

MENIFEE NORTH

SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

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Comparison Version**

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AMENDMENT NO. 5 TO MENIFEE NORTH SPECIFIC PLAN NO. 260
SUMMARY OF CHANGES

Proposed Amendment No. 5 (SP 260-A5), modifies the Land Use Plan, along with text and graphics, of the approved Menifee North Specific Plan No. 260, Amendment Nos. 3 and 4, to reflect modifications to Planning Areas 9, 22 and 23A. SP260-A5 also incorporates modifications in Amendment No. 3, which were not reflected in a final comprehensive document when approved in 2020. Refer to Figure I-3, *Approved vs. Proposed Areas of Change*, which depicts the proposed SP 260-A5 modifications to the Land Use Plan.

This SP 260-A5 decreases the residential acreage subtotal by 4.6 acres (from 202.6 acres to 198.0 acres), increases the acreage of Medium High Density (MHDR) Residential Land Use within the Specific Plan by 44.6 acres (from 26.5 to 71.1 acres), reduces the acreage of Medium Density Residential (MDR) Land Use by 30.4 acres (from 116 acres to 85.6 acres), reduces the acreage of High Density Residential (HDR) Land Use by 18.1 acres (from 30 acres to 11.9 acres), and reduces the acreage of Very High Density Residential (VHDR) Land Use by 0.7 acres (from 30.1 acres to 29.4 acres). The total Project acreage decreases by 84.2 acres, from 905.2 acres to 821.0 acres, which reflects acreage modifications to Planning Area 2 (Amendment No. 4), Planning Area 9, Planning Area 22, Planning Areas 11-13 (Amendment No. 3), and technical corrections to Circulation and Utility Easement acreages to remove acreage outside the City boundaries. No modifications to the total approved project units are proposed by SP 260-A5.

Detailed descriptions of each proposed change within MENIFEE NORTH Specific Plan No. 260, Amendment No. 5 is provided on Table I-1, Table I-2, and Table I-3 of this document.

Specifically, SP 260-A5:

1. Modifies the acreage, unit count, density, and Land Use Designation of Planning Area 9, to provide a wider range of housing opportunities within the Specific Plan, as follows:
 - a. Increases the acreage by 1.1 acres (from 30.5 acres to 29.4 acres);
 - b. Increases the number of residential units by 64 units (from 106 dwelling units to 170 dwelling units);
 - c. Decreases the minimum lot size from 7,200 square feet to 4,300 square feet;
 - d. Modifies the density from 3.5 du/ac (MDR) to 5.8 du/ac
 - e. Establishes the location of a tot lot; and,
 - f. Incorporates a water quality basin.

2. Consolidates Planning Areas 22 and 23A into one modified residential Planning Area (PA 22), and modifies the acreage, unit count, density, and Land Use Designation, to provide a wider range of housing opportunities within the Specific Plan, as follows:
 - a. Establishes the combined Planning Area acreage at 26.5 acres;
 - b. Decreases the combined total number of residential units in Planning Areas 22 and 23A by 64 units (from 209 dwelling units to 145 residential units);
 - c. Establishes a density of 5.5 du/ac;
 - d. Establishes a minimum lot size of 3,700 square feet;
 - e. Establishes the location of a tot lot; and,
 - f. Incorporates a water quality basin.

3. Redesignates Planning Area 23B as Planning Area 23, to reflect the consolidation of Planning Areas 22 and 23A into Planning Area 22.
4. Removes acreage outside the City boundaries (Riverside County) from the descriptions and totals of “Major Roads” and Utility Easements/Existing Uses” as follows:
 - a. Decreases the “Major Roads” acreage by 74.8 acres (from 164.1 acres to 89.3 acres).
 - b. Decreases the “Utility Easements/Existing Uses” acreage by 9.8 acres (from 111.4 acres to 101.6 acres) to reflect the removal of County-portion of utility easements/existing uses (0.6 acres) and the incorporation of the SCE easement (9.2 acres) into Planning Areas 11B, 12B, and 13B.
5. Incorporates Development Standards and Permitted Uses in table form for all Planning Areas to reflect and consolidate the approved Amendment No. 2 Zoning Ordinance and approved Amendment No. 3 Development Standards and Permitted Uses tables.
6. Modifies the Circulation Plan as follows:
 - a. Redesignates Watson Road, along the project frontage of Planning Area 22, from Secondary Highway (100 R.O.W.) to Modified Secondary Highway (94’ R.O.W.).
 - b. Redesignates Palomar Road, along the project frontage of Planning Area 9, from Industrial Collector (78’ R.O.W.) to Modified Secondary Road (88’ R.O.W.).
 - c. Redesignates Malone Avenue, north of Varela Lane, from Enhanced Local Road (66’ R.O.W.) to a Local Road (60’ R.O.W.).
 - d. Corrects the right-of-way widths for Local Roads (60’ R.O.W.), in conformance with the adopted City of Menifee General Plan Roadway Cross-Sections, and removes Enhanced Local Roads (66’ R.O.W.) from the key map to reflect the redesignation of Malone Avenue, north of Varela Lane, from Enhanced Local Road to Local Road.

SP 260-A5 also incorporates technical changes to reflect approved Amendment Nos. 3 and 4, including:

Amendment No. 4

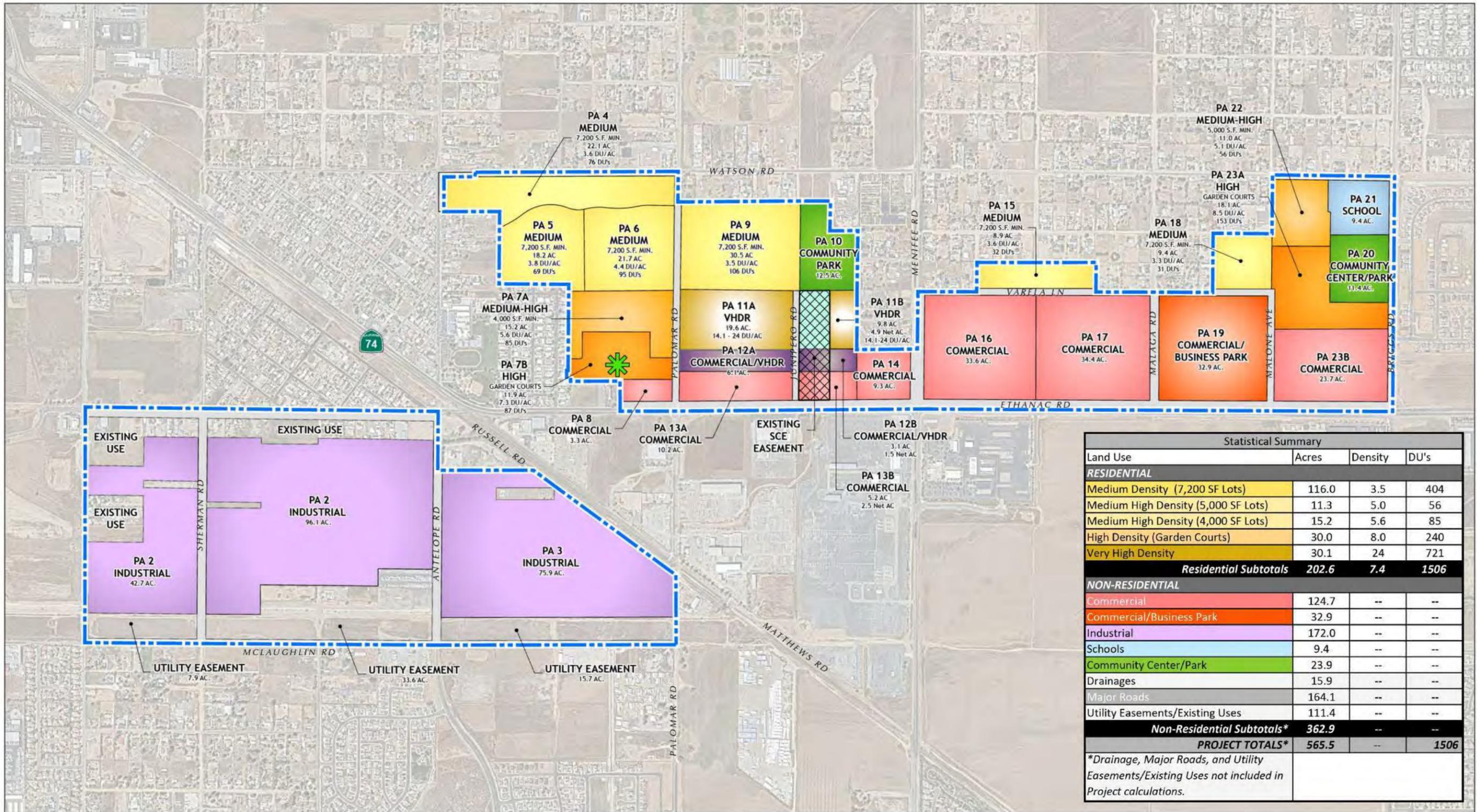
1. Modified the configuration and increased the acreage of Planning Area 2 by 6.4 acres, from 138.8 to 145.2 acres. This modification increased the overall acreage of the Specific Plan from 898.8 acres to 905.2 acres.

Amendment No. 3

1. Modifies the Land Use Designation of Planning Areas 12A and 12B from Very High Density/Commercial as follows:
 - a. Establishes the Mixed-Use land use designation, which consists of Commercial and Very High-Density Residential land uses, to reflect the special conditions of commercial and residential development in PAs 12A/12B.
 - b. Provides 9.2 acres with 135 units at a density of 14.7 du/ac.
2. Incorporates the Southern California Edison easement (9.2 acres) into Planning Areas 11B, 12B, and 13B to establish consistency within the comprehensive Specific Plan Land Use Plan. Acreages are modified as follows:
 - a. The acreage of Planning Area 11B is increased from 4.9 net acres to 9.8 gross acres.
 - b. The acreage of Planning Area 12B is increased from 1.6 net acres to 3.1 gross acres.

- c. The acreage of Planning Area 13B is increased from 2.5 net acres to 5.2 gross acres.
3. Modifies the Circulation Plan as follows:
- a. Provides technical correction to the designation for Junipero Road, north of Highway 74, from Industrial Collector (78' R.O.W.) to Collector (74' R.O.W.), in conformance with the approved Amendment No. 3.

Additionally, SP 260-A5 makes other non-substantive corrections throughout the document to accommodate the proposed substantive modifications.



Statistical Summary			
Land Use	Acres	Density	DU's
RESIDENTIAL			
Medium Density (7,200 SF Lots)	116.0	3.5	404
Medium High Density (5,000 SF Lots)	11.3	5.0	56
Medium High Density (4,000 SF Lots)	15.2	5.6	85
High Density (Garden Courts)	30.0	8.0	240
Very High Density	30.1	24	721
Residential Subtotals	202.6	7.4	1506
NON-RESIDENTIAL			
Commercial	124.7	--	--
Commercial/Business Park	32.9	--	--
Industrial	172.0	--	--
Schools	9.4	--	--
Community Center/Park	23.9	--	--
Drainages	15.9	--	--
Major Roads	164.1	--	--
Utility Easements/Existing Uses	111.4	--	--
Non-Residential Subtotals*	362.9	--	--
PROJECT TOTALS*	565.5	--	1506

*Drainage, Major Roads, and Utility Easements/Existing Uses not included in Project calculations.

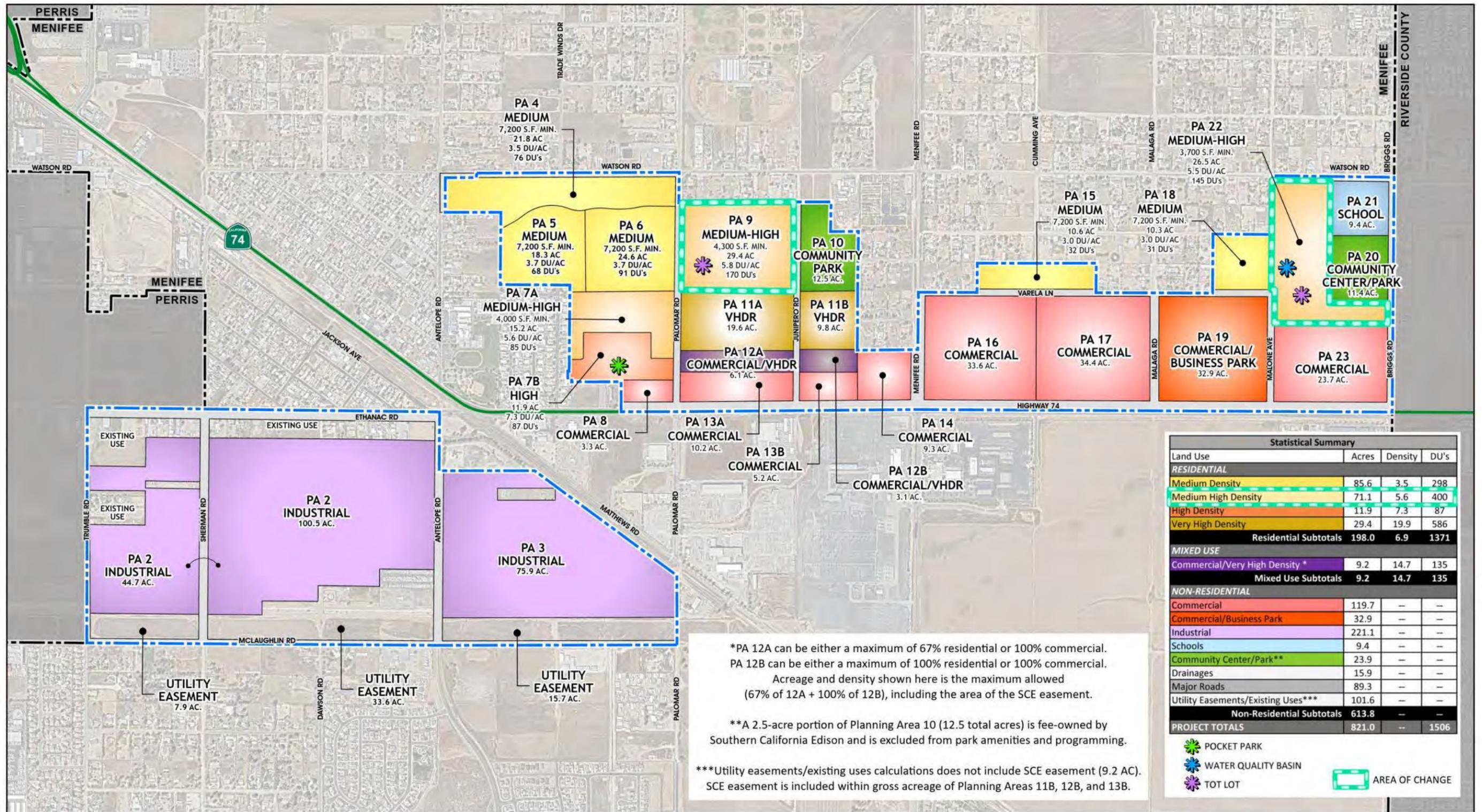
Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)



FIGURE - I-1

APPROVED SPECIFIC PLAN LAND USE PLAN
I. SUMMARY OF CHANGES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

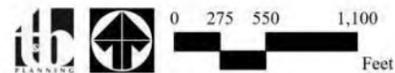


FIGURE - I-2

PROPOSED SPECIFIC PLAN LAND USE PLAN (AREAS OF CHANGE)
 I. SUMMARY OF CHANGES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE I-1
LAND USE SUMMARY OF CHANGES**

<u>LAND USE</u>	<u>ADOPTED SPECIFIC PLAN NO. 260, AMENDMENT NO. 4</u>			<u>PROPOSED SPECIFIC PLAN NO. 260 AMENDMENT NO. 5</u>		
	<u>ACREAGE</u>	<u>DENSITY (DU/AC)</u>	<u>MAX DWELLING UNITS</u>	<u>ACREAGE</u>	<u>DENSITY (DU/AC)</u>	<u>MAX DWELLING UNITS</u>
<u>RESIDENTIAL</u>						
<u>Medium Density Residential</u>	<u>116.0</u>	<u>3.5</u>	<u>404</u>	<u>85.6</u>	<u>3.5</u>	<u>298</u>
<u>Medium High Density Residential</u>	<u>26.5</u>	<u>5.3</u>	<u>141</u>	<u>71.1</u>	<u>5.6</u>	<u>400</u>
<u>High Density Residential</u>	<u>30.0</u>	<u>8.0</u>	<u>240</u>	<u>11.9</u>	<u>7.3</u>	<u>87</u>
<u>Very High Density Residential</u>	<u>30.1</u>	<u>24.0</u>	<u>721</u>	<u>29.4</u>	<u>19.9</u>	<u>135</u>
<u>RESIDENTIAL SUBTOTAL</u>	<u>202.6</u>	<u>7.2</u>	<u>1,506</u>	<u>198.0</u>	<u>6.9</u>	<u>1,371</u>
<u>MIXED-USE</u>						
<u>Commercial/ Very High Density Residential</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>9.2</u>	<u>14.7</u>	<u>135</u>
<u>MIXED-USE SUBTOTAL</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>9.2</u>	<u>14.7</u>	<u>135</u>
<u>NON-RESIDENTIAL</u>						
<u>Commercial</u>	<u>124.7</u>	<u>=</u>	<u>=</u>	<u>119.7</u>	<u>=</u>	<u>=</u>
<u>Commercial/Business Park</u>	<u>32.9</u>	<u>=</u>	<u>=</u>	<u>32.9</u>	<u>=</u>	<u>=</u>
<u>Industrial</u>	<u>221.1</u>	<u>=</u>	<u>=</u>	<u>221.1</u>	<u>=</u>	<u>=</u>
<u>Schools</u>	<u>9.4</u>	<u>=</u>	<u>=</u>	<u>9.4</u>	<u>=</u>	<u>=</u>
<u>Community Center/Community Park</u>	<u>23.9</u>	<u>=</u>	<u>=</u>	<u>23.9</u>	<u>=</u>	<u>=</u>
<u>Drainage Channels</u>	<u>15.9</u>	<u>=</u>	<u>=</u>	<u>15.9</u>	<u>=</u>	<u>=</u>
<u>Major Roads</u>	<u>164.1</u>	<u>=</u>	<u>=</u>	<u>89.3⁽¹⁾</u>	<u>=</u>	<u>=</u>
<u>Easements/Existing Uses</u>	<u>111.4</u>	<u>=</u>	<u>=</u>	<u>101.6⁽¹⁾</u>	<u>=</u>	<u>=</u>
<u>NON-RESIDENTIAL SUBTOTAL</u>	<u>703.4</u>	<u>=</u>	<u>=</u>	<u>613.8</u>	<u>=</u>	<u>=</u>
<u>PROJECT TOTAL</u>	<u>906.0</u>	<u>=</u>	<u>1,506</u>	<u>821.0</u>	<u>=</u>	<u>1,506</u>
<u>Notes:</u>						
¹ Only Major Roads and Easements/Existing uses within the City of Menifee are accounted for in Amendment No. 5.						

Detailed descriptions of the substantive changes proposed by MENIFEE NORTH Specific Plan No. 260, Amendment No. 5 are provided below.

□ AREA OF CHANGE - PLANNING AREA 9

Amendment No. 5 proposes to: 1) modify the density of Planning Area 9 from 3.5 du/ac to 5.8 du/ac; 2) decrease the Planning Areas size from 30.5 acres to 29.4 acres and 3) increase the number of residential units from 106 to 170 residential units. The aforementioned changes are summarized in Table I-2 and depicted in Figure I-3.

TABLE I-2
PLANNING AREA 9– STATISTICAL COMPARISON

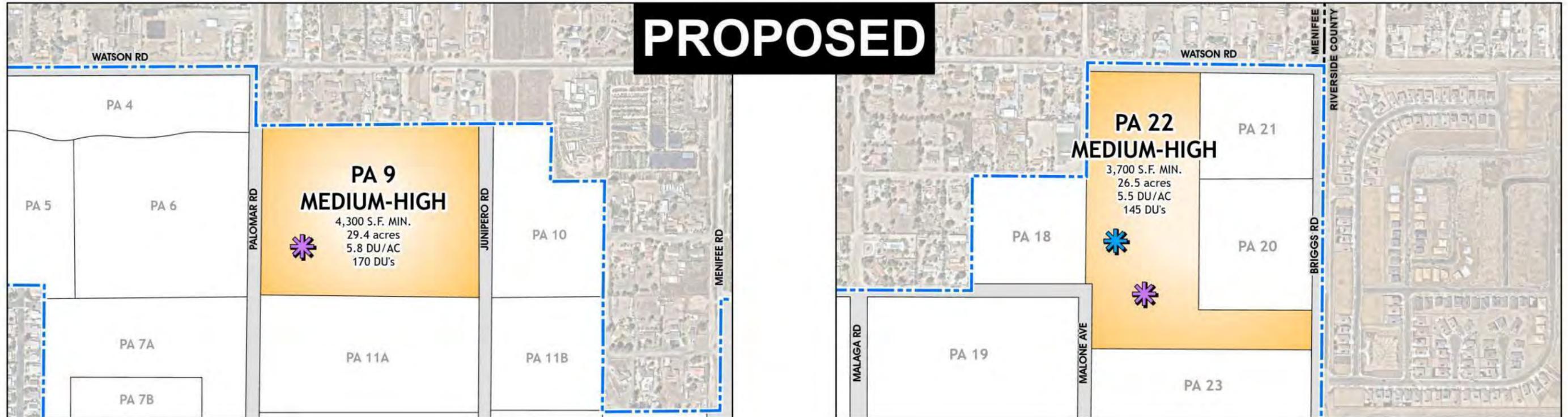
<u>ADOPTED AMENDMENT NO. 3</u>				<u>PROPOSED AMENDMENT NO. 5</u>			
<u>P. A.</u>	<u>LAND USE</u>	<u>ACRES</u>	<u>DU’S</u>	<u>P. A.</u>	<u>LAND USE</u>	<u>ACRES</u>	<u>DU’S</u>
9	<u>Medium Density Residential</u>	<u>30.5</u>	<u>106</u>	9	<u>Medium High Density Residential</u>	<u>29.4</u>	<u>170</u>

□ AREA OF CHANGE - PLANNING AREAS 22 AND 23A

Amendment No. 5 proposes to combine Planning Areas 22 (Medium-High Density Residential) and 23A (High Density Residential) into a single residential planning area (proposed Planning Area 22), with a density of 5.5 du/ac. Amendment No. 5 proposes to: 1) decrease the proposed Planning Area size from 29.1 acres to 26.5 acres; 2) decrease the number of residential units from 209 (56 units in PA 22 and 153 units in PA 23A) to 145 units; and 3) redesignate Planning Area 23B as Planning Area 23, to reflect the consolidation of Planning Areas 22 and 23A into PA 22. The aforementioned changes are summarized in Table I-3 and graphics depicted in Figure I-3.

