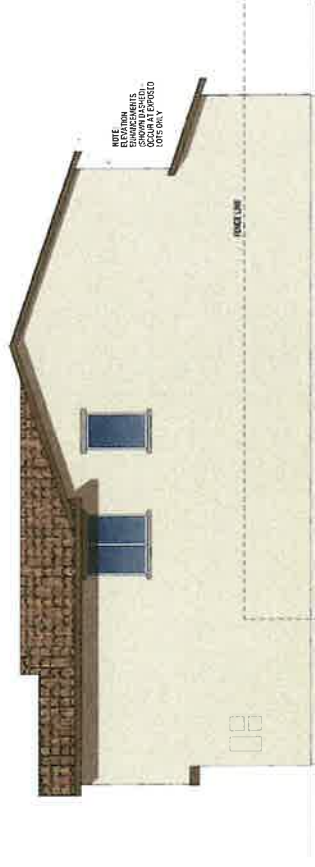
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Left



Rear



Scheme SP1



Front

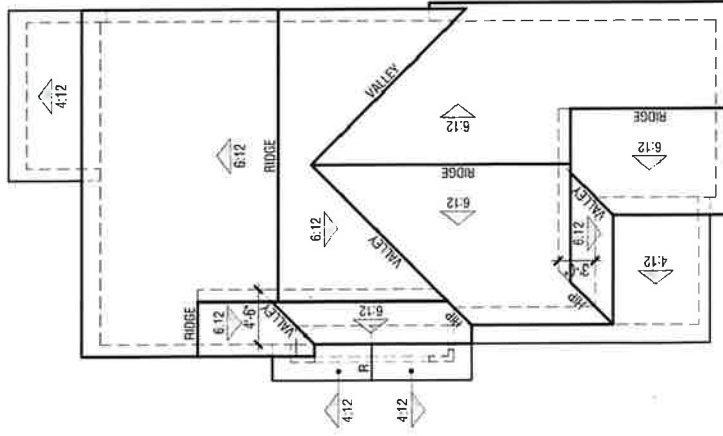
'C' ELEVATION KEYNOTES

- A - CONCRETE S-TILE
- B - WHITE STUCCO
- C - SECONDARY ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - DECORATIVE PIERS
- H - STUCCO OVER FOAMTRIM
- I - DECORATIVE SHUTTERS
- J - POST(S) / COLUMN(S)

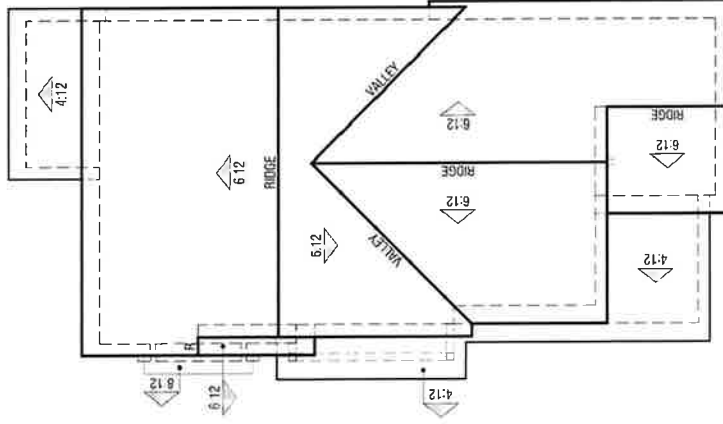
PLAN 2XC - Spanish | Exterior Elevations

GARBANI ROAD

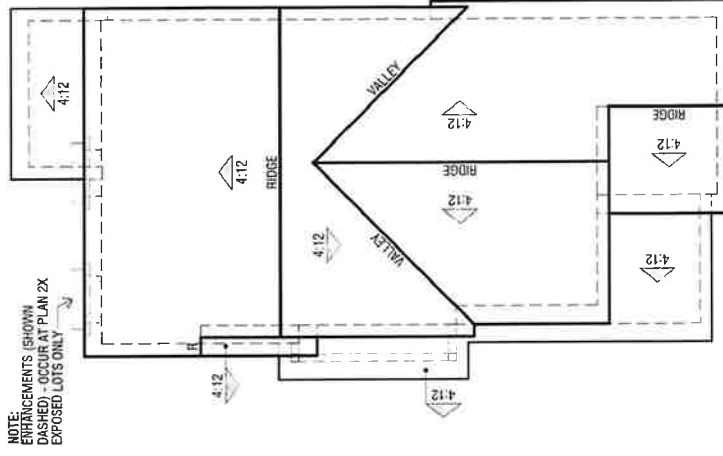
MENIFEE, CA



2XA | Traditional



2XB | Farmhouse



2XC | Spanish

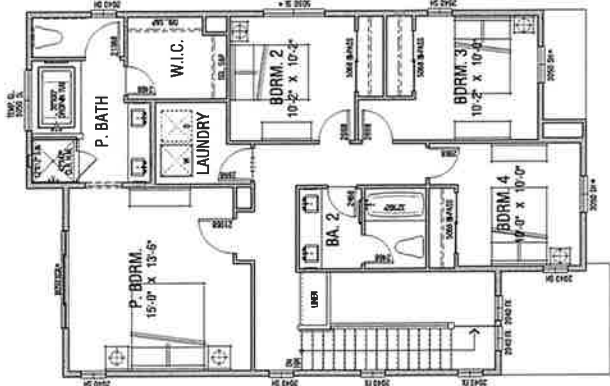
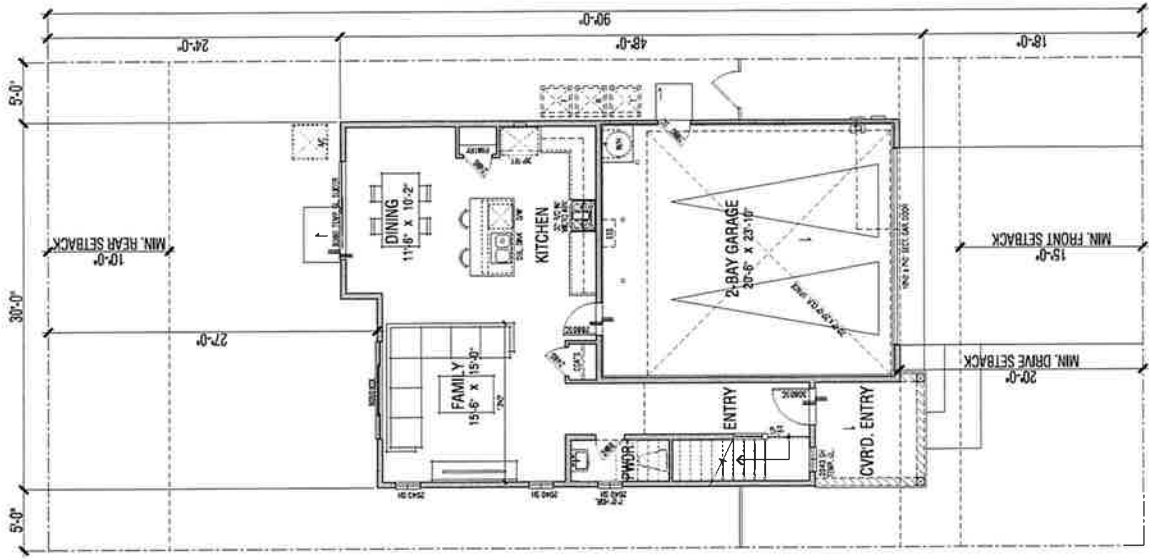
NOTE:  
ENHANCEMENTS (SHOWN  
DASHED) OCCUR AT PLAN 2X  
EXPOSED LOTS ONLY



PLAN 3 | Floor Plan  
**GARBANI ROAD**  
MENIFEE, CA

A3.1  
CITY SUBMITTAL

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DWELLING PLAN SUMMARY - PLAN 3	
ROOM TYPE	QUANTITY
BEDROOMS	4
BATHS	2.5
FLOOR AREA TABLE	
PLAN SA	735 SQ. FT.
POST LEVEL	8115 SQ. FT.
SECOND LEVEL	1085 SQ. FT.
2 BAY GARAGE	549 SQ. FT.
COVERED ENTRY	74 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO THE METHOD OF CALCULATION.



**3A | Traditional**

Scheme TR2



**3B | Farmhouse**

Scheme FH1



**3C | Spanish**

Scheme SP3

**PLAN 3 | Front Elevations**

**GARBANI ROAD**

**MENIFEE, CA**

Left

Rear

Right

Front

## 'A' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE  
B - VINYL WINDOW  
C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE  
D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE  
E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC  
F - STUCCO  
G - LAP SIDING, WHERE OCCURS  
H - STUCCO OVER FOAM TRIM  
I - WOOD TRIM  
J - POST(S), COLUMN(S)

### PLAN 3A - Traditional | Exterior Elevations

**GARBANI ROAD**

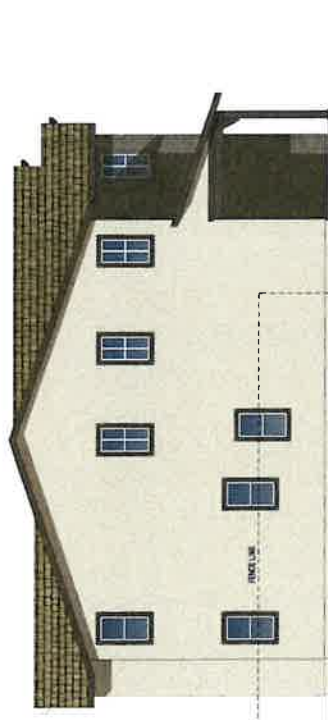
**MENIFEE, CA**

### A3.3

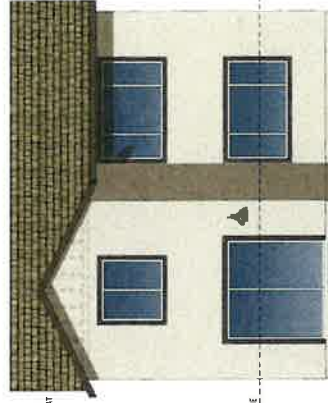
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DBA WHA | 2023019 | 08:20:24

**Note:** Artist's Conception; Colors, Materials and Application May Vary.

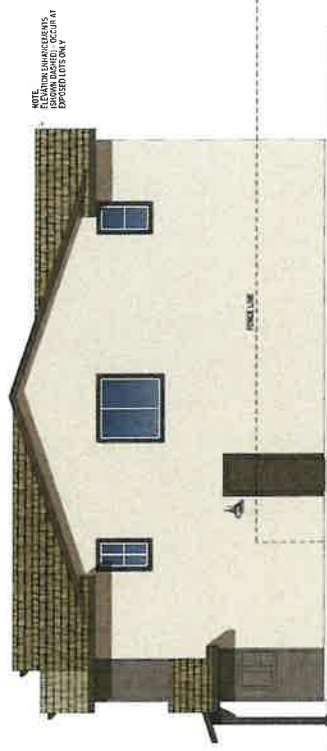




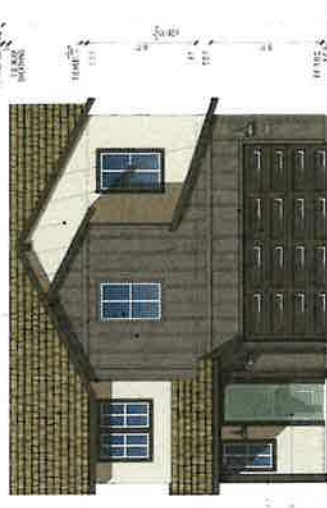
Left



Rear



Right



Front

'B' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - 1/2" X 6" SILLING
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA GULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING, WHERE OCCURS
- H - SIDING OVER FOAM INSULATION
- I - WOOD TRIM
- J - POST(S) / COLUMN(S)
- K - WOOD CORBEL

PLAN 3B - Farmhouse | Exterior Elevations

GARBANI ROAD

MENIFEE, CA

A3.4  
CITY SUBMITTAL



Note: Artist's Conception; Colors, Materials and Application May Vary.





Left



Rear



Right



Front

1'C ELEVATION KEYNOTES

- A - CONCRETE S-TILE
- B - VINYL WINDOW
- C - CONCRETE DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - DECORATIVE PIPES
- H - STUCCO OVER FOAM TRIM
- I - DECORATIVE SHUTTERS
- J - POST(S) / COLUMN(S)

PLAN 3C - Spanish | Exterior Elevations

GARBANI ROAD

MENIFEE, CA

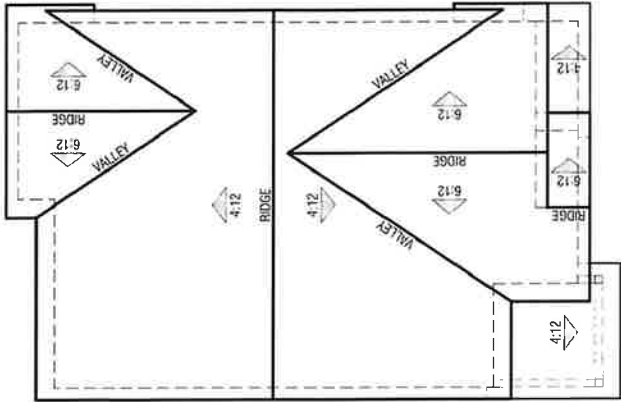
A3.5



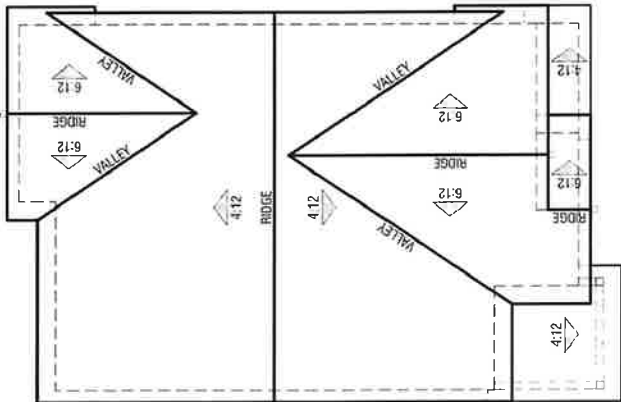
CITY SUBMITTAL

Note: Artist's Conception; Colors, Materials and Application May Vary.