TABLE I-3
PROPOSED PLANNING AREA 22 – STATISTICAL COMPARISON

<u>ADOPTED AMENDMENT NO. 3</u>				<u>PROPOSED AMENDMENT NO. 5</u>			
<u>P. A.</u>	<u>LAND USE</u>	<u>ACRES</u>	<u>DU’S</u>	<u>P. A.</u>	<u>LAND USE</u>	<u>ACRES</u>	<u>DU’S</u>
<u>22</u>	<u>Medium High Density Residential</u>	<u>11.0</u>	<u>56</u>	<u>22</u>	<u>Medium High Density Residential</u>	<u>26.5</u>	<u>145</u>
<u>23A</u>	<u>High Density Residential</u>	<u>18.1</u>	<u>153</u>				
<u>23B</u>	<u>Commercial</u>	<u>23.7</u>	<u>--</u>	<u>23</u>	<u>Commercial</u>	<u>23.7</u>	<u>--</u>



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

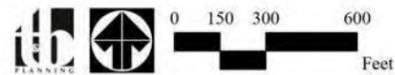


FIGURE - I-3

PROPOSED SPECIFIC PLAN LAND USE PLAN (AREAS OF CHANGE)
I. SUMMARY OF CHANGES
MENEFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

LIST OF FIGURES MODIFIED OR CREATED FOR THIS AMENDMENT

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II. INTRODUCTION

A. PROJECT LOCATION AND SETTING

The *MENIFEE NORTH* community consists of a combination of undeveloped land, existing scattered residential and institutional land uses, surrounded by either fragmented residential, commercial, or limited forms of professional office land uses, as noted on the *Regional Map* (Figure I-1) and illustrated on the *Vicinity Map* (Figure I-2). When fully developed, the *MENIFEE NORTH* Specific Plan will provide a combination of land uses including residential, commercial, industrial, business park, recreation, institutional uses.

Amendment No. 5 to the *MENIFEE NORTH* Specific Plan, (SP 260-A5) creates a comprehensive set of plans, regulations, conditions, and programs for guiding the systematic development of this community. All standards included within Amendment No. 5 are reflective of City of Menifee requirements. Amendments to the *MENIFEE NORTH* Specific Plan and implementing projects are processed, reviewed, and considered by the City of Menifee in accordance with the City's General Plan and Ordinances.

SP 260-A5 creates a community which offers a unique living and working environment, comprised of a range of residential densities and housing types, schools, commercial and industrial uses, along with park and open space amenities consistent with the City of Menifee's vision for the city. The variety of housing types provide housing opportunities for residents in a variety of economic circumstances and lifestyle preferences, creating a vibrant community consisting of individual neighborhoods and public spaces.

SPECIFIC PLAN HISTORY

In 1994, the County of Riverside Board of Supervisors approved the *MENIFEE NORTH* Specific Plan No. 260 and certified its' Environmental Impact Report (EIR No. 329). The adopted Specific Plan provided for the development of 2,390 residential units on 1,635.3 acres between the communities of Homeland and Romoland in Southwestern Riverside County. EIR No. 329 was intended to serve as the project-wide Master Environmental Document for the *MENIFEE NORTH* Specific Plan and all subsequent development projects undertaken pursuant to and within the Specific Plan boundaries. EIR No. 329 analyzed 2,654 dwelling units, although the project was approved for only 2,309 units.

In 2004, Amendment No. 1 was approved by the County of Riverside, which increased the number of residential units to 2,602 and deleted Planning Area 1, which was originally designated for 18 acres of Commercial/Business Park use, to reflect its annexation into the City of Perris. Planning Area 32 was also re-designated from Medium Density Residential to Medium High Density Residential.

In 2008, Amendment No. 2 and Environmental Assessment No. 40275 was approved by the County of Riverside. Amendment No. 2 reduced the Specific Plan acreage by approximately 30 acres (from 1,635.3 acres to 1,604.6 acres), increased the number of residential units by 213 units (from 2,602 to 2,815), modified the Land Use Designations and unit counts in Planning Areas 7, 8, 10, 20, 23, and 48, and modified the Circulation Plan to reflect the Circulation Element of the Riverside County General Plan adopted in 2003. The City of Menifee was also incorporated in 2008 and establishment

of the City’s boundary at Briggs Road resulted in the approximately 775-acre portion of the adopted Specific Plan, west of Briggs Road, remaining within the City’s jurisdiction.

In January 2016, Substantial Conformance No. 1 to Amendment No. 2 (SP260A2-SC1) was approved by the Riverside County Board of Supervisors to modify the Specific Plan boundary and removed all areas west of Briggs Road from the MENIFEE NORTH Specific Plan. The revised limits of the MENIFEE NORTH Specific Plan were reduced to approximately 829.2 acres east of Briggs Road, west of Juniper Flats Road, south of Alicante Drive, and north of Matthews Road, continuing to allow for a wide range of land uses including 2,025 residential units. The balance of 816.2 acres and 889 residential dwelling units resided within the City of Menifee.

On March 17, 2020, Substantial Conformance No. 2 to the MENIFEE NORTH Specific Plan (SP260A2-SC2) was adopted to modify Planning Areas 24, 25, 26 and 28 boundaries, acreages, and residential dwelling unit counts to reflect approved Tentative Tract Map No. 29322 and proposed Tentative Tract Map No. 37533, which were processed concurrently. SP260A2-SC2 maintained the approved maximum of 2,025 residential units permitted on 829.2 acres, while modifying the Specific Plan text and graphics to: reduce the minimum lot sizes within Planning Area 25 from 6,000 s.f. to 3,500 s.f.; re-allocate 22 dwelling units from Planning Areas 26 and 28 (TTM 29322) to Planning Areas 24 and 25 (10 dwelling units and 12 dwelling units respectively) to be consistent with TTM 37533; revise the locations of the water quality basins and mini-park sites within Planning Areas 24, 25, 26, and 28; and reduce the overall acreage of major roads within the overall SP area from 77.1 acres to 74.8 acres. SP260A2-SC2 also included a technical correction for the land use designations of Planning Areas 26 and 28, from “Medium-High Density Residential” to “Medium Density Residential”, to reflect the previously approved TM 29322.

On July 1, 2020, Amendment No. 3 to the *MENIFEE NORTH* Specific Plan and its accompanying EIR (SCH #2019029123) was adopted by the City of Menifee. Amendment No. 3 modified Planning Areas 11, 12, 13, and 14 and formally removed those portions of the Specific Plan outside the City boundaries from the document, however a final comprehensive document reflecting the approved modifications was not created.

In 2022, Amendment No. 4 to the *MENIFEE NORTH* Specific Plan and its accompanying EIR (SCH #2021060247) was approved to increase the Specific Plan acreage from 898.8 acres to 905.2 acres. By modifying the configuration of Planning Area 2 and increasing the acreage of Planning Area 2 from 138.8 acres to 145.2 acres to reflect TTM 38156.

B. SPECIFIC PLAN FORMAT

[Amendment No. 5 to the *MENIFEE NORTH* Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency’s General Plan.](#)

Section 65450 through 65454 of the California Government Code grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A Specific Plan, as the name implies, is specific in nature as compared to a General Plan. It is designed to address

site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. While a General Plan examines an entire City, a Specific Plan will concentrate on the individual development issues of a particular project. Amendment No. 5 to the MENIFEE NORTH Specific Plan has been created to provide a comprehensive development plan for the 821.0-acre site that is consistent with the recommendations and requirements set forth by Section 9.100 of the City of Menifee Development Code.

C. PROJECT SUMMARY

MENIFEE NORTH, is located on approximately 821.0 acres along Highway 74, between Trumble Road and Briggs Road, in the City of Menifee. Amendment No. 5 addresses modifications to Planning Area 9 and Planning Area 22. Planning Area 9 is located in the western portion of the Specific Plan, between Palomar Road and Junipero Road. Planning Area 22, is located in the eastern portion of the Specific Plan, between Malone Avenue and Briggs Road. Amendment No. 5 introduces residential lot sizes into these Planning Areas which create compact neighborhoods which were not previously available within the community, to provide more housing choices for residents of the City of Menifee.

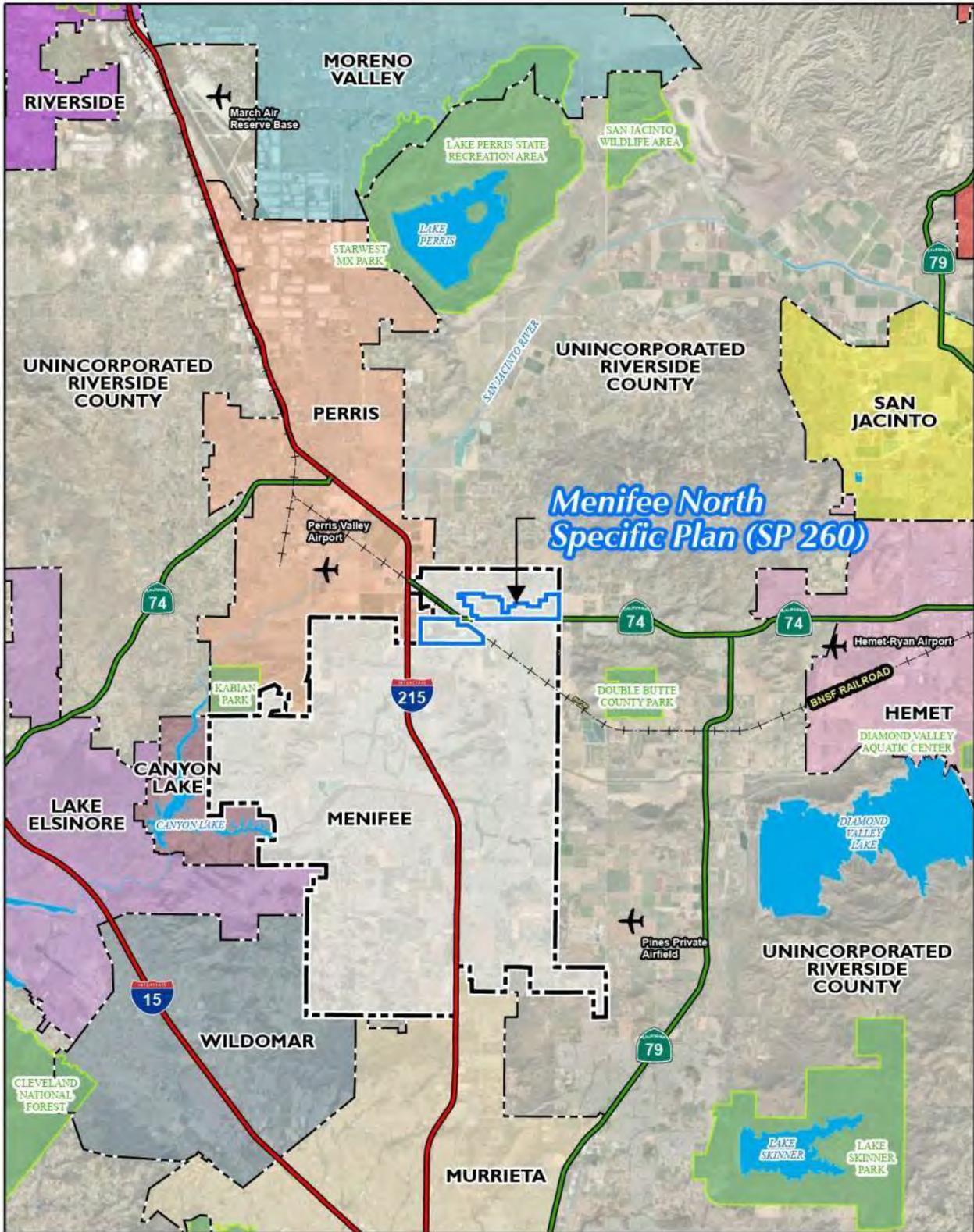
In response to changing market conditions in the project area, this fifth amendment to Specific Plan 260, MENIFEE NORTH, is proposed to incorporate the following changes, which are summarized in Section 1, Summary of Changes, and reflected in Table II-1, Land Use Summary:

**Table II-1
LAND USE SUMMARY**

<u>LAND USE</u>	<u>ACREAGE</u>	<u>DWELLING UNITS / ACRE</u>	<u>MAXIMUM DWELLING UNITS</u>
<u>RESIDENTIAL</u>			
7,200 SF Medium ⁽¹⁾	<u>85.6</u>	<u>3.5</u>	<u>298</u>
4,000 SF Medium High	<u>15.2</u>	<u>5.6</u>	<u>85</u>
4,300 SF Medium High	<u>29.4</u>	<u>5.8</u>	<u>170</u>
3,700 SF Medium High	<u>26.5</u>	<u>5.5</u>	<u>145</u>
High Density (Garden Courts)	<u>11.9</u>	<u>7.3</u>	<u>87</u>
Very High Density	<u>29.4</u>	<u>19.9</u>	<u>586</u>
<u>RESIDENTIAL SUBTOTAL</u>	<u>198.0</u>	<u>6.8</u>	<u>1,371</u>
<u>MIXED-USE</u>			
Commercial/Very High Density Residential ⁽²⁾	<u>9.2</u>	<u>14.7</u>	<u>135</u>
<u>MIXED-USE SUBTOTAL</u>	<u>9.2</u>	<u>14.7</u>	<u>135</u>
<u>NON-RESIDENTIAL</u>			
Commercial	<u>119.7</u>	=	=
Commercial/Business Park	<u>32.9</u>	=	=
Industrial	<u>221.1</u>	=	=
Schools	<u>9.4</u>	=	=
Community Center/Park ⁽³⁾	<u>23.9</u>	=	=
Drainage Channels	<u>15.9</u>	=	=
Major Roads	<u>89.3</u>	=	=
Easements/Existing Uses	<u>101.6</u>	=	=
<u>NON-RESIDENTIAL SUBTOTAL</u>	<u>613.8</u>	<u>=</u>	<u>=</u>
<u>PROJECT TOTAL</u>	<u>821.0</u>	<u>=</u>	<u>1,506</u>

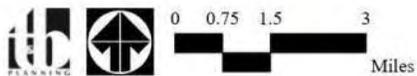
Notes:

- (1) The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Areas 5 and 6, in either of the following two circumstances:
 (a) The project is designed for and restricted to senior citizen housing; or
 (b) The project is a mobile home park or mobile home subdivision.
 If this option is elected, the maximum number of dwelling units shown in Table II-1 may be exceeded up to a new maximum which is listed in Planning Area description for the relevant Planning Areas. The overall maximum number of dwelling units for the entire Specific Plan may not exceed 1,505.
- (2) PA 12A can be either maximum 67% residential or 100% commercial. PA 12B can be either maximum 100% residential or 100% commercial.
- (3) A 2.5-acre portion of Planning Area 10 (12.5 total acres) is fee-owned by Southern California Edison and is excluded from park programming and amenities.



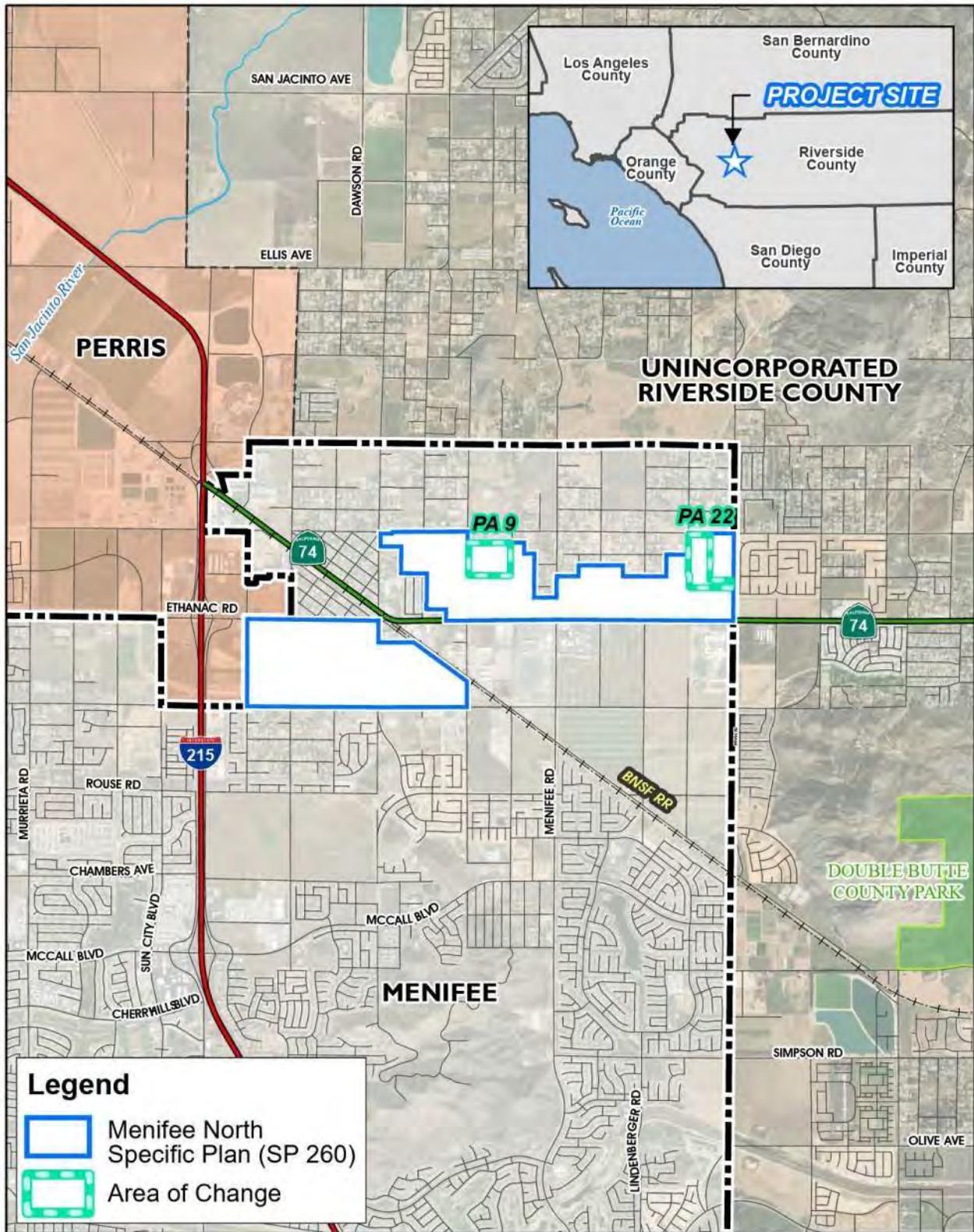
Source(s): Esri, RCTLMA (2024)

FIGURE - II-1



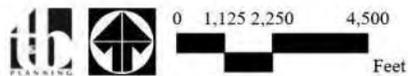
REGIONAL MAP
II. SUMMARY

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): Esri, RCTLMA (2024)

FIGURE - II-2



VICINITY MAP
II. SUMMARY

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

III. SPECIFIC PLAN

A. DEVELOPMENT PLANS AND STANDARDS

❖ PLANNING OBJECTIVES

This Specific Plan has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, [City of Menifee](#) General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further ensure the environmental compatibility, aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified. With this analysis and the specific project goals and objectives in mind, the *MENIFEE NORTH* Specific Plan:

- Provides a development plan of superior environmental sensitivity including a high quality of visual aesthetics, suppression of noise, protection of health and safety, and the promotion of the community and region.
- Considers topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible.
- Reflects anticipated market needs and public demand by providing a range of housing types which will be marketable within the developing economic profile of the [City of Menifee](#).
- Provides residential uses with particular emphasis on employing natural and created open space for a heightened aesthetic environment.
- Provides direct and convenient access to neighborhoods via a convenient and efficient circulation system.
- Provides additional employment opportunities for the current and future residents of the [City of Menifee](#) and surrounding communities.
- Creates a unique residential character that provides for a distinct environment through architectural treatment, viewshed, and natural terrain.

1. SPECIFIC LAND USE PLAN

a. Project Description

When completed, the *MENIFEE NORTH* project area will be composed of a high-quality mix of residential uses varying in density from 3.5 du/ac to 19.9 du/ac, as summarized in Table III-1, *Detailed Land Use Summary*. These residential uses will be constructed in compliance with a site design that is consistent with the City of Menifee General Plan. The residential products to be provided will meet a market need in the urbanizing City of Menifee. When fully developed, a maximum of 1,506 homes

will be constructed in *MENIFEE NORTH*. In order to create a full service, balanced community, the Specific Plan also will provide commercial, business park, industrial, recreation, public facility, and community land uses.