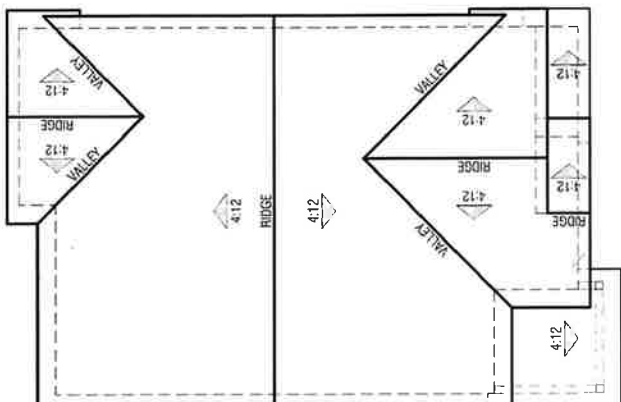




3A | Traditional

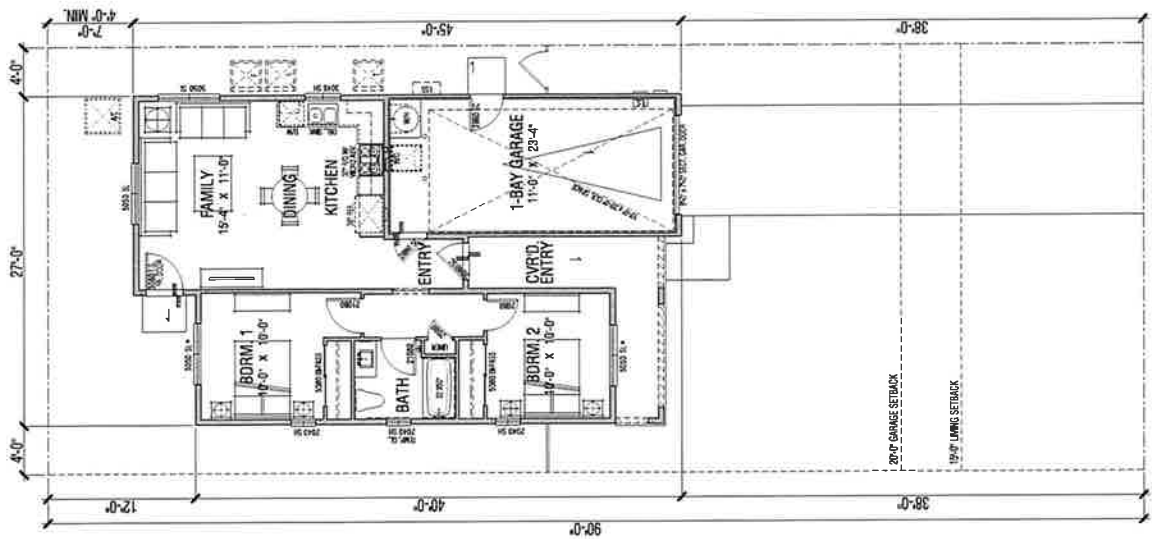


3B | Farmhouse



3C | Spanish





DWELLING PLAN SUMMARY - PLAN 4 ADU		
ROOM TYPE	QUANTITY	
BEDROOMS	2	
BATHS	1	
FLOOR AREA TABLE		
		PLAN 4 ADU-A
FIRST LEVEL		248 SQ. FT.
TOTAL		248 SQ. FT.
1-BAY GARAGE		258 SQ. FT.
COVERED ENTRY		112 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 4 ADU | Floor Plan  
**GARBANI ROAD**  
 MENIFEE, CA

A4.1  
 CITY SUBMITTAL



Note: Artist's Conception; Colors, Materials and Application May Vary

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Scheme TR7

**4 ADU A | Traditional**



Scheme FH5

**4 ADU B | Farmhouse**



Scheme SP2

**4 ADU C | Spanish**



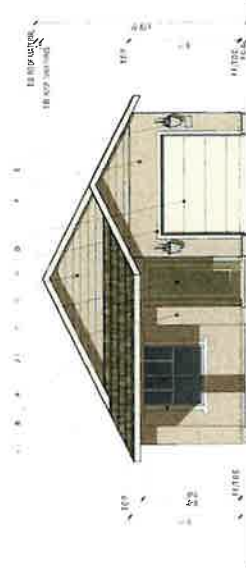
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Rear



Right



Front

'A' ELEVATION KEYNOTES

- A - CONCRETE SHINGLE
- B - VINYL WINDOW
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - LAP SIDING WHERE OCCURS
- H - VINYL SIDING
- I - WOOD TRIM
- J - POST(S) / COLUMN(S)

PLAN 4 ADU-A - Traditional | Exterior Elevations

GARBAN ROAD

MENIFEE, CA

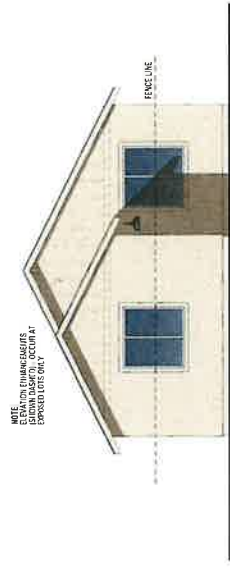
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CITY SUBMITTAL

Note: Artist's Conception; Colors, Materials and Application May Vary.

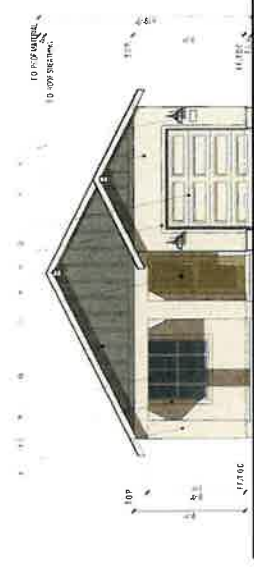




Rear



Left



Front



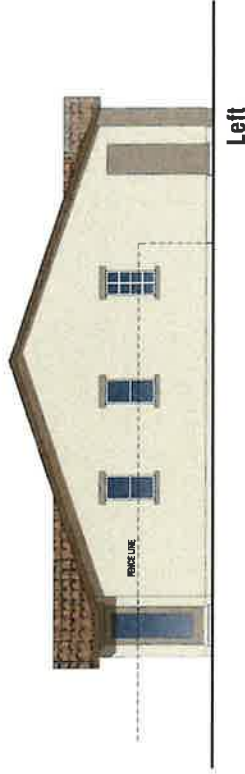
Right

'B' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - 1/2" X 6" SILLING
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA BULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - WOOD TRIM
- J - 4" X 4" POSTS (COLUMNS)
- K - WOOD CORREL

PLAN 4 ADU-B - Farmhouse | Exterior Elevations  
GARBANI ROAD

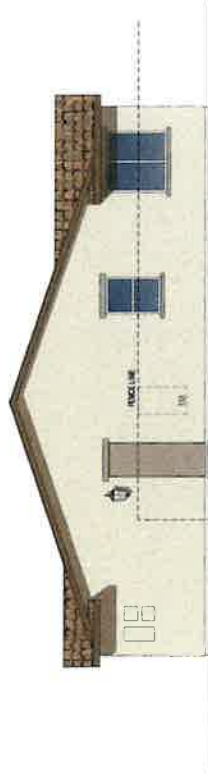
A4.4  
CITY SUBMITTAL



Left



Rear



Right

Scheme SP2



Front

'C' ELEVATION KEYNOTES

- A - CONCRETE S/TILE
- B - WALL WOODS
- C - WOOD ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - DECORATIVE PIPES
- H - STUCCO OVER FOAM TRIM
- I - DECORATIVE SHUTTERS
- J - POSTS / COLUMNS

PLAN 4 ADU-C - Spanish | Exterior Elevations

GARBANI ROAD

MENIFEE, CA

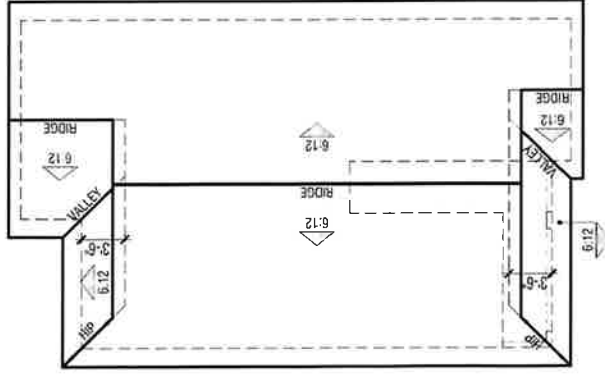
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CITY SUBMITTAL



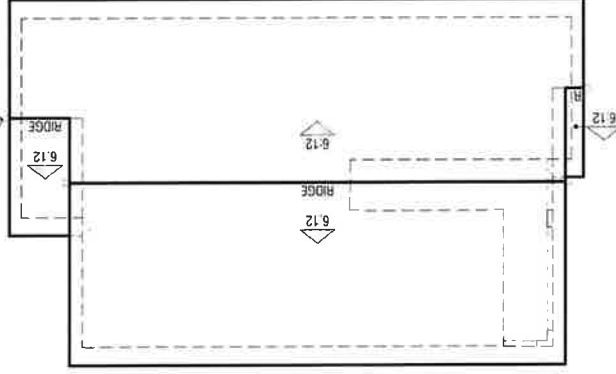
Note: Artist's Conception. Colors, Materials and Application May Vary.