The project site has been divided into 26 planning areas on the basis of logical, separate units of development. Information on each of the planning areas within *MENIFEE NORTH* is provided in Table III-A, *Detailed Land Use Summary*, within Section III.B, *Planning Area Development Standards*, and in Planning Area Exhibits (Figures III-14 through III-30).

The proposed land uses within the *MENIFEE NORTH* Specific Plan include:

- ❖ RESIDENTIAL - The Specific Plan was formulated based on the goal of providing a variety of housing types, styles, sizes and values to attract a variety of homebuyers. The residential and mixed use element of the plan accounts for 211.3 acres of the project site, containing a maximum of 1,506 dwelling units. The housing mix will be spread over four density ranges varying from Medium Density Residential to Very High Density Residential, as described below.
 - Medium Density Residential (3.5 du/ac) - consists of 298 dwelling units on 85.6 acres in Planning Areas 4, 5, 6, 15, and 18. Lot sizes in these areas are a minimum of 7,200 square feet.
 - Medium-High Density Residential (5.3-6 du/ac) - consists of 399-400 dwelling units on 71.15-2 acres in Planning Areas 7A, 9, and 22. The minimum lot sizes in these Planning Areas range from 3,700 to 4,300 square feet.
 - High Density Residential (7.3 du/ac) – consisting of 87 dwelling units on 11.9 acres in Planning Area 7B. Residential uses in these areas consist of Garden Court homes.
 - Very High Density Residential (14.7 – 19.9 du/ac) – consists of 586 dwelling units on 29.4 acres in Planning Areas 11A and 11B. Under special conditions, Planning Areas 12A and 12B may consist of 135 dwelling units on 9.2 acres. See Section III, *Planning Area Development Standards*, for detailed descriptions. Residential uses in these areas consist of Multi-Family homes.

The maximum density of Planning Areas 5 and 6 may be increased to 6.0 du/ac with a 5,000 square foot lot minimum if the planning area is designed for and restricted to senior citizen housing or if the planning area is a mobile home park or mobile home subdivision.

- COMMERCIAL - *MENIFEE NORTH* will contain several commercial sites totaling 119.7 acres, proposed for Planning Areas 8, 13A, 13B, 14, 16, 17, and 23. The commercial uses proposed will serve residents of *MENIFEE NORTH*, off-site users and persons employed in the area. The commercial sites are located to provide easy access for both on-site residents and the regional population. The provision of commercial uses is important not only for convenience, but also to satisfy commercial needs of the future population in this region.
- COMMERCIAL/BUSINESS PARK - The Commercial/Business Park use, totaling 32.9 acres of land, is proposed for Planning Area 19. This land use is intended to provide areas for wholesale commercial, business/office, support commercial and possibly some light industrial uses, as allowed in the City's Business Park (BP) zone.

- INDUSTRIAL - Industrial uses are located in Planning Areas 2 and 3 and total 221.1 acres of land. This land use is intended to support the commercial uses in the region and to blend in with the adjacent industrial uses.
- SCHOOLS – One elementary school site is planned within *MENIFEE NORTH*, containing a total of 9.4 acres, located in Planning Area 21. The Specific Plan satisfies the standards of the Perris Union and Romoland School Districts for the reservation of school sites as the project is implemented over the phasing period.
- COMMUNITY PARKS/CENTER - The *MENIFEE NORTH* project offers various active recreational opportunities. A 10-acre park is proposed in Planning Area 10 and an 11.4-acre community center/park exists in Planning Area 20, adjacent to the school site.
- ROADS - Major roadways totaling 89.3 acres will be developed in conjunction with the proposed project. On-site traffic will be handled by a hierarchical roadway system consisting of Expressway, Urban Arterial Highway, Arterial Highway, Major Highway, Secondary Highway, Industrial Collector, Collector, Rural, and Local roadways ranging in right-of-way width from 48 feet to 216 feet.

b. Land Use Development Standards

In order to ensure the orderly and sensitive development of the land proposed for *MENIFEE NORTH*, special techniques or mitigations have been created for each planning area. These area-specific standards, discussed in detail in Section III.B., Planning Area Development Standards, will assist in accommodating the proposed development and provide adequate transitions among neighboring land uses.

In addition to these specific techniques, project-wide development standards also have been prepared which complement the unique conditions within each planning area. These general standards are:

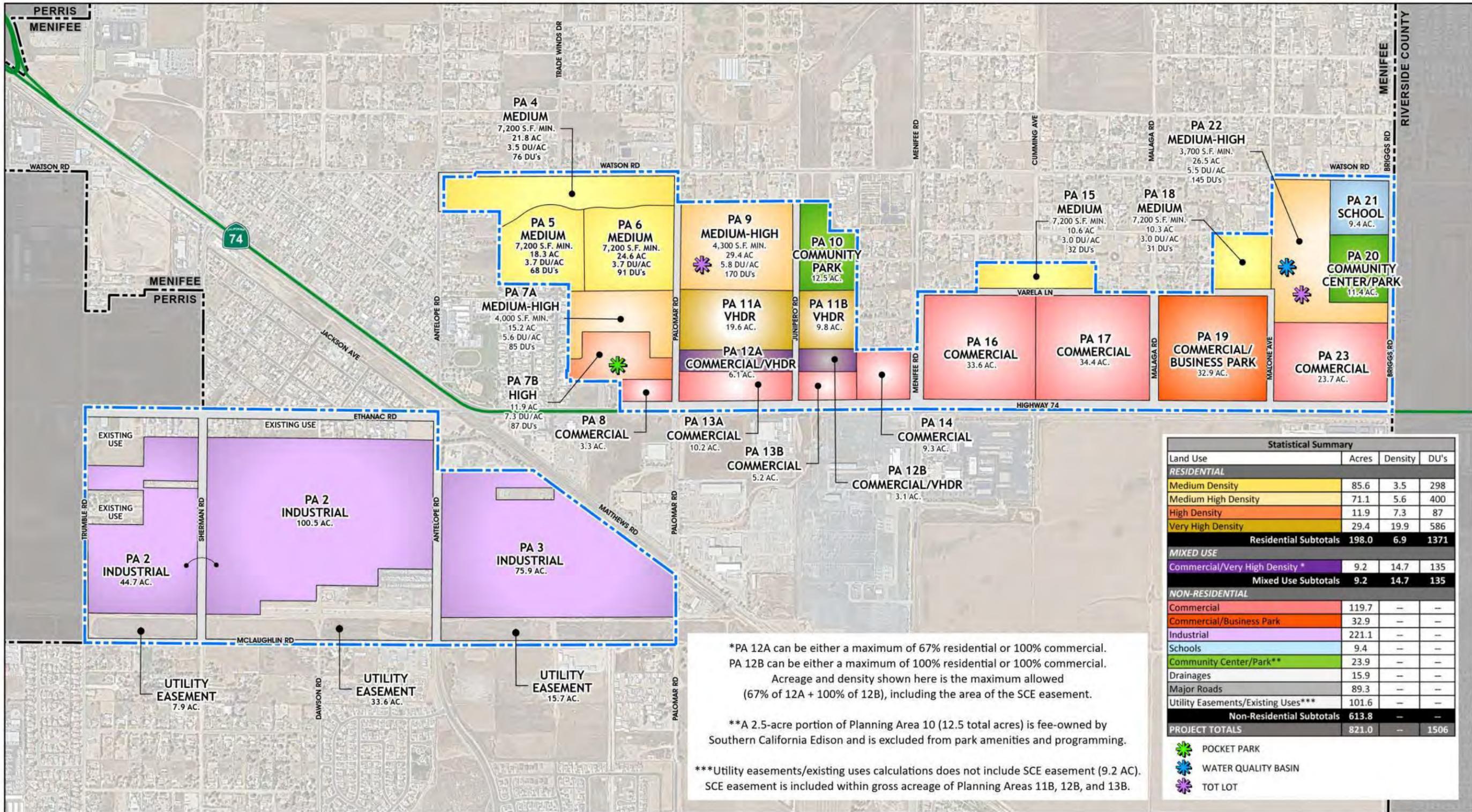
- 1) The total Specific Plan area shall be developed with a maximum of 1,506 dwelling units on ~~825.1~~821.0 acres, as illustrated on the *Specific Plan Land Use Plan* (Figure III-1). General uses permitted will include residential, commercial, business park, industrial, a school facility, recreation, and circulation as delineated on the *Specific Plan Land Use Plan* and in the individual planning areas (Figures III-14 through III-30).
- 2) Uses and development standards will be in accordance with the City of Menifee Zoning Ordinance and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.
- 3) Standards relating to signage, landscaping, parking and other related design elements will conform to the City of Menifee Development Code. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document will exceed the zoning code requirements. In addition, a Specific Plan Zoning Ordinance will be processed concurrently with this Specific Plan.
- 4) All project lighting shall be in accordance with applicable City of Menifee standards, including Chapter 9.205 of the Development Code regarding Lighting Standards.

- 5) Development of the property shall be in accordance with the mandatory requirements of all City of Menifee ordinances, including Grading and Subdivision Ordinances. Development shall conform substantially with adopted Amendment No. 45 to Specific Plan No. 260, as filed in the office of the City of Menifee Community Development Department, unless otherwise amended. This Specific Plan conforms with state laws.
- 6) Except for the Specific Plan Zoning Ordinance adopted concurrently with this Specific Plan, no portion of this Specific Plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- 7) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application provided that if the maintenance organization is a property owner's association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 8) Common areas identified in the specific plan shall be owned and maintained as follows:
 - a) A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, and landscaped areas (including those in commercial, commercial/business park, business park, and industrial areas). The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division or issuance of any building permit for any approved development permit (use permit, plot plan, etc.). The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
- 9) The permittee shall defend, indemnify, and hold harmless the City of Menifee or its agents, officers, and employees from any claim, action, or proceeding against the City of Menifee or its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Menifee, its advisory agencies, appeal boards or legislative body concerning Specific Plan No. 260. The City of Menifee will promptly notify the permittee of any such claim, action, or proceeding against the City of Menifee and will cooperate fully in the defense. If the City fails to promptly notify the permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Menifee.

- 10) Prior to issuance of building permits for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the City of Menifee Community Development Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
- 11) An environmental assessment shall be conducted for each Tract, Plot Plan, Specific Plan Amendment or any other discretionary permit required to implement the Specific Plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the certified EIR No. 329 prepared for this Specific Plan.
- 12) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the specific plan zone herein applied to the property.
- 13) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular, pedestrian and/or bicycle).
- 14) Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated and installing simple heat storage systems.
- 15) If necessary, roadways, infrastructure and open space will be coordinated by and paid for through an assessment or community services district to facilitate construction, maintenance and management.
- 16) Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified, based upon but not limited to the following:
 - a) Adequate availability of services.
 - b) Adequate access and circulation.
 - c) Sensitivity to landforms.
 - d) Innovation in housing types and design.
 - e) Density transfer.
 - f) Sensitivity to neighborhood design through lot and street layouts.
 - g) Lot sizes as proposed in this Specific Plan.
 - h) Density bonuses for affordable or senior citizen housing.
- 17) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open space.

- 18) Prior to the issuance of building permits, improvement plans for developed common open space areas, including irrigation plans, shall be submitted for Community Development Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.
- 19) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
 - a) Circulation for pedestrians, vehicles and police patrols.
 - b) Lighting of streets, walkways and bikeways.
 - c) Visibility of doors and windows from the street and between buildings, where practical.
 - d) Fencing heights and materials.
- 20) It is anticipated that maintenance associations, if formed, will be established as follows:

The master property owner's association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owner's association shall be responsible for private roads, parking, open space area, signing, landscaping, irrigation, common areas and other responsibilities as necessary.
- 21) Prior to the issuance of final grading plans for individual planning areas, a detailed noise analysis shall be prepared to determine the height and location of noise barriers needed to achieve acceptable noise levels.
- 22) Designation and/or dedication of parkland and open space acreage, necessary to satisfy both City and State requirements, will be based on the final number of dwelling units and subsequent population generated by the *MENIFEE NORTH* Specific Plan as adopted by the Menifee City Council, unless otherwise amended.



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

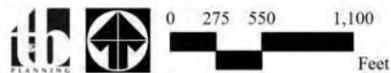


FIGURE - III-1

SPECIFIC PLAN LAND USE PLAN
 III. SPECIFIC PLAN
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**Table III-1A
MENIFEE NORTH
DETAILED LAND USE SUMMARY**

DESIGNATION	PLANNING AREA	ACREAGE (GROSS)	TARGET DENSITY	DWELLING UNITS
RESIDENTIAL				
Medium - 7,200 SF min.	4	21.8	3.5	76
	5	18.3	3.7	68
	6	24.6	3.7	91
	15	10.6	3.0	32
	18	10.3	3.0	31
SUBTOTAL - MEDIUM - 7,200 SF MIN.		85.6	3.5	298
Medium High – 4,300 SF min.	9	31.229.4	5.48	169170
SUBTOTAL - MEDIUM HIGH– 4,300 SF MIN.		31.229.4	5.48	169170
Medium High - 4,000 SF min.	7A	15.2	5.6	85
SUBTOTAL - MEDIUM HIGH - 4,000 SF MIN.		15.2	5.6	85
Medium High – 3,700 SF min	22	28.826.5	5.51	145
SUBTOTAL - MEDIUM HIGH – 3,700 SF MIN.		28.826.5	5.51	145
High Density – Garden Courts	7B	11.9	7.3	87
SUB-TOTAL HIGH DENSITY		11.9	7.3	87
Very High Density	11A	19.6	19.9	586
	11B	9.8		
SUBTOTAL VERY HIGH DENSITY		29.4	19.9	586
RESIDENTIAL SUBTOTALS		202.1198.0	6.8	1,370371
MIXED-USE				
Commercial/Very High Density	12A	6.1	14.7	135
	12B	3.1		
SUBTOTAL MIXED- USE		9.2	14.7	135
NON-RESIDENTIAL				
Commercial	8	3.3	—	—
	13A	10.2	—	—
	13B	5.2	—	—
	14	9.3	—	—
	16	33.6	—	—
	17	34.4	—	—
23	23.7	—	—	
SUBTOTAL - COMMERCIAL		119.7	—	—

**Table III-1A
MENIFEE NORTH
DETAILED LAND USE SUMMARY**

DESIGNATION	PLANNING AREA	ACREAGE (GROSS)	TARGET DENSITY	DWELLING UNITS
Commercial/Business Park	19	32.9	—	—
SUBTOTAL - COMMERCIAL/BUSINESS PARK		32.9	—	—
Industrial	2	145.2	—	—
	3	75.9	—	—
SUBTOTAL - INDUSTRIAL		221.1	—	—
Schools	21	9.4	—	—
SUBTOTAL - SCHOOLS		9.4	—	—
Community Parks/Center	10	12.5	—	—
	20	11.4	—	—
SUBTOTAL - COMMUNITY PARKS/CENTER		23.9	—	—
Drainage Channels/Basin	--	15.9	—	—
Utility Easements/Existing Uses	--	101.6	—	—
Major Roadways	--	89.3	—	—
NON-RESIDENTIAL SUBTOTALS		613.8	—	—
PROJECT TOTALS		825.1821.0	—	1,506

Table III-2, Approved Tract Maps, identifies the Planning Areas with approved Tract Maps, as well as associated dwelling units approved and constructed.

**Table III-1B
Approved Tract Maps**

Planning Area	Land Use Designation	Maximum Dwelling Units	Approved Tract Map Number	Dwelling Units Mapped	Dwelling Units Built
4	7200 Medium Residential ⁽¹⁾	76	29495	56	--
5	7200 Medium Residential ⁽²⁾	68	29495	71	20
6	7200 Medium Residential ⁽²⁾	91	29495	85	--
7A	4000 Medium High Residential	85	--	--	--
7B	High Density Residential	87	--	--	--
9	4300 Medium High Density Residential	169 170	38132	169	--
11A	Very High	586	--	--	--
11B	Very High		--	--	--
12A	Commercial / Very High Residential ⁽³⁾	135	--	--	--
12B	Commercial / Very High Residential ⁽³⁾		--	--	--
15	7200 Medium Residential	32	--	--	--
18	7200 Medium Residential	31	--	--	--
22	3700 Medium High Residential	145	38133	145	--
PROJECT TOTALS		1,506		526	20

Notes:

1. A total of 56 dwelling units are mapped on a portion of Planning Area 4.
2. The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Areas 5 and 6 in either of the following two circumstances:
 - a. The project is designed for and restricted to senior citizen housing; or
 - b. The project is a mobile home park or mobile home subdivision.
 If this option is elected the maximum number of dwelling units show in Table II may exceed up to a new maximum which is listed in Planning Area description for the relevant Planning Area. The overall maximum number of dwelling units for the entire Specific Plan may not exceed 1,506.
3. PA12A can be either maximum 67% residential or 100% commercial. PA 12B can be either maximum 100% residential or 100% commercial.

2. CIRCULATION PLAN

a. Circulation Plan Description

The primary goal of the Circulation Plan is to provide direct and convenient access to individual residential neighborhoods, schools, recreation areas, and commercial, business park and industrial facilities through a safe and efficient hierarchy of roadways. Non-vehicular circulation will be promoted through the provision of bicycle lanes and sidewalks.

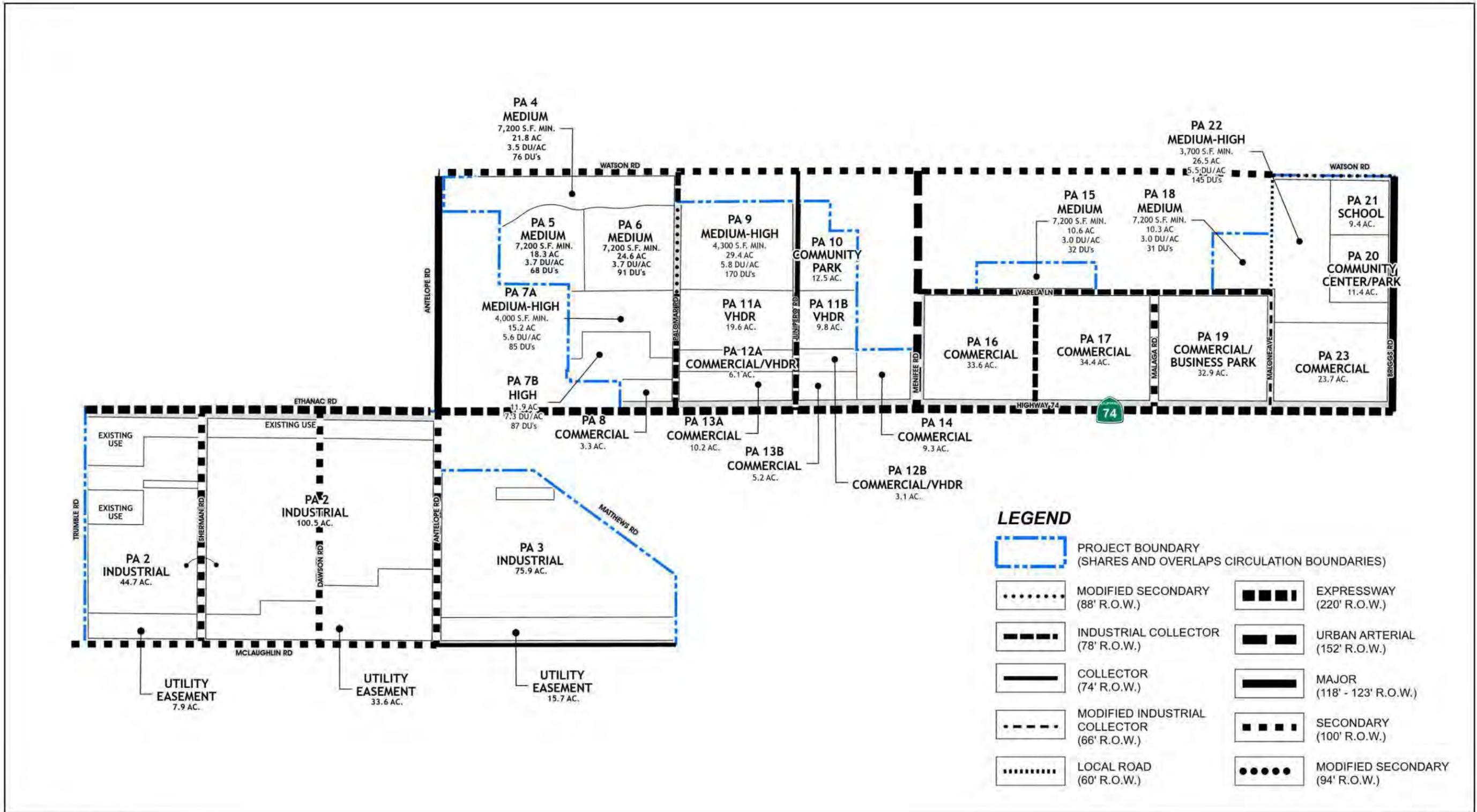
As illustrated in the *Conceptual Circulation Plan* (Figure III-2), the Specific Plan requires the construction of approximately 89.3 acres of roads. Amendment No. 4-5 has modified the Circulation Plan in conformance with the City of Menifee General Plan Circulation Element.

Principal east-west roadway access to and through the site will be provided by the existing Highway 74 and the improved Ethanac Road Corridor. Primary north-south traffic through the project site will be conveyed via Menifee Road, proposed on-site as an Urban Arterial with a 152' ROW, and Antelope

Road (north of Highway 74), and Briggs Road, both proposed on-site as Major Roadways with 118' ROWs. Antelope Road, south of Highway 74, is proposed as a Secondary Roadway with a 100' ROW. On-site circulation will be accommodated by a network of public and private roadways. Each major roadway's location and size are designed, as illustrated on Figure III-2 and summarized on Table III-2, to facilitate the efficient movement of traffic throughout the site.

b. Circulation Development Standards

- 1) The proposed Circulation Plan provides an efficient traffic design that meets the needs of the community. The on-site system depicted on the *Conceptual Circulation Plan* (Figure III-2) will serve as the composite Circulation Plan for the *MENIFEE NORTH* Specific Plan. The illustrated, on-site roadway improvements will be phased in accordance with this plan.
- 2) Heavy through-traffic should be eliminated from residential neighborhoods. Major roadways should be implemented as non-access roadways, with residential neighborhoods served by smaller residential collectors.
- 3) On-site roads will be constructed as:
 - Expressway (216' ROW)
 - Urban Arterial (152' ROW)
 - Modified Major (123' ROW)
 - Major (118' ROW)
 - Secondary (100' ROW)
 - Modified Secondary (88' - 94' ROW)
 - Industrial Collector (78' ROW)
 - Modified Industrial Collector (66' ROW)
 - Collector (74' ROW)
 - Local Streets (56' – 60' ROW)



Source(s): Esri, RCTLMA (2024)

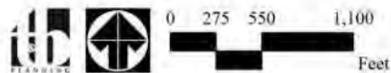
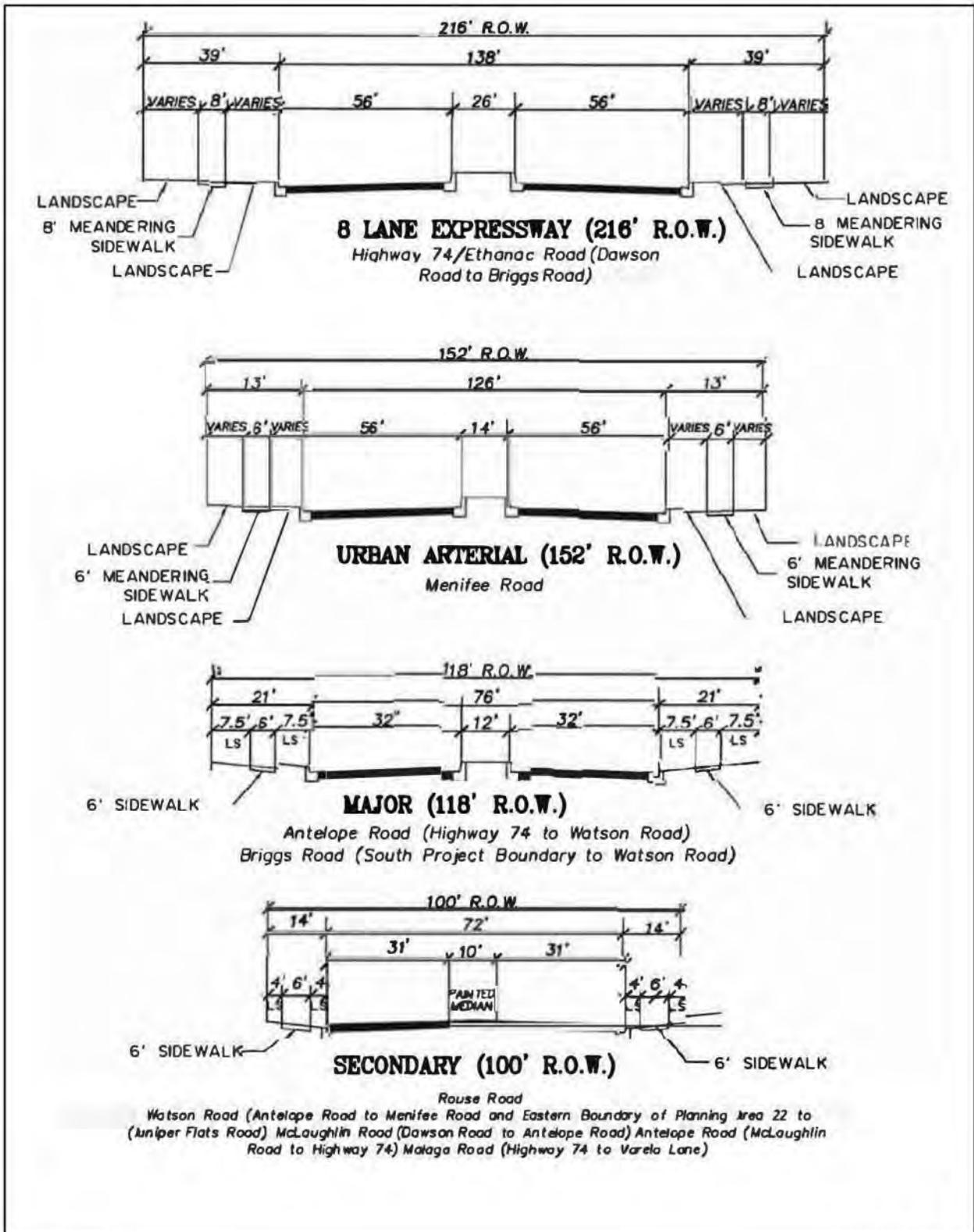


FIGURE - III-2

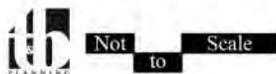
CIRCULATION PLAN
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): RCIP (2007)

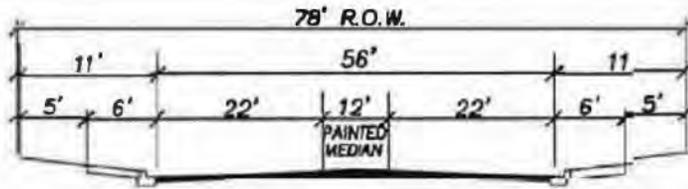
FIGURE - III-3



TYPICAL ROAD CROSS SECTIONS (1 OF 4)

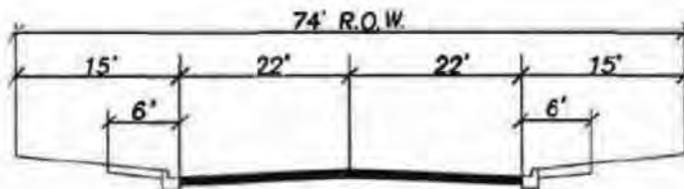
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



INDUSTRIAL COLLECTOR (78' R.O.W.)

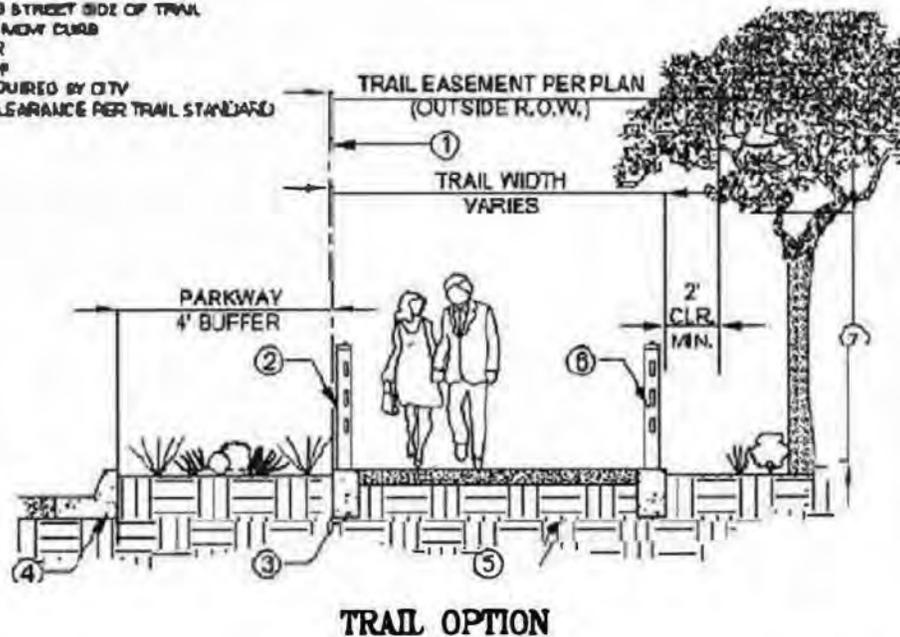
Varela Lane, Pierson Road and McKinley Road to Palomar Av. (Highway 74 to Varela Lane) Palomar Road (North of Highway 74 to Southern boundary of Planning Area 9 and North of Highway 74)



COLLECTOR (74' R.O.W.)

McLaughlin Road (Antelope Road to Palomar Road) Junipero Road (North of Highway 74)

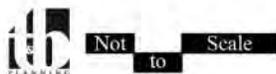
- 1. RIGHT-OF-WAY
- 2. PVC RAIL FENCE ALONG STREET SIDE OF TRAIL
- 3. TRAIL WITH CONCRETE MOW CURB
- 4. STREET CURB / CUTTER
- 5. COMPACTED SUBGRADE
- 6. INDOOR FENCING, REQUIRED BY CITY
- 7. MINIMUM OVERHEAD CLEARANCE PER TRAIL STANDARD



TRAIL OPTION

Source(s): RCIP (2007)

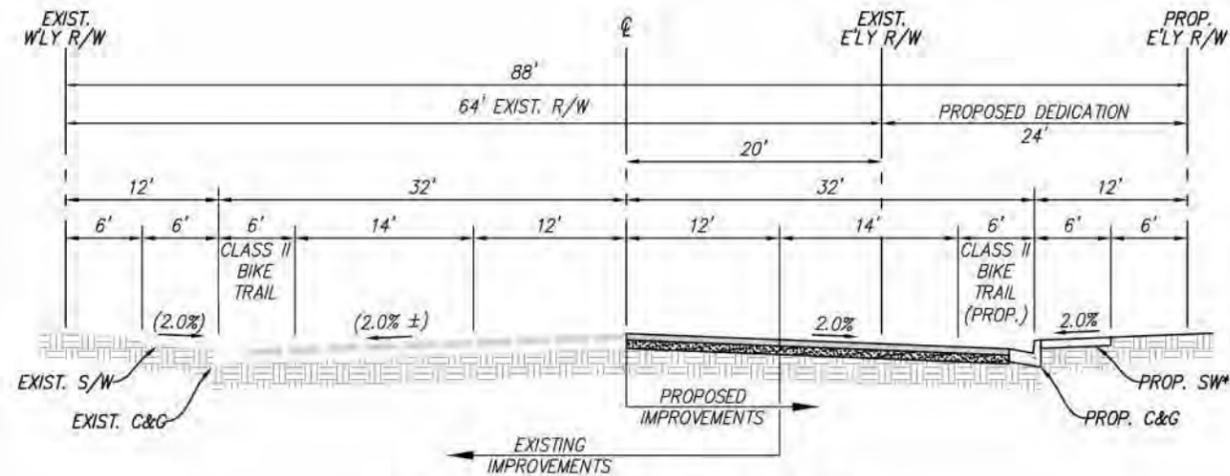
FIGURE - III-4



TYPICAL ROAD CROSS SECTIONS (2 OF 4)

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

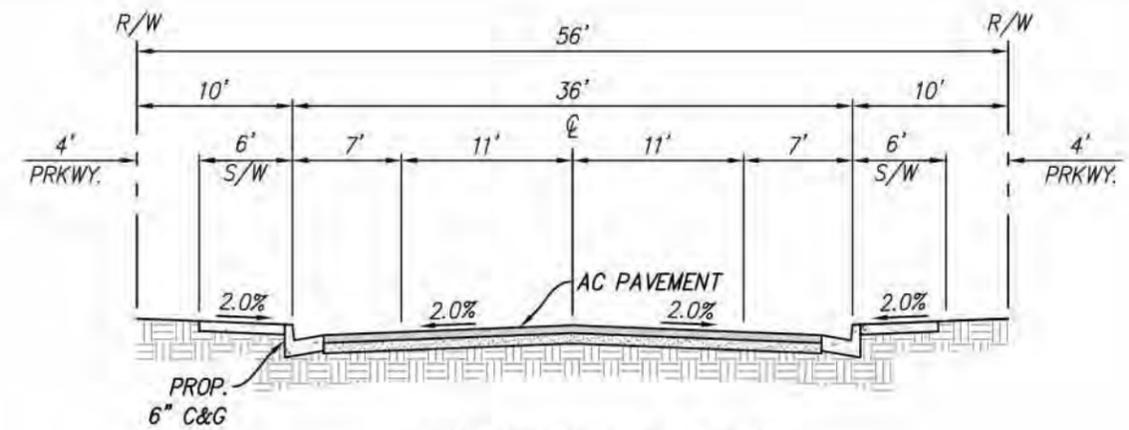


MODIFIED SECONDARY (88' R.O.W.)

***PALOMAR ROAD**

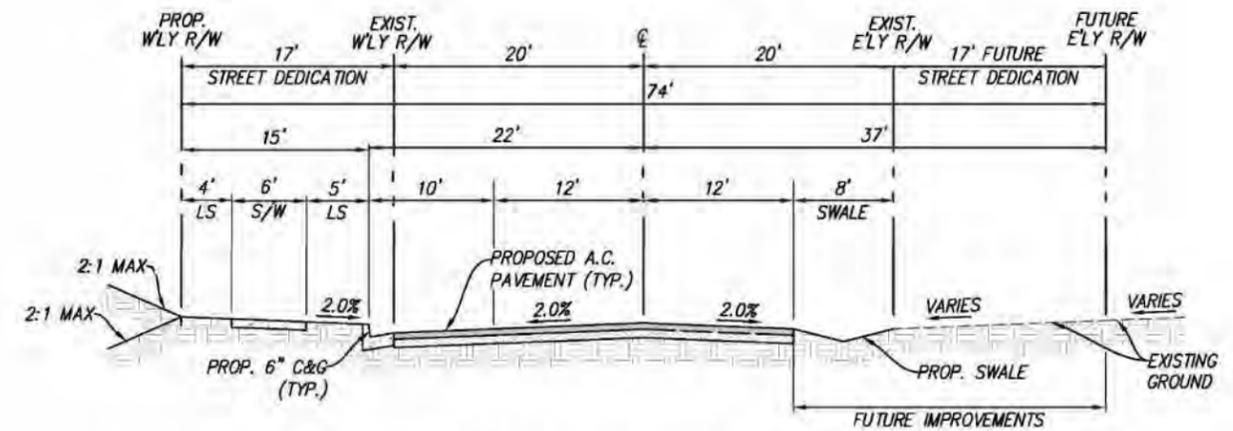
CITY OF MENIFEE STD NO. 112, MODIFIED

*Note: Proposed sidewalk to meander around existing power poles (located approx. 3' E/O CF)



LOCAL STREET (56' R.O.W.)

CITY OF MENIFEE STD NO. 115, MODIFIED



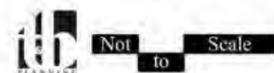
COLLECTOR STREET (74' R.O.W.)

CITY OF MENIFEE STD NO. 113

JUNIPERO ROAD

Source(s): K&A Engineering INC (02-22-2022)

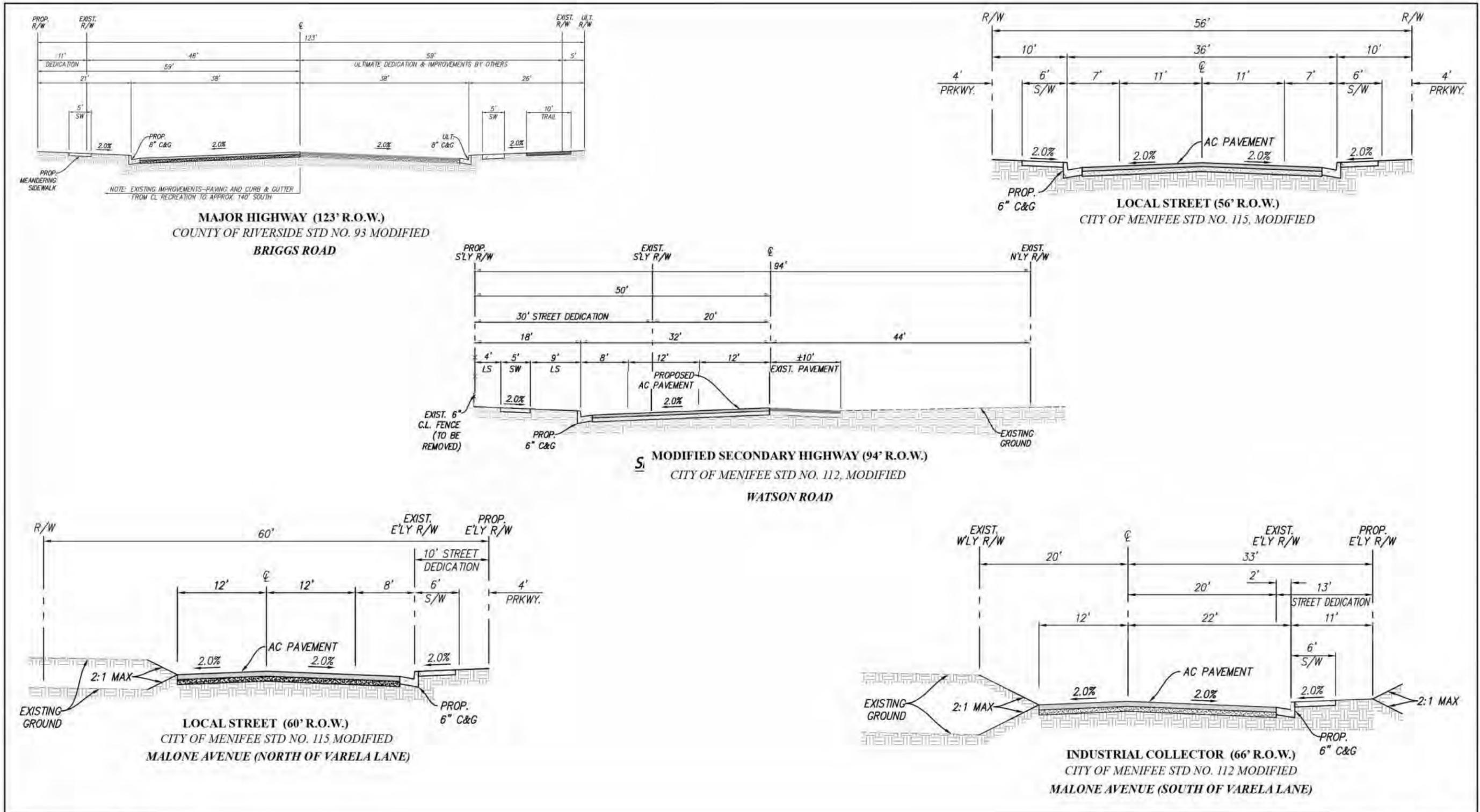
FIGURE - III-5A



TYPICAL ROAD CROSS SECTIONS - PLANNING AREA 9 (3 OF 4)

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): K&A Engineering INC (02-22-2022)

FIGURE - III-5B

Not to Scale

TYPICAL ROAD CROSS SECTIONS - PLANNING AREA 22 (4 of 4)
 III. SPECIFIC PLAN
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

- 4a) The minimum interior local street width may be reduced from the 60-foot standard to no less than 56 feet for the purpose of providing more landscaped area as approved by Public Works Director/City Engineer.
- 4b) A reduction in the width of a local street may be appropriate to reduce traffic speeds on internal residential streets as determined by the City approved Transportation Impact Analysis. Such reduction in pavement width must be utilized to accomplish other design objectives, e.g., enhancing the buffer treatment of reverse frontage lots, providing for sheltered parking opportunities, or incorporating bus stop turnouts.
- 4c) The minimum interior local street width in Planning Area 9 and Planning Area 22 may be reduced from the 60-foot standard to no less than 56 feet as approved by the Public Works Director/City Engineer. Interior local streets in these planning areas consist of 32 - 40 feet of paving (curb-to-curb), a 6-foot curb-adjacent sidewalk, and 4-foot-wide landscaped parkway at the edge of the right-of-way on both sides of the street.
- 5) Landscape requirements shall be in accordance with the 2020 City Adopted Design Guidelines as depicted in Section IV, Design Guidelines.
- 6) Major roadway improvements shall be financed through an assessment district or similar financing mechanism.
- 7) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the City.
- 8) All projects, including subdivisions and plot plans within this Specific Plan, shall be subject to the Development Monitoring Program as described in the Development Monitoring Program (Section II.C) of this Specific Plan.
- 9) Any application for any subdivision within the Specific Plan boundary (including a Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
- 10) All roadways intersecting four lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with City-adopted Standard Details (2019) and adopted City General Plan.
- 11) All typical sections shall be per City-adopted Standard Details (2019), or as approved by the Public Works – Engineering Department.
- 12) All intersection spacing and/or access openings shall be per City Resolution 19-770, or as approved by the Public Works – Engineering Department.
- 13) No textured pavement accents will be allowed within any City right-of-way.
- 14) Mid-block crosswalks are not approved.

- 15) No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to City standards for access spacing, depending upon the street's classification.
- 16) Per the Commercial Site Design Guidelines (p. 11) in the 2020 City-Adopted Design Guidelines, “*Corner cutbacks or cutoffs shall be included at all intersections of General Plan roads classified as Secondary Highway or higher with all designated tract entrances*”.
- 17) The Public Works – Engineering Department’s policy regarding streets adjacent to school sites and park sites requires a minimum of 66' right-of-way (Standard 103).
- 18) Any landscaping within public road rights-of-way will require approval by the Public Works – Engineering Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the Public Works – Engineering Department.
- 19) All bike trails developed as part of this Specific Plan should be designated accordingly per Exhibit C-4, *Proposed Bikeway and Community Pedestrian Network*, of the 2012 City of Menifee Adopted General Plan.