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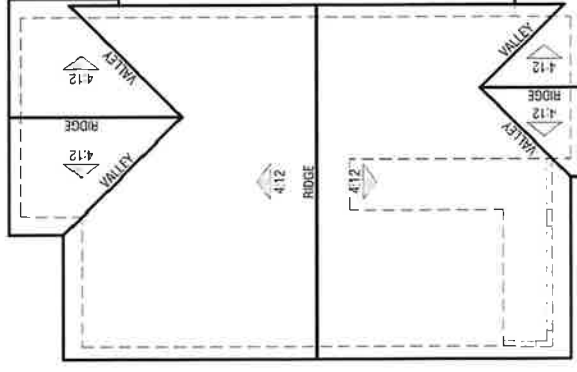
NOTE:  
ENHANCEMENTS (SHOWN  
DASHED) - OCCUR AT  
EXPOSED LOTS ONLY



4 ADU-A | Traditional



4 ADU-B | Farmhouse



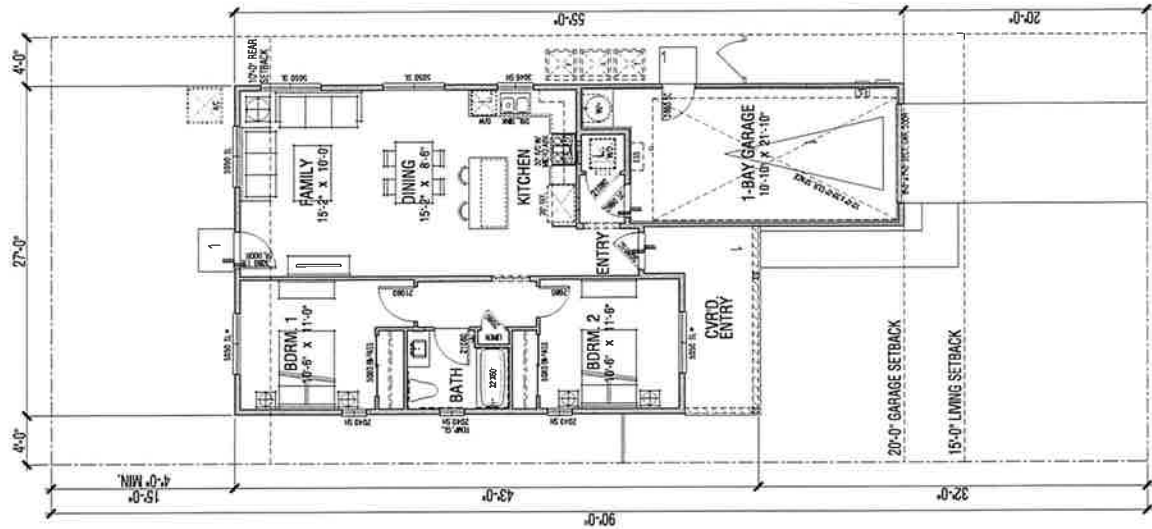
4 ADU-C | Spanish



PLAN 5 ADU | Floor Plan  
**GARBANI ROAD**  
MENIFEE, CA

A5.1  
CITY SUBMITTAL

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DWELLING PLAN SUMMARY - PLAN 5 ADU		
ROOM TYPE	QUANTITY	
BEDROOMS	2	
BATHS	1	
FLOOR AREA TABLE		
PLAN 5 ADU-A		
FIRST FLOOR		SQ. FT.
TOTAL		2,177.50 SF
1 BAY GARAGE		2,177.50 SF
COVERED ENTRY		100.00 SF

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.



Scheme TR3

5 ADU A | Traditional



Scheme FH3

5 ADU B | Farmhouse



Scheme SP1

5 ADU C | Spanish



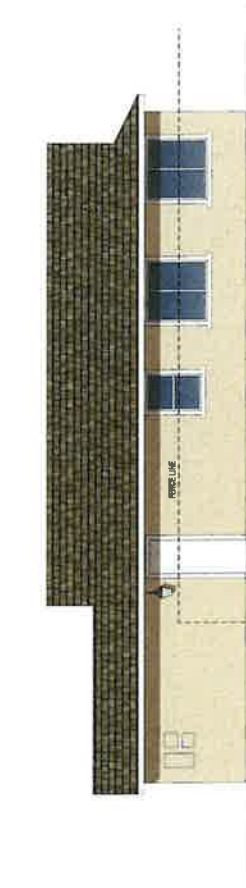
Rear



Left



Front



Right

'A' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - VINYL WINDOW
- C - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - LAP SIDING WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - WOOD PANELING
- J - POST(S) / COLUMN(S)

PLAN 5 ADU-A - Traditional | Exterior Elevations

GARBAN ROAD

A5.3



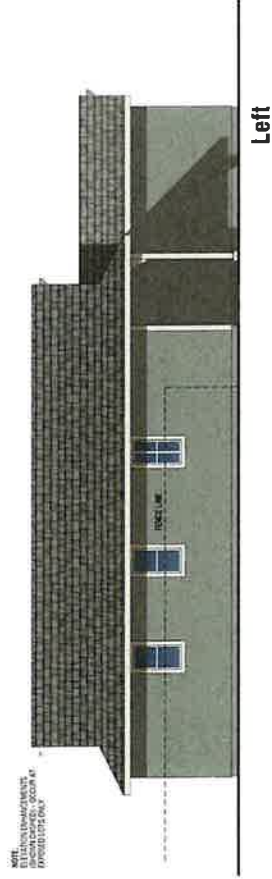
CITY SUBMITTAL

MENIFEE, CA

Note: Artist's Conception; Colors, Materials and Application May Vary.

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Left



Rear



Scheme FH3

Right



Front

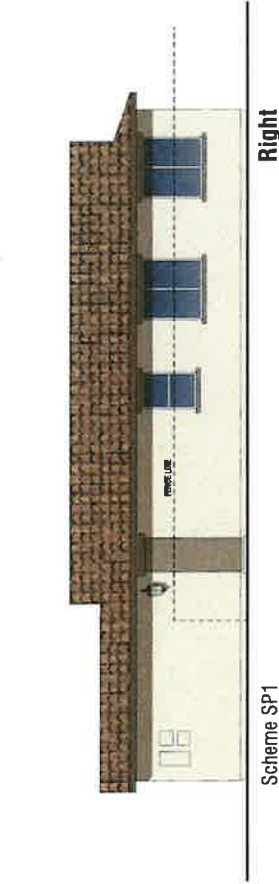
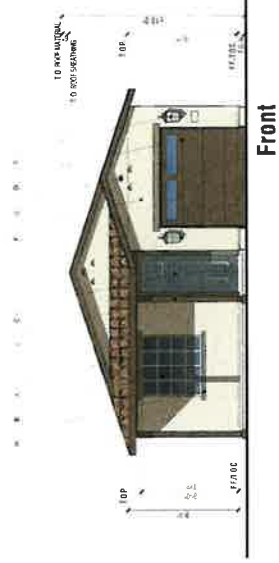
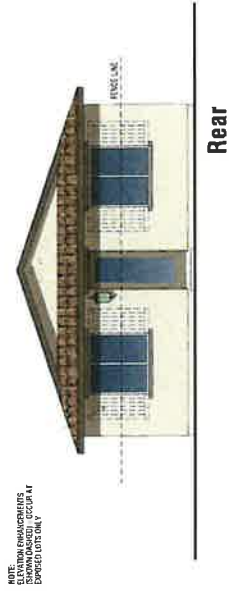
### 'B' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - VINYL WINDOW
- C - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA GULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - WOOD TRIM
- J - WOOD TRIM (HANDRAILS)
- K - WOOD CORBEL

## PLAN 5 ADU-B - Farmhouse | Exterior Elevations

# GARBAN ROAD

MENIFEE, CA



#### 'C' ELEVATION KEYNOTES

- A - CONCRETE S' TILE
- B - VINYL WINDOW
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - DECORATIVE GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - DECORATIVE PIPES
- H - STUCCO OVER FOAM TRIM
- I - DECORATIVE SHUTTERS
- J - POST(S) / COLUMNS