**Table III-2
CIRCULATION ELEMENT ROADWAYS**

ROADWAY NAME	CURRENT-AMENDMENT NO. 4 CIRCULATION ELEMENT CLASSIFICATION	PROPOSED-AMENDMENT No. 5 CIRCULATION ELEMENT CLASSIFICATION
Highway 74/Ethanac Road	Expressway 220' ROW	Expressway 216' ROW
<u>Watson Road</u> <u>(Antelope to Western boundary of Planning Area 22)</u>	Secondary 100' ROW	Secondary 100' ROW
<u>Watson Road</u> <u>(Malone Avenue to Briggs Road)</u>	Secondary 100' ROW	<u>Modified Secondary</u> <u>94' ROW</u>
McLaughlin Road (Trumble Road to Antelope Road)	Secondary 100' ROW	Secondary 100' ROW
<u>McLaughlin Road</u> <u>(Antelope Road to Palomar Road)</u>	<u>Collector</u> <u>74' ROW</u>	<u>Collector</u> <u>74' ROW</u>
Sherman Road (McLaughlin to Highway 74)	Major 118' ROW	Major 118' ROW
Antelope Road (McLaughlin to Highway 74)	Secondary 100' ROW	Secondary 100' ROW
Antelope Road (Highway 74 to Watson)	Major 118' ROW	Major 118' ROW
Palomar Road (McLaughlin to Mathews and (Mathews to Highway 74)	Secondary 110' ROW	Secondary 110' ROW
Palomar Road (Highway 74 to Cider Street)	Industrial Collector 78' ROW	Industrial Collector 78' ROW
<u>Palomar Road</u> <u>(Southern boundary of Planning Area 9 to Northern boundary of Planning Area 9)</u>	Industrial Collector 78' ROW	<u>Modified Secondary</u> <u>88' ROW</u>
Menifee Road (Highway 74 to Watson)	Arterial 152' ROW	Arterial 152' ROW
Malaga Road (Highway 74 to N. project boundary Street "A")	Secondary 100' ROW	Secondary 100' ROW
Briggs Road	Major 118' ROW	Major 118' ROW
<u>Briggs Road (Along Planning Area 22)</u>	<u>Major</u> <u>118' ROW</u>	<u>Modified Major</u> <u>123' ROW</u>
<u>Malone Avenue</u> <u>(North of Varela Lane)</u>	<u>Enhanced Local Road</u> <u>66' ROW</u>	<u>Local Road</u> <u>60' ROW</u>
<u>Malone Avenue</u> <u>(South of Varela Lane)</u>	<u>Industrial Collector</u> <u>78' ROW</u>	<u>Modified Industrial Collector</u> <u>66' ROW</u>

3. DRAINAGE PLAN

a. Drainage Plan Description

The *MENIFEE NORTH* Specific Plan is located within the boundaries of the Riverside County Flood Control and Water Conservation District's (RCFCD) Homeland/Romoland Area Drainage Plan (see Figure III-6, *Regional Drainage Plan*). A southern portion of the project site is outside of this area drainage plan, and there are no area drainage plans developed at this time to address drainage issues in this portion.

The master drainage plan suggests a combination of master drainage lines proposed by the RCFCD Area Regional Drainage Plan, and new or revised lines per the *MENIFEE NORTH* Specific Plan to be utilized to address off-site drainage issues relative to the site. Figure III-7, *Master Drainage Plan*, outlines the proposed storm drain system within the project site. Off-site flows will be intercepted at existing drainage courses where possible, and if necessary, drainage swales will be constructed to concentrate all off-site drainage at proposed inlets on the north project boundary.

The Romoland/Homeland Area Drainage Plan anticipates the construction of storm drain facilities north of *MENIFEE NORTH* to reduce some of the run-off tributary to the north boundary of the project. Since these off-site facilities are not constructed yet, *MENIFEE NORTH* development is responsible to intercept the run-off at its existing conditions. Due to increased run-off in Lines A-3 and A-1, on-site retention basins are proposed in order to reduce flows to designed run-off per the Romoland/Homeland Drainage Plan. Lines 1 and 4 will be constructed per the Homeland/Romoland Area Drainage Plan. A portion of Line A within the Specific Plan area has already been designed and will be utilized in the Specific Plan. On-site regional drainage facilities could be required if storm water exceeds street capacities. The actual size and location of the on-site storm drain system will be determined during design stage of on-site improvement plans.

The construction of Line 1 will cause diversion of flows. This line discharges to proposed Line A per the Master Drainage Plan. The construction of Line A through the site creates a diversion. A portion of Line A from Antelope Road to I-215 has already been designed by RCFCD but it cannot be constructed until the San Jacinto River project is completed. For the portion of Line A through the project to be approved, all downstream facilities including the Antelope Road storm drain should be established or under construction. A financing mechanism such as a Community Facilities District (CFD) or Assessment District may be formed by all the affected property owners in order to construct the facilities between Antelope Road and the project boundary.

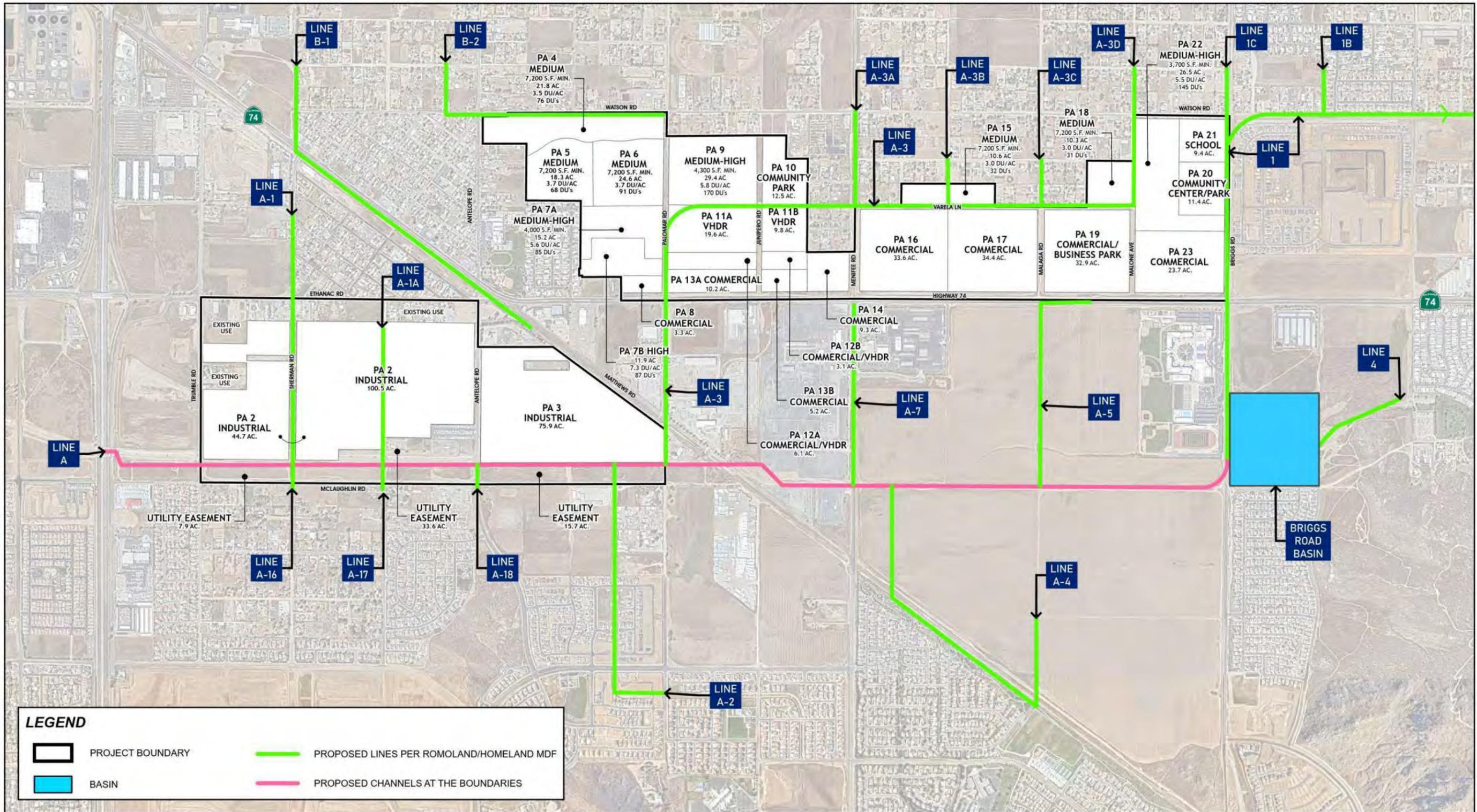
b. Drainage Plan Development Standards

- 1) Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
- 2) It is anticipated that major backbone drainage facilities will be maintained by the County Flood Control District. Local drainage devices within street rights-of-way will be maintained by the City of Menifee.
- 3) An erosion, sedimentation and flood control plan should be prepared for all development areas draining into the San Jacinto River and Salt Creek. This plan should include no improvements, and should protect these water courses from erosion and siltation during

III. SPECIFIC PLAN

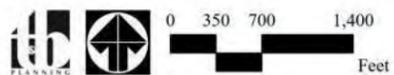
and after construction. Drainage of urban areas should be controlled prior to reaching either the San Jacinto or Salt Creek courseways through the use of velocity reduction devices at the points where run-off enters the waterways.

- 4) All projects proposing construction activities including: cleaning, grading or excavation that results in the disturbance of at least one acre of total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. On January 29, 2010 the Santa Ana Regional Water Quality Control Board (SARWQCB) issued a fourth-term area wide National Pollutant Discharge Elimination System (NPDES) and Municipal Separate Storm Sewer System Permit (MS4 Permit) to the City of Menifee and all Permittees. The Santa Ana MS4 Permit is for the portion of the Santa Ana River watershed located within Riverside County (Order No. R8-2010-0033, NPDES Permit No. CAS618033). The City of Menifee storm water programs are designed to ensure compliance with this permit. All design submittals and construction within Menifee North Specific Plan are required to conform to the permit requirements. All projects are to install Best Management Practices (BMPs) in compliance with the 2010 SARWQCB permit.
- 5) All development projects, will be required to obtain an NPDES permit and to comply with any provisions of that permit, this reducing their potential for water quality impacts. For post-construction, implementing Project developers would be required to complete a project-specific WQMP containing measures that effectively treat all pollutants of concern and hydrologic conditions of concern, consistent with the approved WQMP developed in compliance with the City's MS4 permit. Project specific site design, source control and treatment control BMPs are included in the project-specific WQMP to protect downstream areas from pollutants after construction. Therefore, Project-related impacts to water quality and hydrology will not be cumulatively considerable.
- 6) Planning Areas 11, 12, & 13 are not located within A Floodplain as mapped by the Federal Emergency Management Agency (FEMA Map No. 06065C2060H August 18, 2014). Planning Area 14 only has a portion of the southeast corner of the property located within Zone "A" Floodplain Area (Zone A – "No base elevation determined"). Planning Areas 11, 12, 13, and 14 lie within the limits of the Romoland/Homeland Area Drainage Plan (ADP) prepared by Riverside County Flood Control District (R.C.F.C.D.) Amendment No. 2 adopted March 2006. Line A-3 of the Homeland ADP is designed to protect the project from off-site flooding during a 100 year storm event.



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023), Albert A. Webb Associates (09-23-2022)

FIGURE - III-7



MASTER DRAINAGE PLAN
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

4. WATER AND SEWER PLAN

The water and sewer facilities requirements identified below are based on correspondence from Eastern Municipal Water District (November 19, 1992) and the project civil engineer (June 1, 1993). The *MENIFEE NORTH* project proposes to phase sewer and water system improvements to serve the project area which would allow initial developments to proceed by connecting to existing facilities. As these developments proceed, generated capital from the collection of connection fees will provide funding for new facilities to serve the entire area. In addition, as development proceeds, *MENIFEE NORTH* will have the ability to form Community Facility/Assessment Districts to provide funding for additional improvements.

a. Water Plan Description

Domestic water will be supplied to the *MENIFEE NORTH* project area by Eastern Municipal Water District (EMWD). EMWD's facilities master plan indicates that system improvements should occur within the project area. The proposed backbone water distribution and storage system improvements for the project area are illustrated on Figure III-8, *Backbone Water Plan*. The plan for providing water service to the area is based on EMWD's regional planning effort and therefore is compatible with the District's current planning concepts. District water system improvements include approximately 12 million gallons of storage with water lines ranging in diameter from 12" to 30". Pumping improvements include approximately 5,500 gallons per minute of new capacity as well as reworking and/or automation of the Ellis, Homeland and Vista pumping plants.

The project requires water services for three existing water pressure zones: 1627' zone, 1811' zone, and 1693' zone. The 1627' zone is the major water supply zone in the area and it is anticipated that Planning Areas 4, 5, 6 and 14 will be able to connect to this zone with minimal off-site water line improvements.

Currently, the 1693' zone has no storage. Water is pumped from the 1627' zone through the 1693' zone and into the 1811' zone. Currently, there is approximately one million gallons of storage in the 1811' zone and 0.4 million gallons of storage in the 1785' zone. In EMWD's master plan, the 1811' zone and the 1785' zone merge and continue providing service as the 1811' zone. This will occur once EMWD constructs a 3.4-million-gallon storage tank southeasterly of Juniper Flats Road and Highway 74, along with other facilities necessary to fill this tank, providing available storage capacity for new connections.

It is anticipated that EMWD will require the project to construct reclaimed water lines on-site so that when the regional system is complete, the project can ultimately utilize reclaimed water for certain types of irrigation.

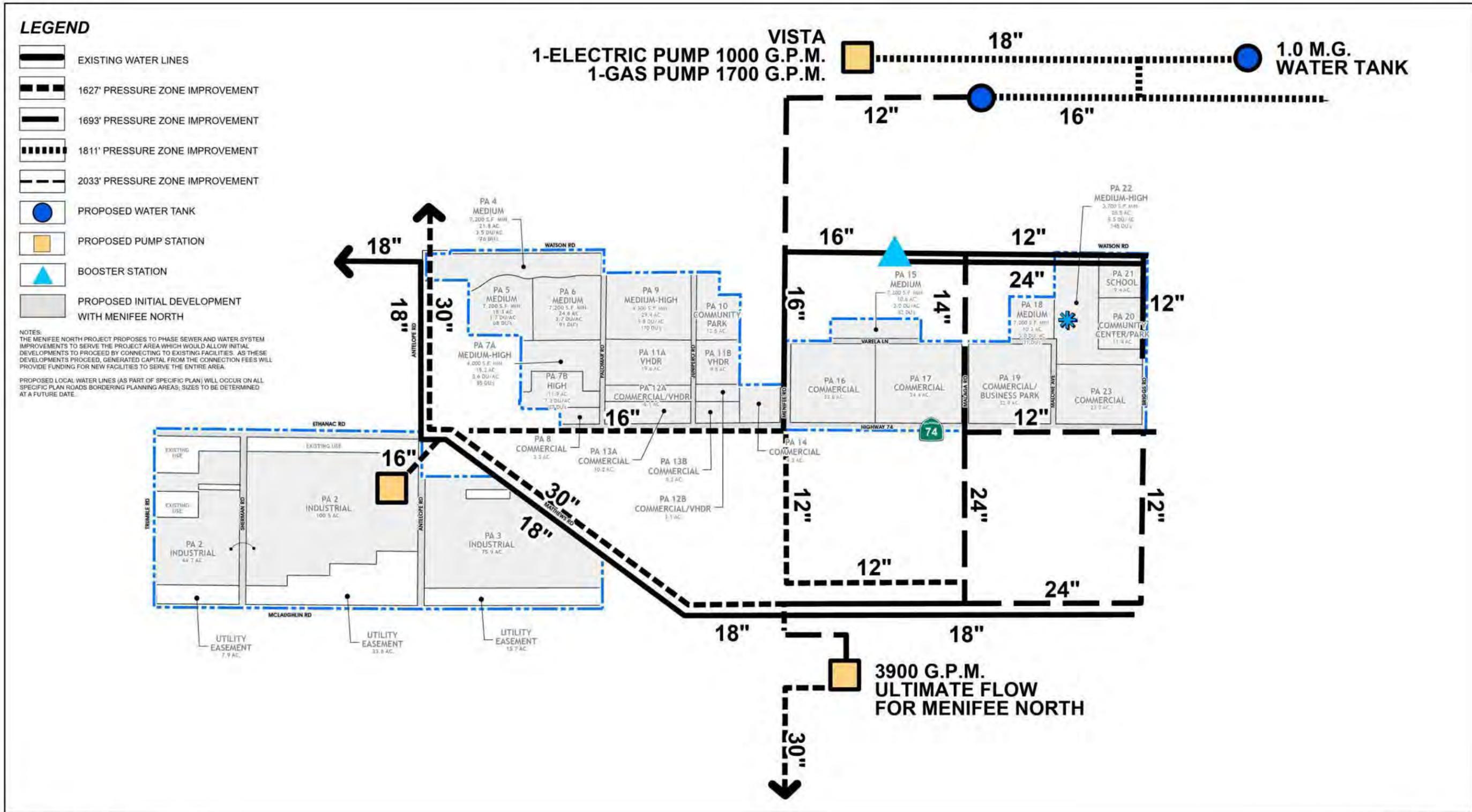
b. Sewer Plan Description

Collection and treatment of wastewater will be provided by Eastern Municipal Water District (EMWD). Portions of the *MENIFEE NORTH* project are located within EMWD Assessment Districts Nos. 5 (Romoland AD) and 7 (Homeland AD). These portions of the project site are eligible to connect to the AD funded facilities for wastewater service. However, due to the project's service demand above that which was anticipated at the time AD Nos. 5 and 7 were formed, some improvements to these systems would be necessary to provide an adequate level of service.

In order for the portions of the project area not located within AD Nos. 5 or 7 to receive sewer service, system improvements will be necessary. EMWD's wastewater facilities master plan describes a conceptual layout of gravity-flow sewer lines that would accomplish the required service. The *MENIFEE NORTH* project would be required to design and construct master-planned facilities which would allow for a system of sewers located within public road rights-of-way which are capable of conveying all on-site generated flow by gravity. Backbone wastewater system improvements necessary to provide an adequate level of service to *MENIFEE NORTH* are illustrated on Figure III-9. For residential areas located within AD Nos. 5 and 7, sewer lines will be constructed to join the existing AD funded sewer facilities to developing areas up to the AD planned densities. Densities greater than planned for the ADs will pay connection fees and construct facilities to join the District funded 24" and larger trunk sewer main that will connect to the expanded Perris Valley Regional Water Reclamation Facility.

c. Water and Sewer Plan Development Standards

- 1) All water and sewer lines shall be placed underground.
- 2) All water and sewer lines and sewage and water disposal facilities shall be designed per the Eastern Municipal Water Districts requirements.
- 3) The project developer shall submit information which describes estimates of the project's reclaimed water demand, and landscape/irrigation conceptual plans to EMWD for review. At the time of EMWD's review, a determination shall be made regarding requirements for reclaimed water use and system improvements by the subject project.



Source(s): Esri, RCTLMA (2024)

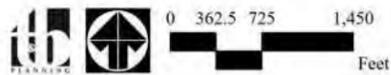
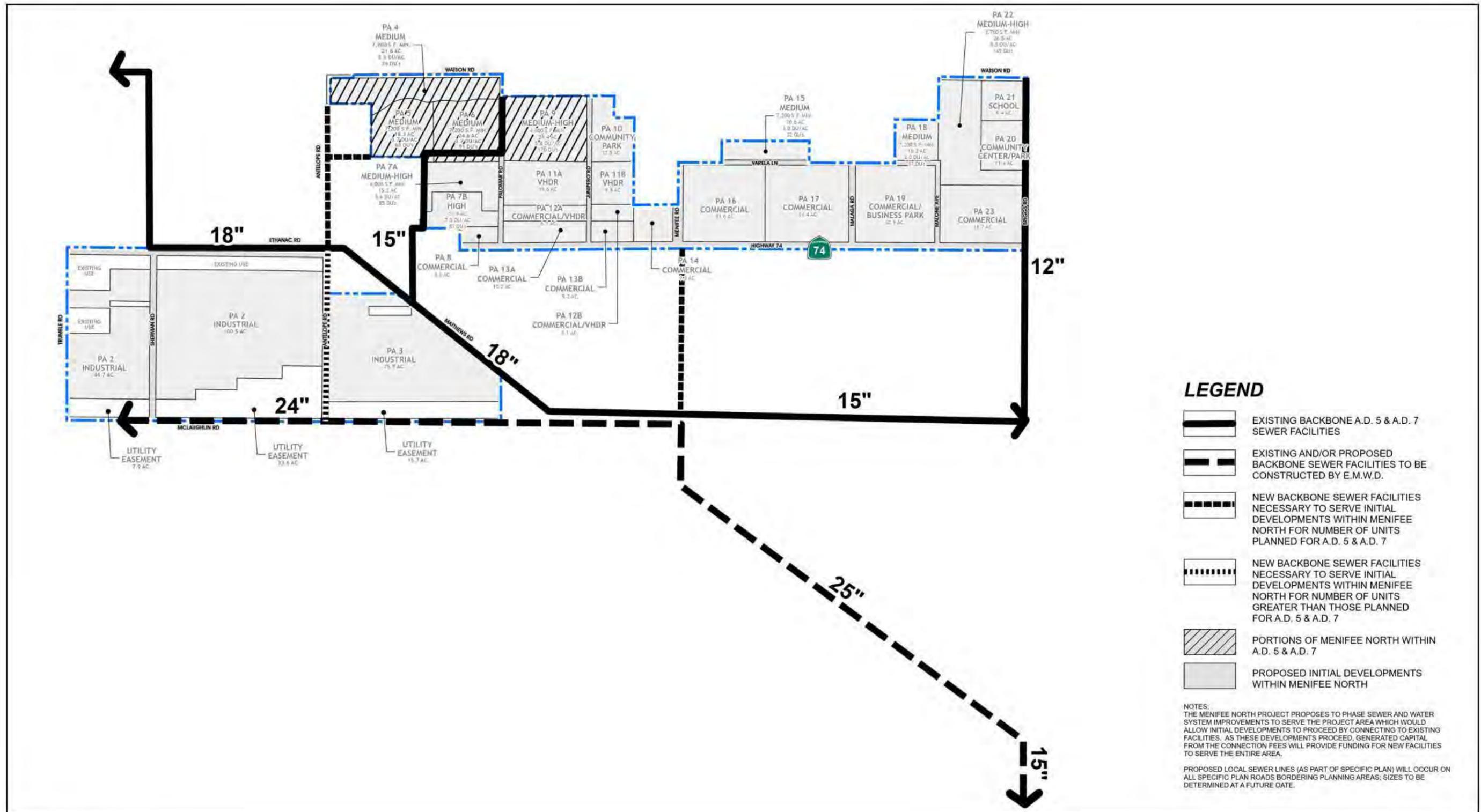


FIGURE - III-8

BACKBONE WATER IMPROVEMENTS
 III. SPECIFIC PLAN
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



LEGEND

-  EXISTING BACKBONE A.D. 5 & A.D. 7 SEWER FACILITIES
-  EXISTING AND/OR PROPOSED BACKBONE SEWER FACILITIES TO BE CONSTRUCTED BY E.M.W.D.
-  NEW BACKBONE SEWER FACILITIES NECESSARY TO SERVE INITIAL DEVELOPMENTS WITHIN MENIFEE NORTH FOR NUMBER OF UNITS PLANNED FOR A.D. 5 & A.D. 7
-  NEW BACKBONE SEWER FACILITIES NECESSARY TO SERVE INITIAL DEVELOPMENTS WITHIN MENIFEE NORTH FOR NUMBER OF UNITS GREATER THAN THOSE PLANNED FOR A.D. 5 & A.D. 7
-  PORTIONS OF MENIFEE NORTH WITHIN A.D. 5 & A.D. 7
-  PROPOSED INITIAL DEVELOPMENTS WITHIN MENIFEE NORTH

NOTES:
 THE MENIFEE NORTH PROJECT PROPOSES TO PHASE SEWER AND WATER SYSTEM IMPROVEMENTS TO SERVE THE PROJECT AREA WHICH WOULD ALLOW INITIAL DEVELOPMENTS TO PROCEED BY CONNECTING TO EXISTING FACILITIES. AS THESE DEVELOPMENTS PROCEED, GENERATED CAPITAL FROM THE CONNECTION FEES WILL PROVIDE FUNDING FOR NEW FACILITIES TO SERVE THE ENTIRE AREA.
 PROPOSED LOCAL SEWER LINES (AS PART OF SPECIFIC PLAN) WILL OCCUR ON ALL SPECIFIC PLAN ROADS BORDERING PLANNING AREAS; SIZES TO BE DETERMINED AT A FUTURE DATE.

Source(s): Esri, RCTLMA (2024)

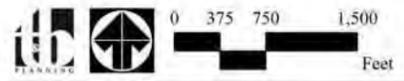


FIGURE - III-9

BACKBONE SEWER IMPROVEMENTS
 III. SPECIFIC PLAN
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

5. OPEN SPACE AND RECREATION PLAN

a. Open Space and Recreation Plan Description

The *MENIFEE NORTH* project provides for an open space and recreation program which offers recreational opportunities in which all members of the community can participate. The program incorporates many diverse elements in a coordinated, cohesive plan that interrelates with and links the various neighborhoods of the community and certain destination points, such as schools, parks, open spaces and shopping facilities. Recreational opportunities vary from community trails to active (i.e. community parks). Varying types and degrees of activities will be available which will provide residents with the opportunity to take quiet "walks in the park," participate in organized sports, social gatherings, and active outdoor informal recreational activities such as biking. Figure III-10, *Open Space and Recreation Plan*, depicts the various open spaces and recreational areas included in *MENIFEE NORTH*. Quimby calculations and the elements and acreages of the *Open Space and Recreation Plan* are discussed below and summarized in Tables III-3 and III-4.

**Table III-3
QUIMBY ACT REQUIREMENTS**

LAND USE	TYPE OF DWELLING	AVERAGE POPULATION PER UNIT	NO. OF DWELLING UNITS	TOTAL RESIDENTS	QUIMBY ACREAGE REQUIRED
Single Family - Attached Garage	Medium	2.85	689	1,990	10.0
Multifamily Attached	High/Very High	2.43	808	1,963	9.8
TOTAL				3,972	19.8

According to Section 7.75 of the City’s Municipal Code, residential development must provide 5.0 acres of active parkland per 1,000 residents. *MENIFEE NORTH* provides for the development of a target of 1,506 homes, which includes 698 single-family dwelling units (with attached garages) within MDR and MHDR land use designations and 808 multi-family dwelling units within HDR and VHDR land use designations. Using population generation rates from Section 7.75.060 of the City’s Municipal Code, *MENIFEE NORTH* may be home for up to 3,953 residents, (698 single-family homes x 2.85 persons per household = 1,990 persons; and 808 multi-family homes x 2.43 persons per household = 1,963 persons), generating a parkland requirement of 19.8 acres [(3,953 residents/1,000 residents) x 5.0 acres = 19.8 acres].

In accordance with the City of Menifee’s Municipal Code (Section 7.75) and as summarized in Table III-3, *Quimby Act Requirements*, *MENIFEE NORTH* is required to provide 19.8 acres of parkland. *MENIFEE NORTH* provides for 21.4 acres of parkland credit, as summarized in Table III-4, *Open Space and Recreation Summary*. Therefore, *MENIFEE NORTH* exceeds the park land dedication requirements of the City of Menifee by 1.6 acres.

**Table III-4
OPEN SPACE AND RECREATION PLAN SUMMARY**

	ACREAGE
Parks	
• Park (PA 10).....	10.0 ⁽¹⁾
• Community Center/Park (PA 20).....	11.4
• School Recreation Facilities.....	— ⁽²⁾
SUBTOTAL	21.4
Landscaped Parkways.....	—
OVERALL OPEN SPACE AND RECREATION OPPORTUNITIES	21.4

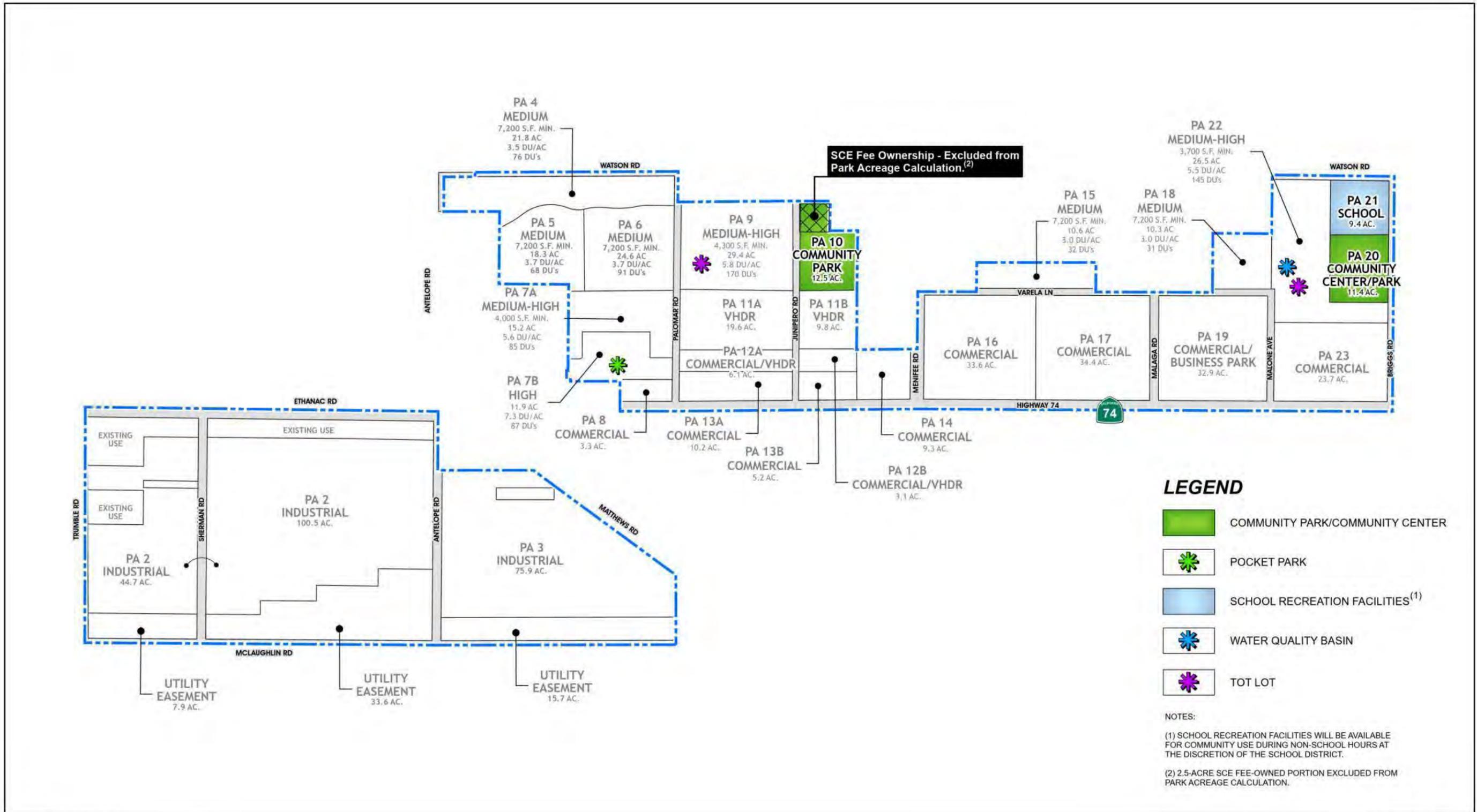
Notes:

- (1) A 2.5-acre portion of Planning Area 10 (12.5 total acres) is owned in fee by Southern California Edison and is excluded from parkland dedication.
- (2) School recreation facilities will be available for community use during non-school hours at the discretion of the School District.

- **COMMUNITY PARK:** The *MENIFEE NORTH* Specific Plan includes one 10-acre community park within Planning Area 10, which offers a variety of active recreational opportunities to *MENIFEE NORTH* residents and the surrounding community. As shown in Figure IV-28, *Community Park Site Plan Concept (PA 10)*, the eastern portion of the park includes picnic areas, tot lots, sport fields and basketball courts, and barbecue facilities, as well as parking and restrooms. The western portion of the park is within an easement granted by Southern California Edison, and provides a trail and an open turf area for passive recreational uses and informal play. Please note that the northern 2.5-acre portion of Planning Area 10, as shown on Figure III-19, *Planning Areas 9 and 10*, and Figure IV-28, *Community Park Site Plan Concept (PA 10)*, is owned in fee by Southern California Edison, has no parkland facilities, and is excluded from Parkland Quimby Calculations.
- **COMMUNITY CENTER/PARK:** Planning Area 20 provides a 11.4-acre Community Center/Park, which provides a variety of active and passive recreational uses, including picnic areas, tot lots, sport fields and courts, barbeque facilities, restrooms, and parking areas.
- **SCHOOL RECREATION FACILITIES:** Planning Area 21 provides recreational facilities on the school site, which are available for community use during non-school hours, at the discretion of the School District. Typical recreational equipment and sports fields which may be provided by the School District include playground equipment, basketball courts, tennis courts, volleyball courts, softball fields, soccer fields and football fields.

b. Open Space and Recreation Plan Development Standards

- 1) The community parks will be provided for the benefit of all residents within the community.
- 2) At a minimum, the community parks will contain the following facilities/equipment: Picnic area(s), tot lot(s), one sports field or basketball court, restrooms and parking areas.
- 3) Planning Area 10 Park Construction:
 - a. The construction of the community park in Planning Area 10 will require a cost sharing agreement between the City of Menifee and the developers of Planning Areas within the Specific Plan, with the timing of construction conditional on identified building permit triggers.
 - b. Units recorded prior to the incorporation of the City of Menifee in 2008 will be excluded from calculations determining park construction timing requirements for Planning Area 10.
 - c. Prior to the issuance of the 400th Building Permit within the Specific Plan, a minor plot plan application shall be submitted and approved by the Community Services Department and/or Community Development Department showing conceptual park plans for Planning Area 10.
 - d. Prior to the issuance of the 550th Building Permit within the Specific Plan, working/construction park plans shall be submitted and approved by the Community Services Department and/or Engineering and Public Works Department for the park within Planning Area 10.
 - e. Prior to the issuance of the 650th Building Permit within the Specific Plan, the park within Planning Area 10 shall be constructed.
- 4) The community parks (Planning Areas 10 and 20) and landscaped parkways will be publicly owned and maintained. Possible maintenance mechanisms include the City Community Facilities District, Valley-Wide Recreation and Park District, or other service entity. The maintenance mechanism shall be selected at the time that the first implementing development application is submitted.
- 5) All recreational facilities will be landscaped, and where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
- 6) All recreational facilities will provide parking in accordance with Section 9.215 of the City of Menifee Development Code.
- 7) Landscaping within recreation and open space areas will be further governed by the Development Standards contained with this Specific Plan (Section III.B.7.) and the Design Guidelines contained within this Specific Plan (Section IV).



Source(s): Esri, RCTLMA (2024)

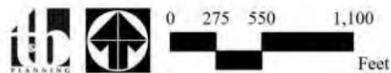


FIGURE - III-10

OPEN SPACE AND RECREATION PLAN
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

6. GRADING PLAN

a. Grading Plan Description

The *MENIFEE NORTH* Specific Plan grading is tailored to the existing topography of the project site. It is intended that the proposed plan be sensitive to and reflect natural landforms where possible, incorporating project requirements for drainage and infrastructural improvements so that residential, commercial, industrial and recreational uses are accommodated. (See Figure III-11, *Grading Concept*.)

According to an earthwork quantity take-off conducted by the project engineer, it appears that the project site will balance and will not require import or export. Based on the Conceptual Grading Plan approximately 4,960,000 cubic yards of material will be moved. This figure may vary slightly as final grading plans are developed. As discussed in the Engineering Report (Section V.B., Technical Appendices), this Grading Plan also establishes a basis for appropriate treatment of drainage requirements and accommodate a street system that meets City of Menifee standards for appropriate grades.

b. Grading Plan Development Standards

- 1) All grading activities shall be in substantial conformance with the overall *Grading Concept* (Figure III-11).
- 2) Prior to any development within any area of the Specific Plan boundaries, an overall Conceptual Grading Plan for the portion in process shall be submitted for Community Development Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include: Techniques employed to prevent erosion and sedimentation during and after the grading process; approximate time frames for grading; identification of areas which may be graded during higher probability rain months (January through March), and preliminary pad and roadway elevations.
- 3) All street gradients shall not exceed 15%.
- 4) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
- 5) The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
- 6) The toes and tops of all slopes higher than ten (10) feet shall be rounded with curves with radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
- 7) Cut or fill slopes exceeding one hundred (100) feet in horizontal length, if any, shall be graded to meander the toe and top of the slope.
- 8) Slopes exceeding ten (10) feet in vertical height shall be hydromulched, prior to final acceptance and prior to the beginning of the rain season (October-March).

- 9) Prior to initial grading activities, a soils report and a geotechnical study shall be performed that further analyze on-site soil conditions and slope stability and include appropriate measures to control erosion and dust.
- 10) Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.
- 11) Per Site Design Guidelines (p. 74) in the 2020 City-Adopted Design Guidelines, “In steeper terrain (twenty percent {20%} slope and greater), front yard setbacks may be reduced to a minimum of twenty (20) feet from back of curb or back of sidewalk, whichever is more restrictive, to minimize rear yard grading”.
- 12) Where cut and fill slopes are created higher than ten (10) feet, detailed landscaping and irrigation plans shall be submitted to the Community Development Department prior to grading plan approval. The plans shall be reviewed for type and density of ground cover, shrubs and trees.
- 13) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- 14) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- 15) Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 16) Grading work shall be balanced on-site whenever possible.
- 17) Graded but undeveloped land shall be maintained weed-free and planted with interim landscaping within 90 days of completion of grading, unless building permits are obtained.
- 18) Unless otherwise approved by the City of Menifee Department of Building and Safety, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot. The Grading Plan will reflect a contouring intended to control slope erosion.
- 19) Natural features such as significant rock outcrops shall be protected to the greatest extent feasible in the siting of individual lots and building pads.
- 20) A grading permit shall be obtained from the City of Menifee, as required by the Title 8 of the City of Menifee Municipal Code, prior to grading. The project shall comply with all applicable provisions of Title 8.
- 21) If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance. If human remains are discovered, work shall halt in that area and procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be followed, including notification to the County Coroner.
- 22) Soil stabilizers shall be used to control dust as required by SCAQMD Rule 403.

- 23) The developer or builder for the *MENIFEE NORTH* Specific Plan shall be required, pursuant to requirements of the State Water Resources Control Board, to obtain a National Pollutant Discharge Elimination System (NPDES) construction permit, prior to issuance of grading permits. There is a statewide General Permit applicable to most areas of the state; however, because *MENIFEE NORTH* is located in the San Jacinto Watershed, the project is subject to a special NPDES permit (No. CAG 618005) per Order No. 01-34 as adopted by the California Regional Water Quality Control Board, Santa Ana Region, on January 19, 2001. The developer or builder shall comply with the requirements of the NPDES construction permit by developing and implementing a Storm Water Pollution Prevention Plan (SWPPP), approved by the Executive Officer of the Regional Water Quality Control Board, that specifies Best Management Practices (BMPs) to minimize pollutants in storm water runoff. During construction, the project would follow the specifications per the site's SWPPP.

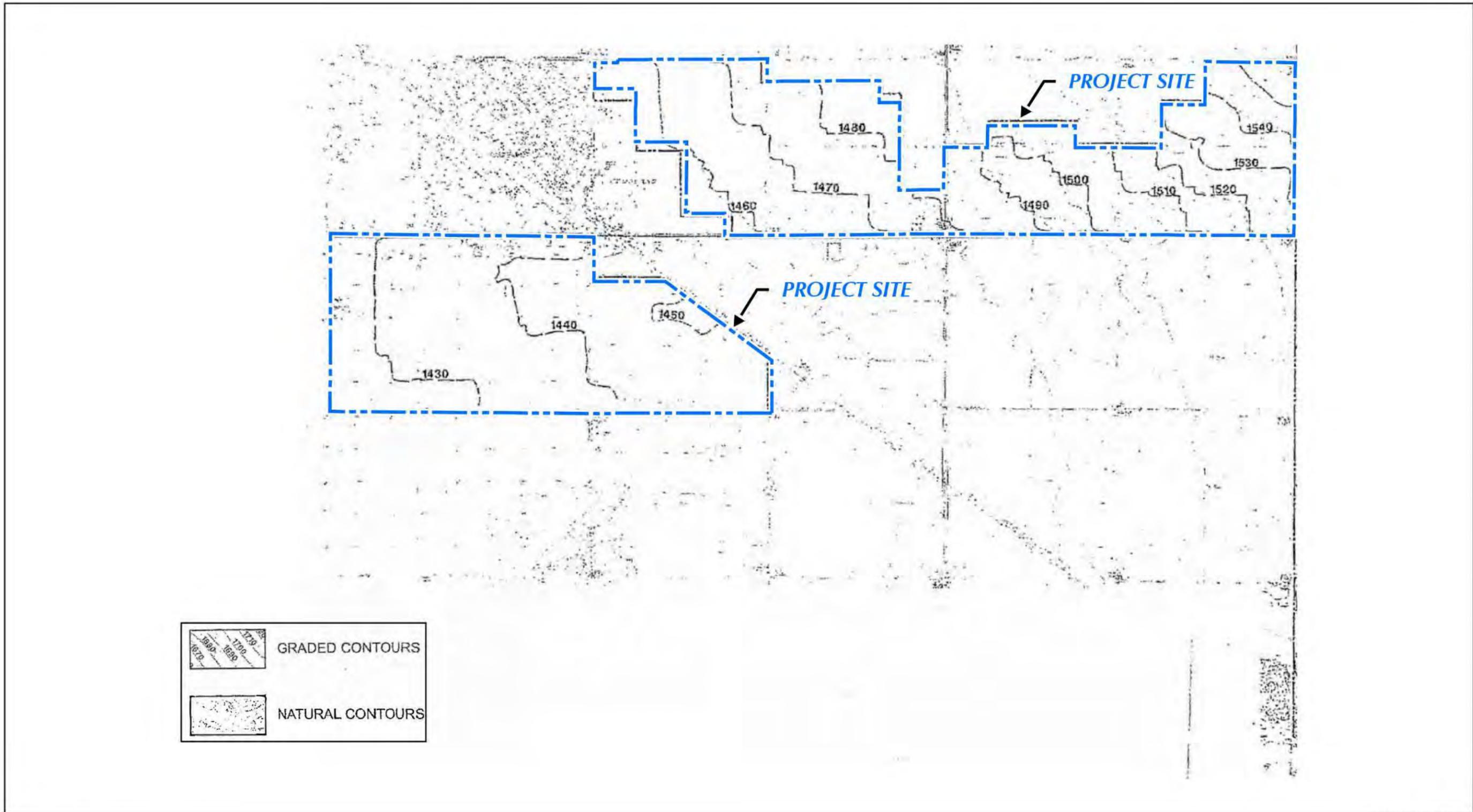


FIGURE - III-11

GRADING CONCEPT
 III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Not to Scale

7. ILLUSTRATIVE LANDSCAPING PLAN

a. Landscaping Plan Descriptions

As illustrated on Figure IV-1, *Conceptual Landscape Plan*, project landscaping will play an important role in maintaining project design themes, while emphasizing community continuity. This section of the Specific Plan provides a general description and development standards for the landscaping concept. Detailed landscaping information is provided in the Design Guidelines contained within this Specific Plan (Section IV.D.).