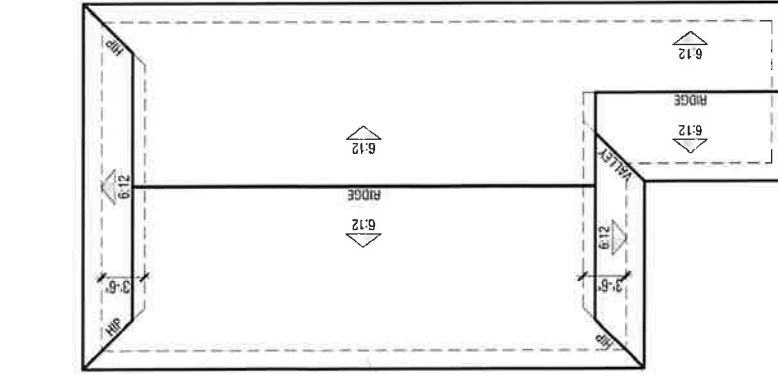
### PLAN 5 ADU-C - Spanish | Exterior Elevations

## GARBANI ROAD

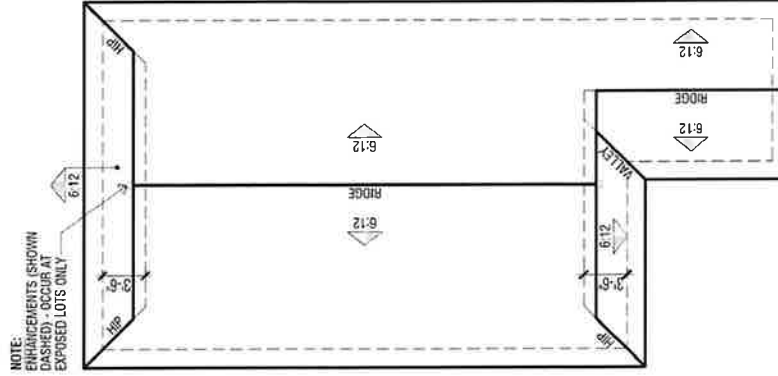
MENIFEE, CA

A5.5  
CITY SUBMITTAL

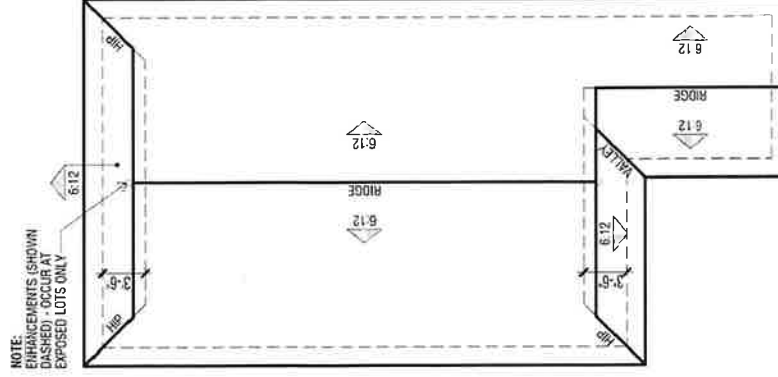
Note: Artist's Conception; Colors, Materials and Application May Vary



5 ADU-A | Traditional



5 ADU-B | Farmhouse



5 ADU-C | Spanish



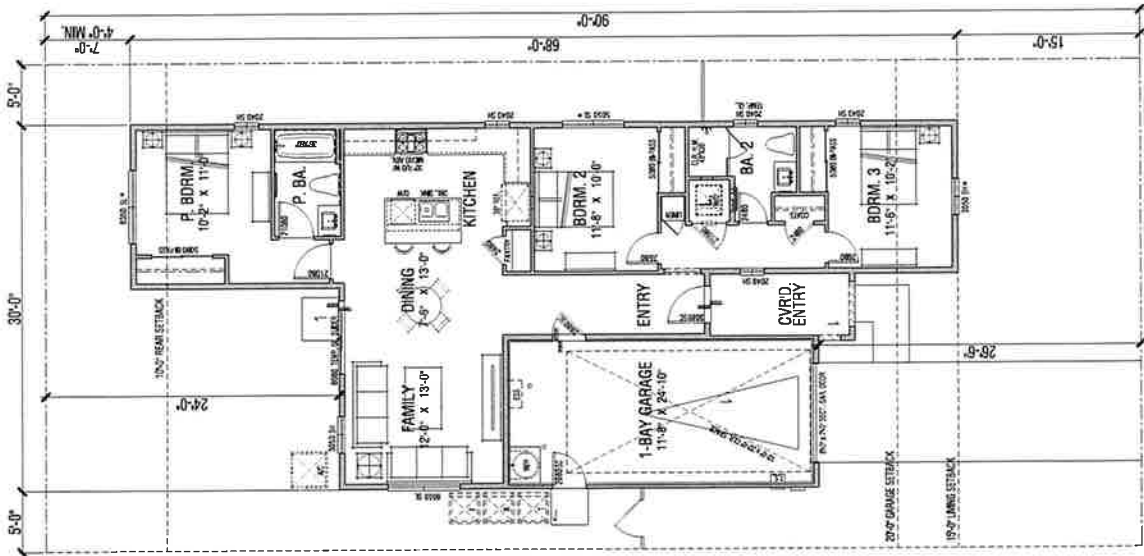
PLAN 6 ADU | Floor Plan  
**GARBANI ROAD**

MENIFEE, CA

A6.1

CITY SUBMITTAL

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DWELLING PLAN SUMMARY - PLAN 6 ADU		
ROOM TYPE	QUANTITY	
BEDROOMS	3	
BATHS	2	
FLOOR AREA TABLE		
PLAN 6 ADU-A		
FIRST LEVEL	1000 SQ. FT.	
TOTAL	1000 SQ. FT.	
2 BAY GARAGE	2112 SQ. FT.	
COVERED ENTRY	62 SQ. FT.	

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



6 ADU A | Traditional

Scheme TR2



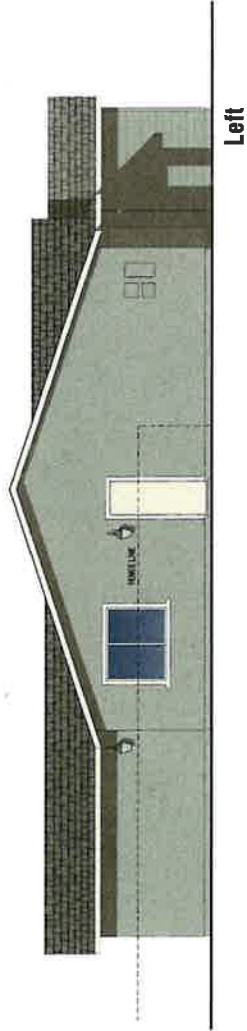
6 ADU B | Farmhouse

Scheme FH5



6 ADU C | Spanish

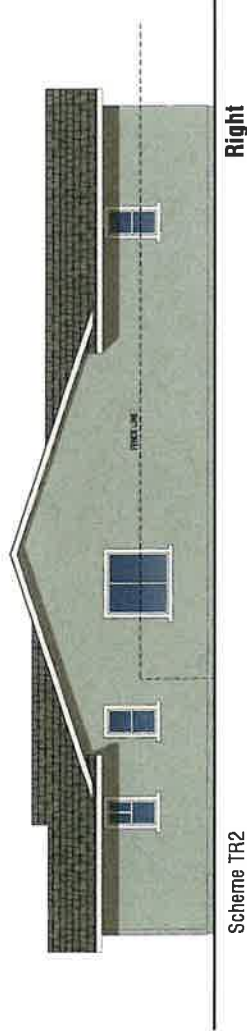
Scheme SP4



Left



Rear



Right

Scheme TR2



Front

'A' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - WHITE TRIM
- C - DOOR ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - ART MANUFACTURERS INC
- F - STUCCO
- G - LAP SIDING, WHERE OCCURS
- H - STUCCO OVER FOAM TRIM
- I - WOOD TRIM
- J - DECORATIVE SHUTTERS

PLAN 6 ADU-A - Traditional | Exterior Elevations

GARBANI ROAD

MENIFEE, CA



Note: Artist's Conception; Colors, Materials and Application May Vary.

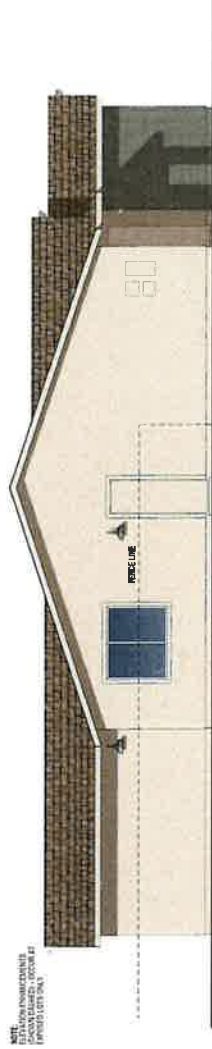
A6.3

CITY SUBMITTAL

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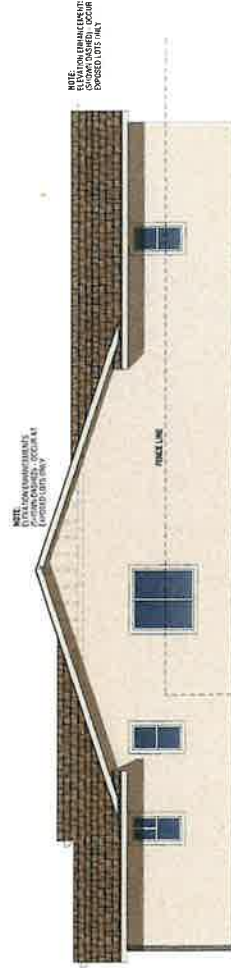




Left



Rear



Scheme FH5

Right



Front

'B' ELEVATION KEYNOTES

- A - COMPOSITION SHINGLE
- B - 6" x 6" POSTS
- C - DECORATIVE ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE - SEA GULL LIGHTING
- F - STUCCO
- G - BOARD & BATT SIDING WHERE OCCURS
- H - 1/2" x 4" SILLIMOR PLYWOOD
- I - WOOD TRIM
- J - WOOD CORBEL

PLAN 6 ADU-B - Farmhouse | Exterior Elevations

GARBANI ROAD

MENIFEE, CA

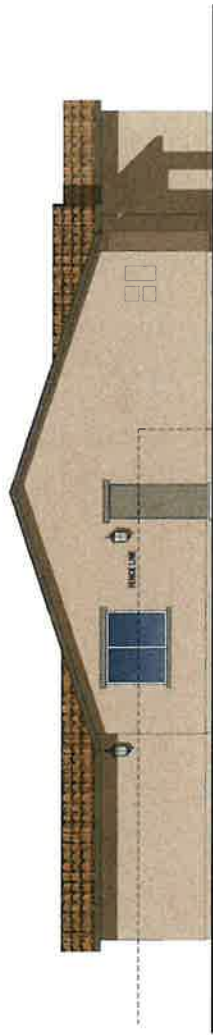
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Note: Artist's Conception; Colors, Materials and Application May Vary.

CITY SUBMITTAL

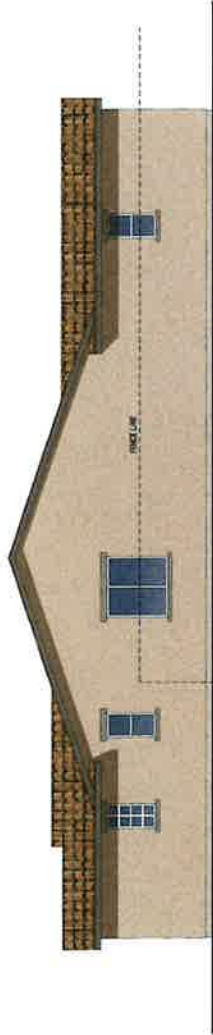
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Left



Rear



Right



Front

'C' ELEVATION KEYNOTES

- A - CONCRETE S' TILE
- B - VINYL WINDOW
- C - VINYL ENTRY DOOR TO MATCH ELEVATION STYLE
- D - SECTIONAL GARAGE DOOR TO MATCH ELEVATION STYLE
- E - DECORATIVE LIGHT FIXTURE, ART MANUFACTURERS INC
- F - STUCCO
- G - DECORATIVE PIPES
- H - STUCCO OVER FOAM TRIM
- I - DECORATIVE SHUTTERS
- J - POST(S) / COLUMN(S)

PLAN 6 ADU-C - Spanish | Exterior Elevations

GARBAN ROAD

A6.5



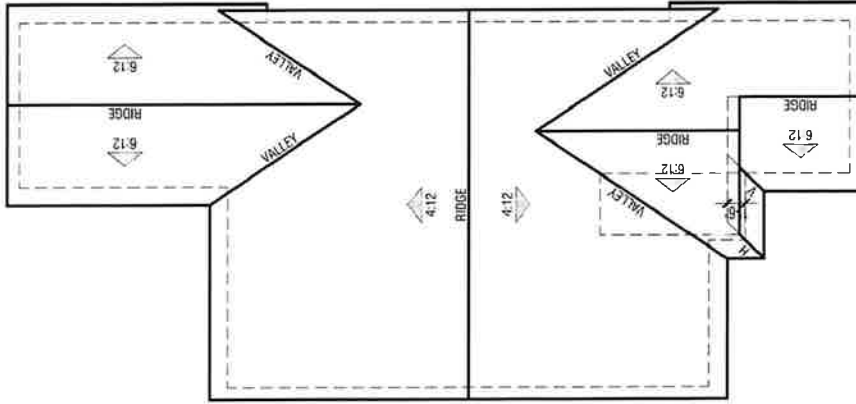
MENIFEE, CA

CITY SUBMITTAL

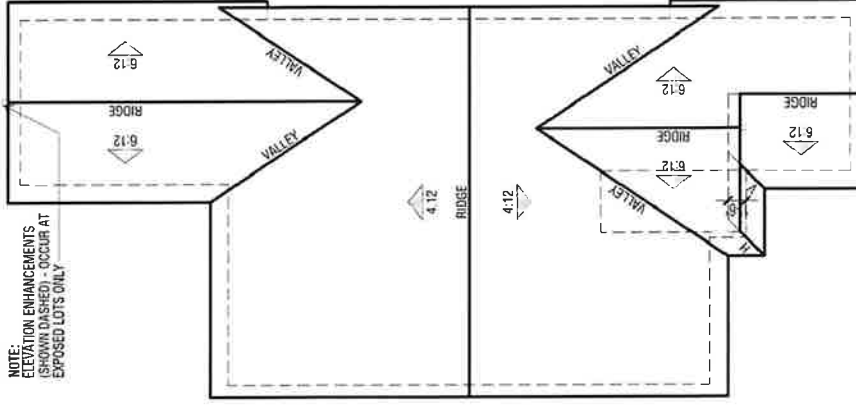
Note: Artist's Conception; Colors, Materials and Application May Vary.

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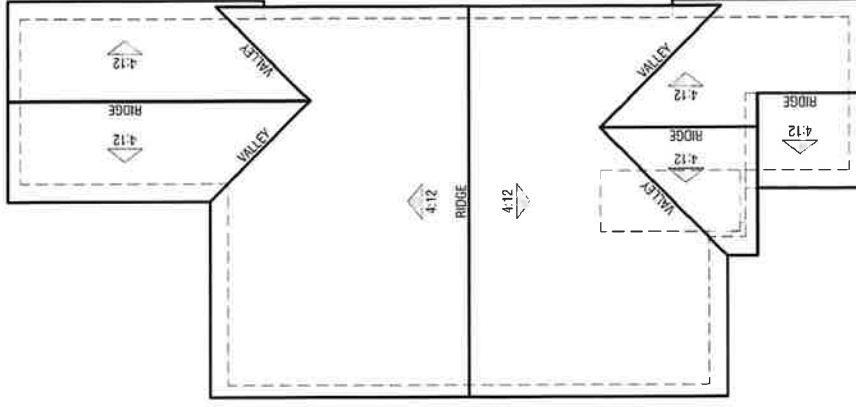




6 ADU-A | Traditional



6 ADU-B | Farmhouse



6 ADU-C | Spanish

NOTE:  
ELEVATION ENHANCEMENTS  
(SHOWN DASHED) - OCCUR AT  
EXPOSED LOTS ONLY



## BrightSky Residential

[www.bostonjournal.com](http://www.bostonjournal.com)

1000

111. *See* *United States v. Williams*, 199 F.3d 1111, 1115 (9th Cir. 2000).