Entry monumentation will provide initial definition for the site, and will be viewed when approaching the site from any direction. Once within the site, entry monumentation will continue to be present at all key intersections. Monumentation will be developed in a hierarchical format which will provide initial community identification for each residential planning area, and the community as a whole.

Landscaping within the project itself will articulate community design elements at the commercial areas, business parks, parks, and schools and will define boundaries and transitions between differing land uses and easements. Individual neighborhoods and residential development enclaves will also be distinguished by varied planting themes. Special treatments including land use transition areas, will be provided between certain planning areas identified in the Planning Area Development Standards (Section III.B.).

Landscaping will be used to identify the hierarchy of the street system, from major access roads to interior residential streets, creating definite landscaped corridors. This is accomplished by careful considerations of the relationship between street and plant materials characteristics such as size, form, texture and color.

b. Landscaping Plan Development Standards

- 1) All detailed landscaping programs for planning areas and roadways shall be prepared by a qualified landscape architect for review by County staff and decision-making agencies.
- 2) Project entry statements shall be designed with landscaping and architectural treatments that project a high-quality image for the mixed-use development.
- 3) The landscaping design for the site shall include turf, trees, shrubs and ground cover compatible with natural vegetation on-site, where feasible. Detailed landscaping design information is provided in the Section IV, *Design Guidelines* of this Specific Plan.
- 4) Special treatment areas shall be designed to provide definition to certain planning areas as identified in Section III.B.
- 5) Major entrance roads into the *MENIFEE NORTH* project shall have planted medians and landscaped shoulders to define the project's design concept. The introductory landscape theme shall include elements such as tree clustering to reinforce the project theme and character.
- 6) Landscaped medians may be established within any roadway right-of-way as long as access and safety criteria can be met as approved by the City Engineer.

- 7) Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for the stage of development, shall be submitted to the Community Development Department for approval. The improvement plans shall include, but not be limited to the following:
- Final grading plan.
 - Irrigation plans certified by a landscape architect.
 - A landscape plan with seed mixes for mulching and staking methods; locations, type, size and quantity of plantings.
 - A hardscape plan with location, type and quantity of potential recreational amenities/facilities (in medium and medium-high density residential areas).
 - Fence treatment plans.
 - Special treatment/buffer area treatment plans.
- 8) The master developer shall be responsible for maintenance and upkeep of all slope plantings, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.
- 9) At the time of recordation of any tentative subdivision which contains a common greenbelt or open space area, the subdivision shall have those common areas conveyed to the master property-owners' association or appropriate public maintenance agency.
- 10) The landscaping plan shall reflect the following water conservation methods, whenever possible: landscape with low water-using plants, wherever feasible; group plants of similar water use to reduce over-irrigation of low water-using plants; use mulch extensively, as mulch applied on top of soil will improve the water-holding capacity of the soil by reducing evaporation and soil compaction; install efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods of increasing irrigation efficiency.
- 11) Front yard landscaping shall be provided on all lots smaller than one-half acre. Typical plans will be submitted during tract map processing.
- 12) For further Landscape Development Standards, please refer to Section IV.D., Design Guidelines.

8. PUBLIC FACILITY SITES PHASING PLAN

a. Public Facility Phasing Description

In order to ensure timely development of public facilities, a phasing plan has been prepared for the community park (Planning Area 10), for the elementary school (Planning Area 21), and the Community Center/Park (Planning Area 20) as shown on Figure III-12, *Public Facility Sites Phasing Plan*.

Public facility construction shall be phased as provided by Table III-5, *Public Facilities Phasing*, below:

**Table III-5
PUBLIC FACILITIES PHASING**

PLANNING AREA	PUBLIC FACILITY	ACREAGE	MILESTONES AND REQUIREMENTS
10	Community Park	10.0*	To be completed during Phase III prior to the issuance of the 650 th building permit in the Specific Plan.
20	Community Center/Park	11.4	To be completed during Phase III, prior to issuance of the 1,435 th building permit in the project.
21	Elementary School	9.4	To be constructed by the School District in accordance with their pupil demand and funding capabilities.

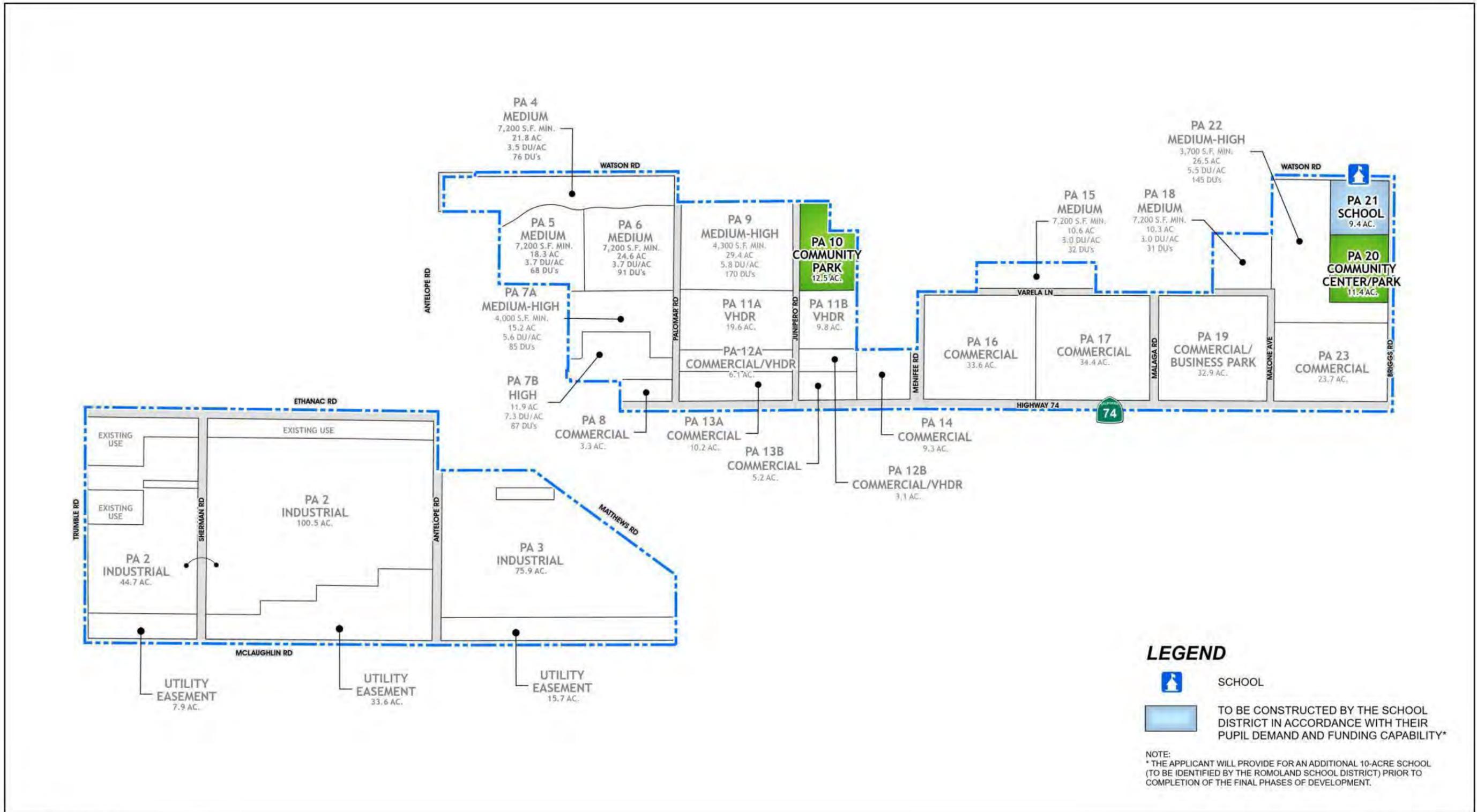
***Note:**
A 2.5-acre portion of Planning Area 10 (12.5 total acres) is owned in fee by Southern California Edison and is excluded from parkland amenities and programming.

b. Public Facility Phasing Standards

- 1) Improvement plans for the mini park sites shall accompany the first development application for the Planning Area in which the park is located in.
- 2) Improvement plans for the 11.4-acre Community Center/Park (Planning Area 20) shall be submitted prior to issuance of the 1,435th building permit.
- 3) The design of the Community Center was coordinated between the City of Menifee, Riverside County Office of Education, County Public Library and the Southern California Association of Governments
- 4) The 11.4-acre Community Park/Center shall be funded, designed and partially operational prior to issuance of the 903rd residential building permit (60% of the residential component) or 15% of the commercial/business park/industrial component of *MENIFEE NORTH*, whichever occurs first.
- 5) Concurrent with the first implementing development application for any portion of *MENIFEE NORTH*, a public/quasi-public mechanism for land acquisition, facility construction and on-going maintenance shall be established for the 11.4-acre Community Center/Park. This mechanism may be developed concurrently with processing and approval of the first implementing application, but building permits shall not be issued prior to establishment of this mechanism.

- 6) As a part of the implementing mechanism, a procedure and tentative time frame shall be established whereby the design and facilities for the 11.4-acre Community Center/Park shall be established. The 11.4-acre Community Center/Park shall be implemented on a staged basis as the MENIFEE NORTH community develops.

- 7) As a part of the implementing mechanism, procedures shall be identified for securing input and additional financing for the 11.4-acre Community Center/Park from the existing local community. Such additional financing may take the form of: a) an area-wide assessment; b) an allocation by the City of community facilities fees collected by the City on area projects outside of MENIFEE NORTH; or c) some other mechanism acceptable to the City and MENIFEE NORTH.



Source(s): Esri, RCTLMA (2024)

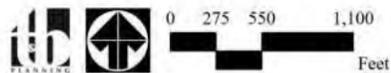


FIGURE - III-12

PUBLIC FACILITY SITES CONCEPTUAL PHASING PLAN
 III. SPECIFIC PLAN
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

9. PROJECT PHASING PLAN

a. Project Phasing Plan Description

MENIFEE NORTH has three phases to be developed over at least a 10-year period, in response to market demands and according to a logical and orderly extension of roadways, public utilities and infrastructure. Figure III-13, *Phasing Plan*, is provided as a visual guide to how development is anticipated to proceed. Table III-6, *Phasing Summary*, outlines the acreages and number of dwelling units of each phase.

b. Project Phasing Standards

- 1) Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for that stage of development, shall be submitted to the Community Development Department for approval. The improvement plans shall include, but not be limited to the following:
 - Final grading plan.
 - Irrigation plans certified by a landscape architect.
 - A landscape plan with seed mixes for mulching, staking methods and locations, type, size and quantity of plant materials.
 - Fence treatment plans.
 - Special treatment/buffer area treatment plans.
- 2) Each planning area shall include development of common open space areas, infrastructure and adjacent landscape development zones.
- 3) Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, provided adequate vehicular access is constructed for all dwelling units in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
- 4) Prior to the first subdivision map approval in each planning area, the applicant shall provide evidence to the Community Development Department of progress towards completion of the development standards outlined for that planning area.
- 5) The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, provided the required infrastructure and services are available at the time of development.

**TABLE III-6
PHASING SUMMARY**

LAND USE	PLANNING AREA	ACRES	MAXIMUM DWELLING UNITS
PHASE I			
Medium Residential	5	18.3	68
Medium Residential	6	24.6	91
Commercial	13A	10.2	—
	13B	5.2	—
	14	9.3	—
	16	33.6	—
Medium Residential	18	10.3	31
Medium-High Residential	22	28.8 <u>26.5</u>	145
SUBTOTAL - PHASE I		140.3 <u>138.0</u>	335
PHASE II			
Medium Residential	4	21.8	76
Commercial	8	3.3	—
Community Park	10	12.5*	—
Very High Density Residential (VHDR)	11A	19.6	586
Very High Density Residential (VHDR)	11B	9.8	
Mixed-Use (Commercial/VHDR)	12A	6.1	135
Mixed-Use (Commercial/VHDR)	12B	3.1	
Medium Residential	15	10.6	32
Commercial	17	34.4	—
Commercial/Business Park	19	32.9	—
Commercial	23	23.7	—
SUBTOTAL - PHASE II		177.8	829
PHASE III			
Medium-High Residential	7A	15.2	85
High Residential	7B	11.9	87
Medium-High Residential	9	31.2 <u>29.4</u>	169 <u>170</u>
Community Center/Park	20	11.4	—
SUBTOTAL - PHASE III		69.7 <u>77.9</u>	341 <u>342</u>
OTHER LAND USES			
Industrial (Phases 1, 2, and 3)	2, 3	221.1	—
Schools	21	9.4	—
Major Roads	—	89.3	—
Easements/Existing Uses	—	101.6	—
Drainage Channels	—	15.9	—
SUBTOTAL - OTHER LAND USES		437.3	—
PROJECT GRAND TOTAL		821.0 <u>805.1</u>	1505 <u>1506</u>
Note: *A 2.5-acre portion of Planning Area 10 is owned in fee by Southern California Edison and is excluded from parkland amenities and programming.			

10. COMPREHENSIVE MAINTENANCE PLAN

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for common project facilities will be divided among a Master Maintenance Organization, Neighborhood Associations or similar financing mechanisms. The decision regarding the maintenance mechanism will be made at a future stage of project design and review in concert with City agencies.

a. Master Maintenance Organization

Common areas identified in the Specific Plan shall be owned and maintained by a permanent public master maintenance organization, such as the City's Community Facilities District, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas (including those in commercial areas). Areas of responsibility would include the community parks, the community center, parkway landscaping medians, entry monuments, open space and the community trail. The Valley-Wide Recreation and Park District is a possible maintenance mechanism that could maintain all project level facilities. The District currently maintains the Marion V. Ashley Park and Community Center in Planning Area 20, and performs similar functions in Hemet and in the Menifee project south of *MENIFEE NORTH*. *MENIFEE NORTH* is currently within the Valley-Wide sphere of influence but is not within or abutting the current District boundaries. Under the current procedures and regulations, annexation of the project site and certain intervening properties would be necessary.

b. Residential Neighborhood Associations

In certain residential areas of the project, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Potential private recreation centers, mini-parks, common open space areas, and potential private roadways exemplify facilities that may be under the jurisdiction of a neighborhood association.

c. Commercial/Business Park/Industrial Areas

Commercial, Business Park and Industrial planning areas may have their own private associations. If no association is formed, a common maintenance charge will be assessed to cover common area maintenance. Maintenance for these planning areas also may be assumed by individual property owners.

d. Project Roadways

All public project roadways and private streets will be designed and constructed to standards acceptable to the City. All public roads will be entered into the City system of roads for operation and maintenance, as approved by the Menifee City Council. Private roadways, if any, will be maintained by a private homeowners' association.

e. School Sites

Maintenance responsibilities for the school site in Planning Area 21 are overseen by the governing School District (Romoland).

B. PLANNING AREA DEVELOPMENT STANDARDS

Development standards for *MENIFEE NORTH* have been established at three levels: *General Development Provisions*, which were addressed in Section III; *Design Guidelines*, which are provided in Section IV; and *Planning Area Development Standards* to which this section is devoted. In addition, the standards of the Specific Plan Zone applicable to *MENIFEE NORTH* shall apply.

This section identifies the planning standards for each land use designation, including permitted/conditional/ancillary land uses, minimum lot sizes, building setbacks, building height, and other development standards. In addition, standards are provided for the community's infrastructure, open space, grading and maintenance.

The Permitted Uses and Development Standards found in this section shall constitute the zoning for MENIFEE NORTH. In cases where no standard is provided, the City of Menifee's Zoning Ordinance will govern the Permitted Uses and Development Standards, unless otherwise noted.

Planning areas were selected on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning, relationship to adjoining product and surrounding topography.

The planning area graphics for this section (Figures III-14 to III-30) were derived from the *Conceptual Landscape Plan* (Figure IV-1). The site plans depicted herein are only conceptual in nature. Although development may conform closely to some elements of the illustrative plans provided in Section IV it is anticipated that actual lotting will not be determined until the tract map stage.

Please note: Planning Area 1, which was originally designated for 18 acres of Commercial/Business Park use, was annexed to the City of Perris and was therefore deleted from Specific Plan No. 260.

1. PLANNING AREA 2: INDUSTRIAL PARK

a. Descriptive Summary

Planning Area 2, as depicted in Figure III-14, consists of approximately 145.2 gross acres of Industrial Park.

b. Land Use and Development Standards

Please refer to Table III-7A for Permitted Uses and III-7B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access into Planning Area 2 shall be provided from Sherman Road, Antelope Road and McLaughlin Road.
- 2) Project entry/intersection statements, as shown on Figure IV-3, shall be developed at the intersection of Highway 74 and Sherman Road, and at the intersection of Highway 74 and Antelope Road.
- 3) Minor intersection monumentation treatments shall be established at corners of Sherman Road and Antelope Road at designated entrances to Planning Area 2. These treatments are illustrated on Figure IV-4.
- 4) Roadway landscape treatments shall be incorporated along Highway 74, Sherman Road, Antelope Road, Trumble Road and McLaughlin Road, as depicted on Figures IV-19, 21 and 22, respectively.
- 5) A special landscape treatment, as shown on Figure IV-10, shall be developed between the Industrial uses in Planning Area 2 and the adjacent Drainage Channel easement.
- 6) A Southern California Edison easement forms the southern boundary of Planning Area 2. All development plans filed for the implementation of Planning Area 2 must be in conformance with all applicable SCE easement restrictions.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

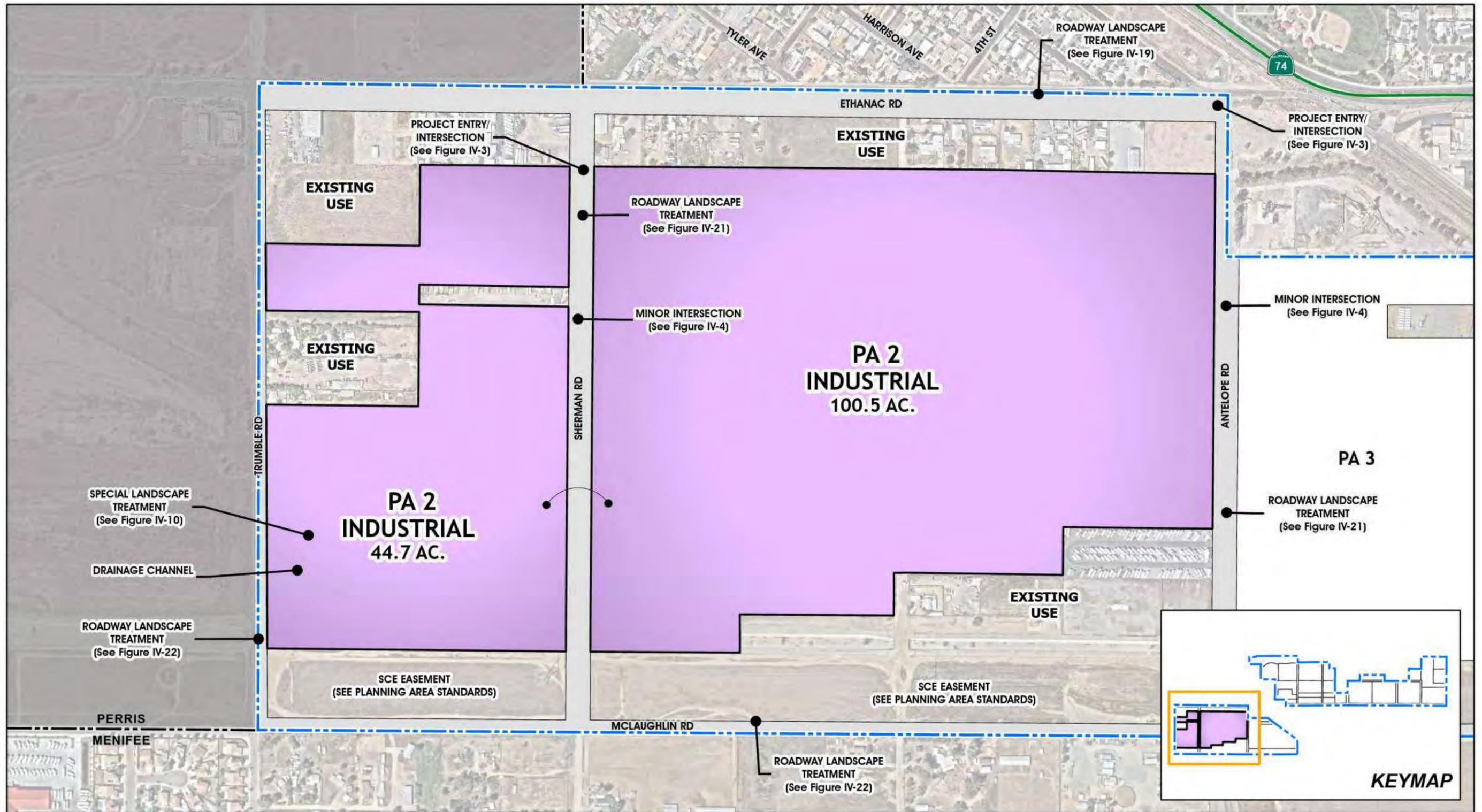
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

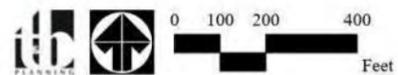


FIGURE - III-14

PLANNING AREA 2
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

2. PLANNING AREA 3: INDUSTRIAL PARK

a. Descriptive Summary

Planning Area 3, as depicted in Figure III-15, consists of approximately 75.9 gross acres of Industrial Park.