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**Keywords:** child sexual abuse; disclosure; social support

Source: *Author's calculations*.

- Phase 1 of 8

Diagnosis: varicella with skin lesions.

## Spanish Color Schemat:

Page 2 of 5

Prepared by Amy H. Norstrom, Counseling

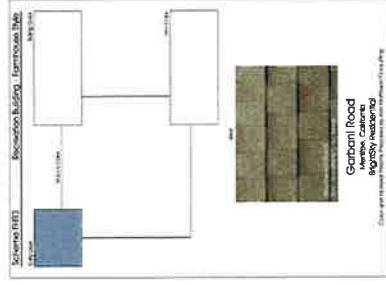
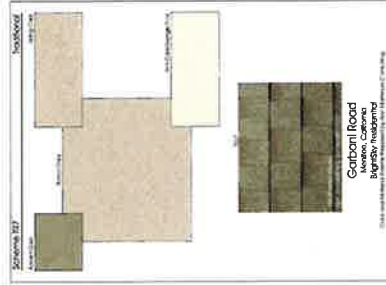
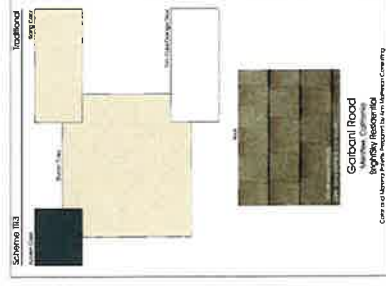
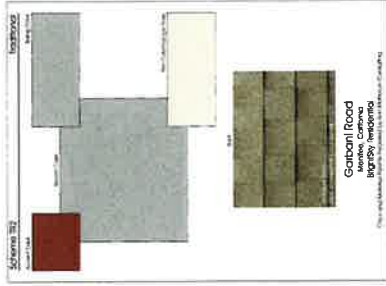
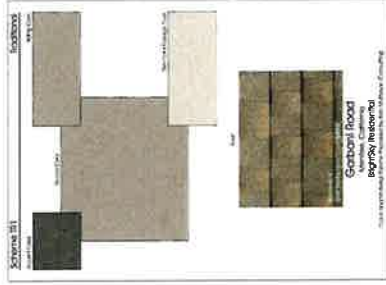
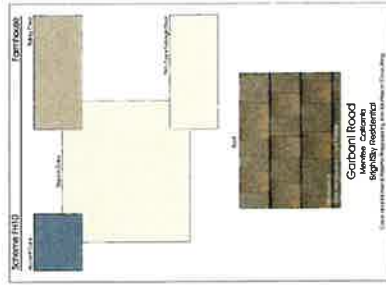
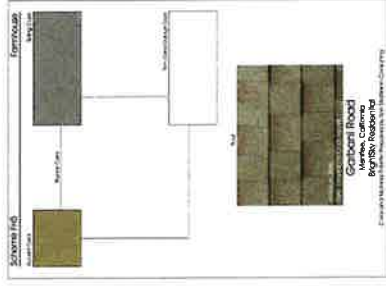
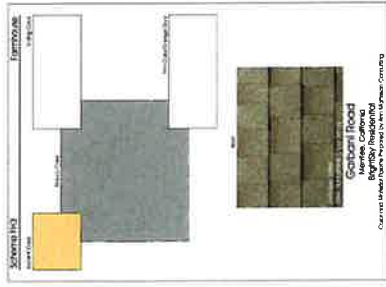
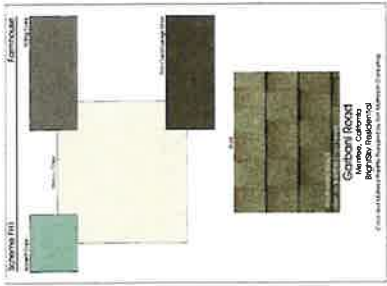
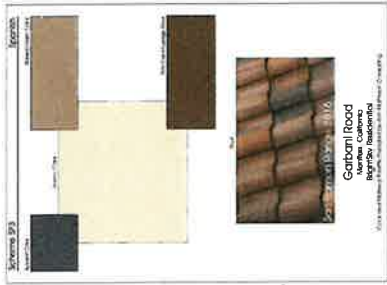
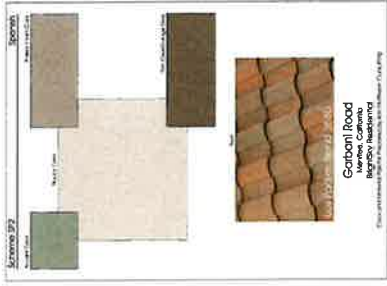
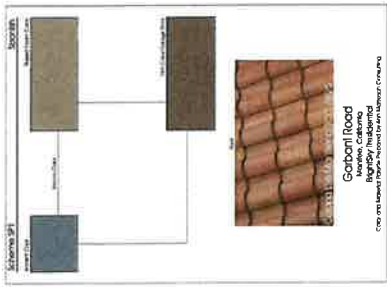
## Farmhouse Color Schemes

Page 3 of 5

**MENIFEE, CA**

ANN/MAITTESON CONSULTING

CM-1



## Color & Materials - Color Boards

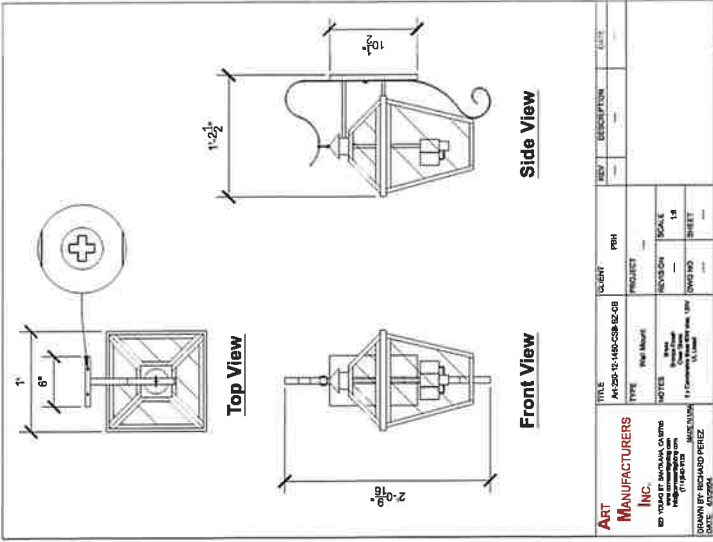
# GARBANI ROAD

MENIFEES, CA

CM-2

CITY SUBMITTAL

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Traditional

Farmhouse

Spanish



BrightSky

Exterior Lighting Specifications

GARBANI ROAD

Note: Artist's Conception, Colors, Materials and Application May Vary.

MENIFEE, CA

CITY SUBMITTAL

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EL-1





DATE: 3/28/24

REVISIONS:

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**PHOTOMETRIC  
SITE PLAN**

940774-1

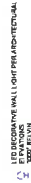
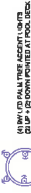
EP-1



PHOTOMETRIC SITE PLAN	SCALE 1"=40'-0"	1
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**LIGHTING FIXTURE LEGEND**



# GARBANI ROAD

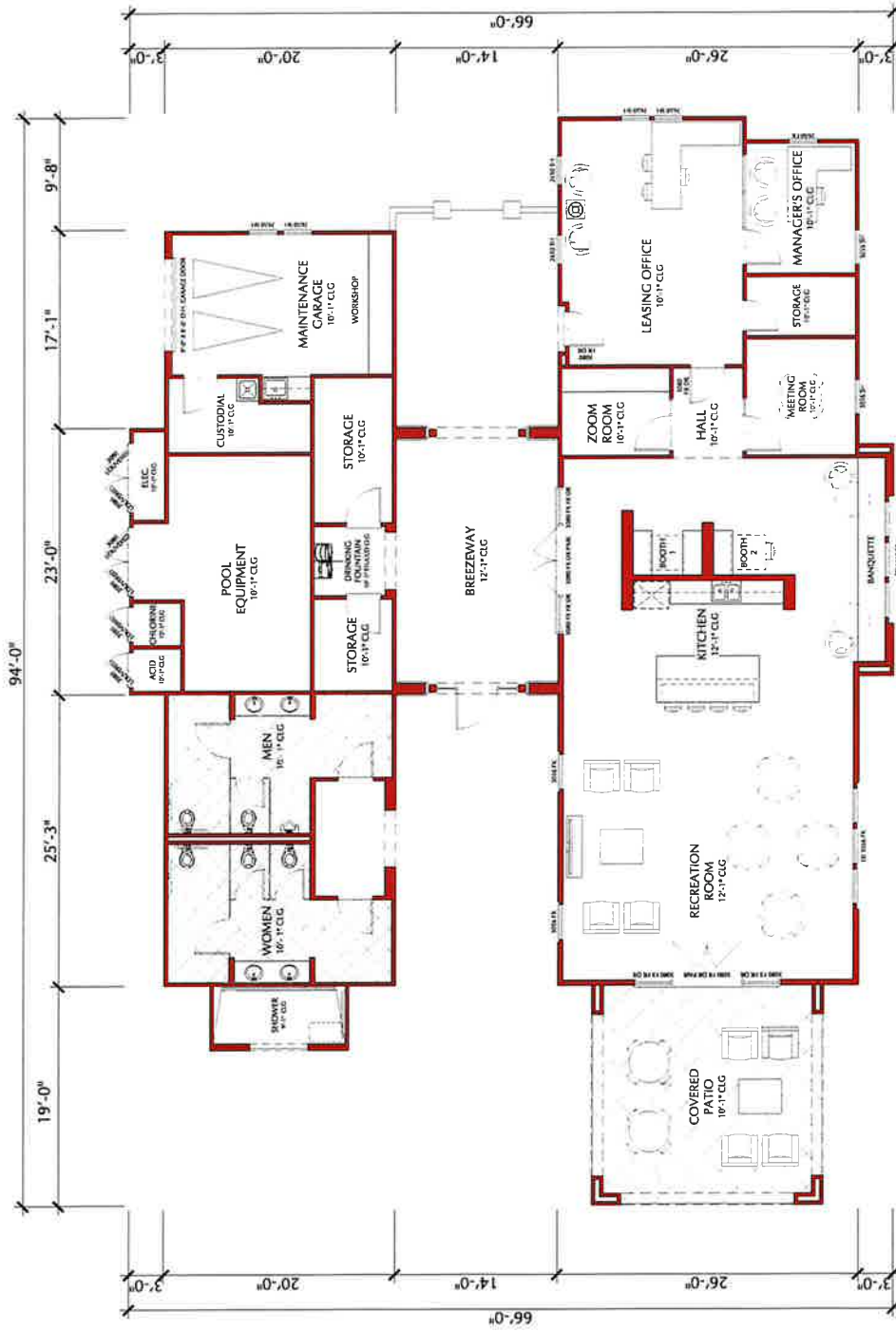
RECREATION BUILDING

MENIFEE, CALIFORNIA

SDK

ATELIER

 **Brightsky**  
RESIDENTIAL  
9160 Irvine Center Drive, Suite 300  
Irvine, California 92618  
949-419-1143



PLAN - 3,246 S.F.

RECREATION ROOM, KITCHEN,  
COVERED PATIO, LEASING OFFICE,  
MANAGER'S OFFICE, ZOOM ROOM  
POOL BATHS, POOL EQUIPMENT,  
MAINTENANCE GARAGE

RECREATION/LEASING	1,986 S.F.
POOL EQUIP/MANT	1,260 S.F.
TOTAL	3,246 S.F.
COVERED PATIO	380 S.F.
BREEZEWAY	322 S.F.



# RECREATION BUILDING FLOOR PLAN



ARCHITECTURAL CONCEPT  
MARCH 25<sup>TH</sup>, 2024



SDK  
ATELIER

GARBANI ROAD - REC BUILDING  
MENIFEE, CALIFORNIA  
PROJECT# 132 231 36





GARBANI ROAD - REC BUILDING  
MENEFEE, CALIFORNIA  
PROJECT# 137-23136

SDK

ATELIER

BrightSky  
DESIGN PARTIAL  
10000 Garbani Road, Suite 100  
Menefee, CA 92556  
760.475.1979

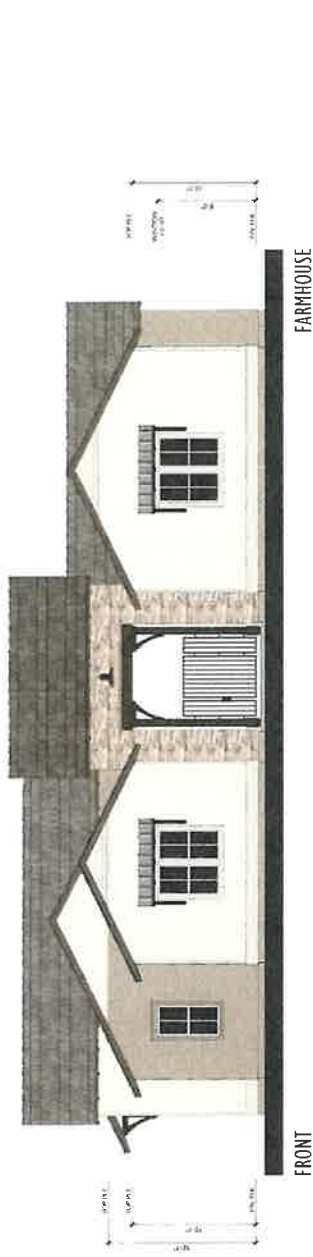
ARCHITECTURAL CONCEPT  
MARCH 25<sup>TH</sup>, 2024

SCALE: 1/4"=1'-0"  
0 4 8 16

RECREATION BUILDING  
FRONT ELEVATION

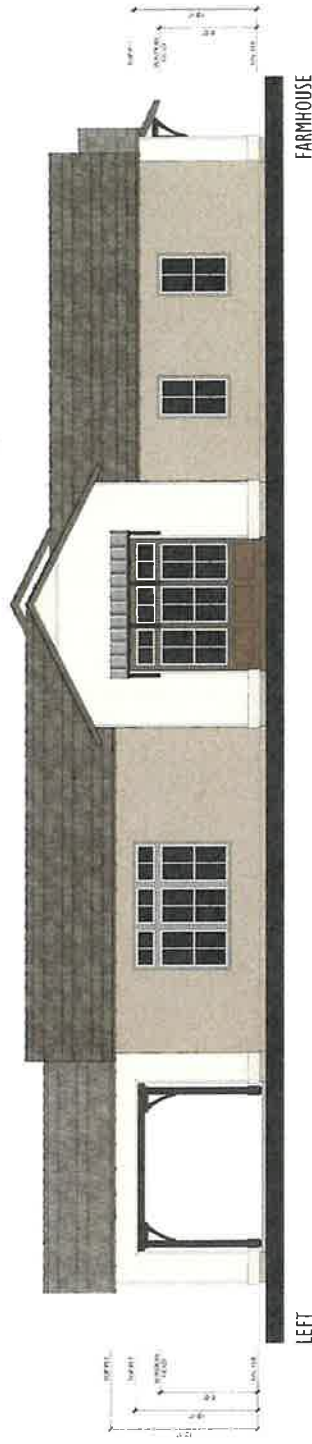
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FARMHOUSE

FRONT



FARMHOUSE

LEFT