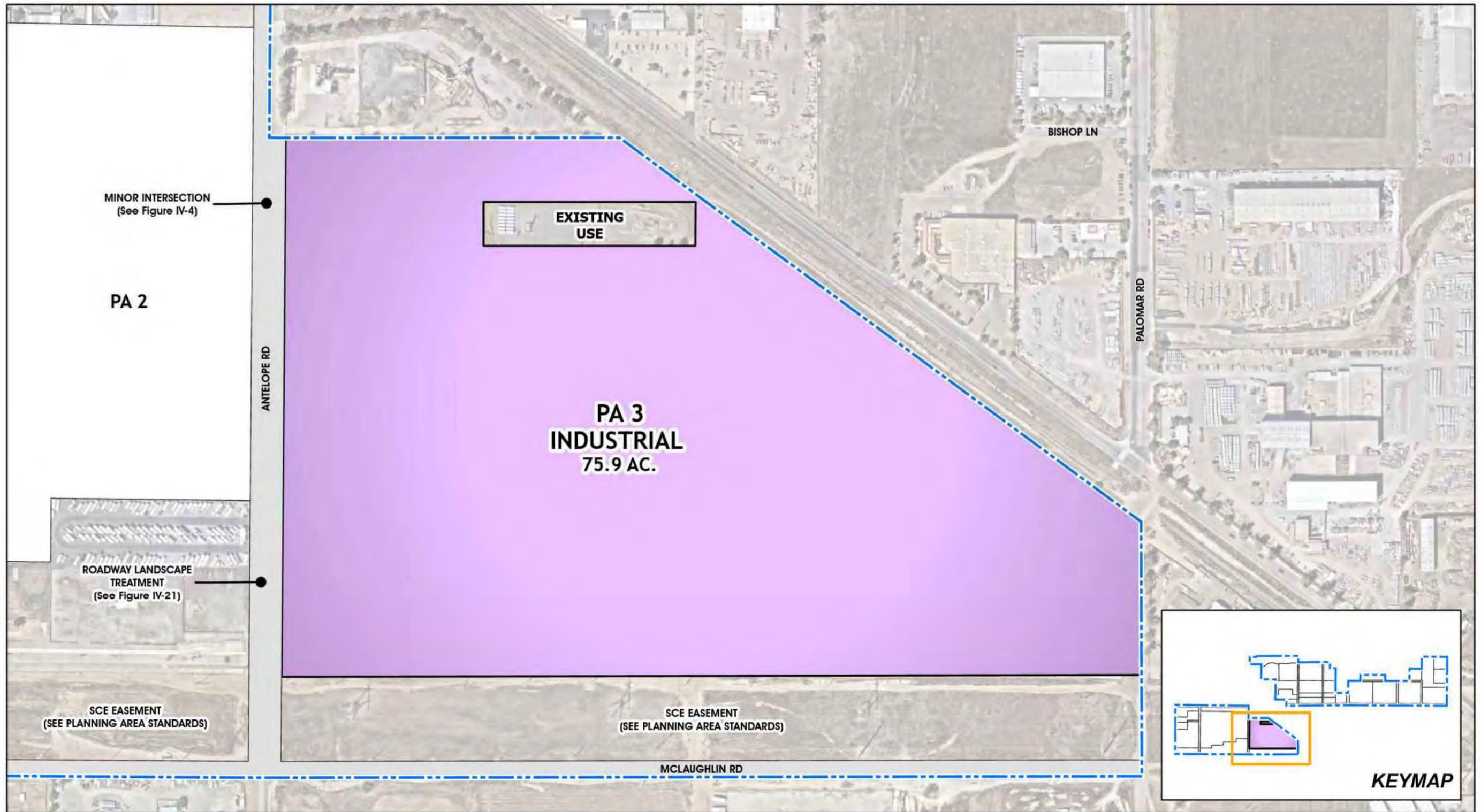
b. Land Use and Development Standards

Please refer to Table III-7A for Permitted Uses and III-7B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access into Planning Area 3 shall be provided from Antelope Road and McLaughlin Road.
- 2) A minor intersection monumentation treatment shall be established at the intersection of Antelope Road and the planning area access point. This treatment is illustrated on Figure IV-4.
- 3) Roadway landscape treatments shall be incorporated along Antelope Road and McLaughlin Road, as depicted on Figures IV-21.
- 4) A Southern California Edison easement forms the southern boundary of this planning area. All subsequent development plans filed for the implementation of Planning Area 3 must conform to all applicable SCE easement restrictions.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

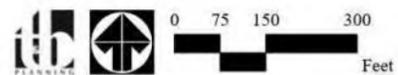


FIGURE - III-15

PLANNING AREA 3
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-7A
PERMITTED USES
PLANNING AREAS 2 AND 3 (INDUSTRIAL)***

*The Permitted Uses below for Planning Areas 2 and 3 (Industrial) are based on Article XII, Section 12.1 (Manufacturing-Heavy – M-H Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 2	PLANNING AREA 3
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
AGRICULTURE	Agricultural uses of the soils for crops including the grazing of not more than two mature farm animals per acre and their immature offspring.	P	P
FOOD PRODUCTS	Meat and poultry products, including meat packing but not including slaughtering.	p ⁽¹⁾	p ⁽¹⁾
	Dairy products, not including dairies.	p ⁽¹⁾	p ⁽¹⁾
	Canning and preserving fruits and vegetables.	p ⁽¹⁾	p ⁽¹⁾
	Grain and bakery products.	p ⁽¹⁾	p ⁽¹⁾
	Sugar and confectionery products.	p ⁽¹⁾	p ⁽¹⁾
	Beverages, including alcoholic beverages.	p ⁽¹⁾	p ⁽¹⁾
	Wineries, distilleries, and breweries.	p ⁽¹⁾	p ⁽¹⁾
TEXTILE PRODUCTS	Ice.	p ⁽¹⁾	p ⁽¹⁾
	Cotton, wool, and synthetic weaving and finishing mills.	p ⁽¹⁾	p ⁽¹⁾
	Wearing apparel and accessory products.	p ⁽¹⁾	p ⁽¹⁾
	Knitting mills.	p ⁽¹⁾	p ⁽¹⁾
	Floor coverings mills.	p ⁽¹⁾	p ⁽¹⁾
LUMBER AND WOOD PRODUCTS	Yarn and thread mills.	p ⁽¹⁾	p ⁽¹⁾
	Saw and planing mills.	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of containers and crates.	p ⁽¹⁾	p ⁽¹⁾
	Fabrication of wood buildings and structures.	p ⁽¹⁾	p ⁽¹⁾
	Lumber yards.	p ⁽¹⁾	p ⁽¹⁾
PAPER PRODUCTS	Manufacture of furniture and fixtures including cabinets, partitions, and similar items.	p ⁽¹⁾	p ⁽¹⁾
	Paper and paperboard mills.	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of containers and boxes.	p ⁽¹⁾	p ⁽¹⁾
	Paper shredding.	p ⁽¹⁾	p ⁽¹⁾
	Printing and publishing of newspaper, periodicals, books, forms cards and similar items.	p ⁽¹⁾	p ⁽¹⁾
	Binding of books and other publications.	p ⁽¹⁾	p ⁽¹⁾

USE CATEGORY	PERMITTED USES	PLANNING AREA 2	PLANNING AREA 3
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
CHEMICAL AND RELATED PRODUCTS	Manufacture of organic and inorganic compounds, not including those of a hazardous nature,	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of drugs and pharmaceuticals,	p ⁽¹⁾	p ⁽¹⁾
	Soaps, cleaners, and toiletries,	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of agricultural chemicals, not including pesticides and fertilizers.	p ⁽¹⁾	p ⁽¹⁾
	Paints and varnishes.	p ⁽¹⁾	p ⁽¹⁾
RUBBER AND PLASTIC AND SYNTHETIC PRODUCTS	Manufacture of tires and tubes.	p ⁽¹⁾	p ⁽¹⁾
	Fabrication of rubber, plastics, and synthetic products.	p ⁽¹⁾	p ⁽¹⁾
LEATHER PRODUCTS	Tanning and finishing of leather.	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of handbags, luggage, footwear, and other personal leather goods.	p ⁽¹⁾	p ⁽¹⁾
STONE, CLAY, GLASS, AND CONCRETE PRODUCTS	Stone cutting and related activities.	p ⁽¹⁾	p ⁽¹⁾
	Pottery and similar items.	p ⁽¹⁾	p ⁽¹⁾
	Glass blowing, pressing and cutting.	p ⁽¹⁾	p ⁽¹⁾
	Glassware products.	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of concrete, gypsum, plaster and mineral products.	p ⁽¹⁾	p ⁽¹⁾
METAL PRODUCTS	Manufacture of cans and containers.	p ⁽¹⁾	p ⁽¹⁾
	Cutlery, tableware, hand tools, and hardware.	p ⁽¹⁾	p ⁽¹⁾
	Plumbing and heating items.	p ⁽¹⁾	p ⁽¹⁾
	Wrought iron fabrication.	p ⁽¹⁾	p ⁽¹⁾
	Manufacture and assembly of fencing.	p ⁽¹⁾	p ⁽¹⁾
	Machine, welding, and blacksmith shops.	p ⁽¹⁾	p ⁽¹⁾
	Metal stamps and forged metal products.	p ⁽¹⁾	p ⁽¹⁾
	Fabrication of metal buildings.	p ⁽¹⁾	p ⁽¹⁾
	Manufacture of ordnance and firearms, not including explosives.	p ⁽¹⁾	p ⁽¹⁾
	Jewelry.	p ⁽¹⁾	p ⁽¹⁾
PRIMARY METAL PRODUCTS	Foundries.	p ⁽¹⁾	p ⁽¹⁾
	Rolling and drawing metals.	p ⁽¹⁾	p ⁽¹⁾
	Casting metals.	p ⁽¹⁾	p ⁽¹⁾
	Blast furnaces.	p ⁽¹⁾	p ⁽¹⁾
	Smelting of metals.	p ⁽¹⁾	p ⁽¹⁾
	Engines, turbines, and parts.	p ⁽¹⁾	p ⁽¹⁾
	Farm, garden construction, and industrial machinery.	p ⁽¹⁾	p ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 2	PLANNING AREA 3
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
MACHINERY	Office and computing machines.	p ⁽¹⁾	p ⁽¹⁾
	Refrigeration and heating equipment.	p ⁽¹⁾	p ⁽¹⁾
	Equipment sales, rental, and storage.	p ⁽¹⁾	p ⁽¹⁾
ELECTRICAL EQUIPMENT	Electrical and electronic apparatus and components.	p ⁽¹⁾	p ⁽¹⁾
	Appliances.	p ⁽¹⁾	p ⁽¹⁾
	Lighting and wiring.	p ⁽¹⁾	p ⁽¹⁾
	Radio, television, and communications equipment.	p ⁽¹⁾	p ⁽¹⁾
	Musical and recording equipment.	p ⁽¹⁾	p ⁽¹⁾
TRANSPORTATION AND RELATED INDUSTRIES	Vehicles, aircraft, boats and parts manufacture.	p ⁽¹⁾	p ⁽¹⁾
	Railroad equipment.	p ⁽¹⁾	p ⁽¹⁾
	Motorcycles, bicycles, and parts.	p ⁽¹⁾	p ⁽¹⁾
	Travel trailers and recreational vehicles manufacture.	p ⁽¹⁾	p ⁽¹⁾
	Draying, freighting, and trucking operations.	p ⁽¹⁾	p ⁽¹⁾
	Railroad yards and stations.	p ⁽¹⁾	p ⁽¹⁾
	Vehicle storage and impoundment.	p ⁽¹⁾	p ⁽¹⁾
	Trailer and boat storage.	p ⁽¹⁾	p ⁽¹⁾
ENGINEERING AND SCIENTIFIC INSTRUMENTS	Measuring devices, watches, clocks, and related items.	p ⁽¹⁾	p ⁽¹⁾
	Optical goods, medical instruments, supplies, and equipment, and photography equipment.	p ⁽¹⁾	p ⁽¹⁾
INDUSTRIAL USES	Laboratories and research centers.	p ⁽¹⁾	p ⁽¹⁾
	Cotton ginning.	p ⁽¹⁾	p ⁽¹⁾
	Public utility substations and storage yards.	p ⁽¹⁾	p ⁽¹⁾
	Heliports.	p ⁽¹⁾	p ⁽¹⁾
	Building movers storage yard.	p ⁽¹⁾	p ⁽¹⁾
	Mini warehouses.	p ⁽¹⁾	p ⁽¹⁾
	Warehousing and distribution.	p ⁽¹⁾	p ⁽¹⁾
	Communications and microwave installations.	p ⁽¹⁾	p ⁽¹⁾
	Cold storage plant.	p ⁽¹⁾	p ⁽¹⁾
	Sand blasting.	p ⁽¹⁾	p ⁽¹⁾
	Recycling collection facilities.	p ⁽¹⁾	p ⁽¹⁾
	Natural gas, above ground storage.	p ⁽¹⁾	p ⁽¹⁾
	Recycling of wood, metal and construction wastes.	p ⁽¹⁾	p ⁽¹⁾
	Airports.	p ⁽¹⁾	p ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 2	PLANNING AREA 3
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
SERVICE AND COMMERCIAL	Contractor storage yards	p ⁽¹⁾	p ⁽¹⁾
	Banks and financial institutions	p ⁽¹⁾	p ⁽¹⁾
	Blueprint and duplicating services.	p ⁽¹⁾	p ⁽¹⁾
	Gasoline and diesel service stations, not including the concurrent sale of beer and wine for off-premises consumption.	p ⁽¹⁾	p ⁽¹⁾
	Laboratories, film, medical, research, or testing.	p ⁽¹⁾	p ⁽¹⁾
	Office equipment sales and service.	p ⁽¹⁾	p ⁽¹⁾
	Offices, professional sales and service, including business, law, medical dental, chiropractic, architectural, and engineering.	p ⁽¹⁾	p ⁽¹⁾
	Parking lots and parking structures.	p ⁽¹⁾	p ⁽¹⁾
	Restaurants and other eating establishments.	p ⁽¹⁾	p ⁽¹⁾
	Vehicle and motorcycle repair.	p ⁽¹⁾	p ⁽¹⁾
	Barber and beauty shops.	p ⁽¹⁾	p ⁽¹⁾
	Body and fender shops, and spray painting.	p ⁽¹⁾	p ⁽¹⁾
	Building materials sales yard.	p ⁽¹⁾	p ⁽¹⁾
	Day care centers.	p ⁽¹⁾	p ⁽¹⁾
	Health and exercise centers.	p ⁽¹⁾	p ⁽¹⁾
	Hardware and home improvement centers.	p ⁽¹⁾	p ⁽¹⁾
	Mobilehomes, provided they are kept mobile and licensed pursuant to State law, when used for: sales offices on mobilehome sales lots; construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, agricultural worker employment offices for a maximum of 90 days in any calendar year; caretaker's quarters and office, in lieu of any other one-family dwelling, located on the same parcel as a permitted industrial use.	p ⁽¹⁾	p ⁽¹⁾
	One-family dwellings on the same parcel as the industrial or commercial use provided such dwellings are occupied exclusively by the proprietor or caretaker of the use and their immediate family.	p ⁽¹⁾	p ⁽¹⁾
	Nurseries and garden supply.	p ⁽¹⁾	p ⁽¹⁾
	Trailer and truck sales and rentals.	p ⁽¹⁾	p ⁽¹⁾
	Signs, on-site advertising.	p ⁽¹⁾	p ⁽¹⁾
Feed and grain sales.	p ⁽¹⁾	p ⁽¹⁾	
Mobilehome sales lots.	p ⁽¹⁾	p ⁽¹⁾	
Churches, temples and other places of religious worship.	p ⁽¹⁾	p ⁽¹⁾	
INDUSTRIAL, SERVICE, AND COMMERCIAL	Auto wrecking and junk yards.	C	C
	Abattoirs.	C	C

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 2	PLANNING AREA 3
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
	Petroleum refineries.	C	C
	Cotton ginning.	C	C
	Acid and abrasives manufacturing.	C	C
	Fertilizer production, and processing organic or inorganic.	C	C
	Petroleum and bulk fuel storage, above ground, pursuant to County Ordinance No. 546.	C	C
	Concrete batch plants and asphalt plants.	C	C
	Disposal service operations.	C	C
	Drive-in theaters.	C	C
	Dump sites.	C	C
	Explosives manufacturing and testing.	C	C
	Gas, steam, and oil drilling operations.	C	C
	Sewage treatment plants.	C	C
	Swap meets.	C	C
	Processing and rendering of fats and oils.	C	C
	Recycling processing facilities.	C	C
	Solar power plant on a lot 10 acres or larger.	C	C
	Utility-Scale Battery Energy Storage Systems Subject to Chapter 9.300 of the City of Menifee Municipal Code	P	P
	Any mining operation that is subject to the California Surface Mining and Reclamation Act of 1975 provided a valid surface mining permit has been granted pursuant to County Ordinance No. 555.	C	C
	A hazardous waste facility provided a hazardous waste facility siting permit has been granted pursuant to Section 18.44. of County Ordinance No. 348.	C	C
	Sex-oriented businesses, subject to the provisions of County Ordinance No. 743. The uses listed in Subsections B. and C. do not include sex-oriented businesses.		
	Any use that is not specifically listed in Subsections B. and C. may be considered a permitted or conditionally permitted use providing that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated Subsections. Such a use is subject to the permit process which governs the category in which it falls.		
	Industrial Hemp Activities are permitted or conditionally permitted in subsections A., B., or C. in Section 12.2 pursuant to the provisions set forth in Article XIXm of County Ordinance No. 348 including, but not limited to, permit processing, location, standards and approval requirements.		
	Planned industrial developments are permitted provided a land division has been approved pursuant to County Ordinance No. 460.		
NOTES: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348.			

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-7B
DEVELOPMENT STANDARDS
PLANNING AREAS 2 AND 3 (INDUSTRIAL)***

* The Development Standards below for Planning Areas 2 and 3 (Industrial) are based on Article XII, Section 12.1 (Manufacturing-Heavy – M-H Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREAS 2 and 3 REQUIREMENTS
Lot Size	The minimum lot size shall be 10,000 square feet with a minimum average width of 75 feet, except that a lot size not less than 7,000 square feet and an average width of not less than 65 feet may be permitted when sewers are available and will be utilized for the development.
Maximum Building Height	40 feet at the yard setback line.
	Buildings shall not exceed 50 feet unless a height up to 75 feet is approved pursuant to Section 18.34. of Ordinance No. 348.
	Structures other than buildings shall not exceed 50 feet unless a height up to 105 feet is approved pursuant to Section 18.34. of Ordinance No. 348.
Building Setbacks	Where the front, side, or rear yard adjoins a street or lot zoned R-R, R-1, R-A, R-2, R-3, R-4, R-6, R-T, R-T-R, or W-2-M, the minimum setback shall be 25 feet from the property line.
	Where the front, side, or rear yard adjoins a lot with a zoning classification other than those zones specified in paragraph (1) above, there is no minimum setback.
	With the exception of those portions of the setback area for which landscaping is required, the setback area may only be used for driveways, automobile parking, or landscaping. A setback area which adjoins a street separating it from a lot with a zoning classification other than those zones specified above, may also be used for loading docks.
Masonry Wall	Prior to occupancy of any industrial use permitted in these planning areas, a six foot high solid masonry wall or combination landscaped earthen berm and masonry wall shall be constructed on each property line that adjoins any parcel specifically zoned for residential use, unless otherwise approved by the hearing officer or body. Salvage yards or vehicle dismantling yards, including storage, shall be enclosed by a solid masonry wall or combination landscaped earthen berm and masonry wall, not less than eight feet in height. Materials within the enclosed yard shall not be placed so as exceed the height of the surrounding wall, or berm and wall.
Landscaping	A minimum of ten percent of the site proposed for development shall be landscaped and irrigated.
	A minimum ten foot strip adjacent to street right-of-way lines shall be appropriately landscaped and maintained, except for designated pedestrian and vehicular accessways, said landscaping strip shall not include landscaping located within the street right-of-way.
	A minimum 20 foot strip adjacent to lots zoned R-R, R-1, R-A, R-2, R-3, R-4, R-6, RT, R-T-R, or W-2-M, or separated by a street from a lot with said zoning, shall be landscaped and maintained, unless a tree screen or other buffer treatment is approved by the hearing officer or body. However, in no case shall said landscaping be less than ten feet wide excluding curbing.
Required Parking	Parking shall be provided as required by CityStandards

DEVELOPMENT STANDARD	PLANNING AREAS 2 and 3 REQUIREMENTS
Trash Collection Areas	Trash collection areas shall be screened by landscaping or architectural features in such a manner as not to be visible from a public street or from any adjacent residential area.
Outside Storage and Service Areas	Outside storage and service areas may be required to be screened by structures or landscaping.
Utilities	Utilities shall be installed underground except electrical lines rated at 33kV or Greater.
Mechanical Equipment	Mechanical equipment used in the manufacturing process may be required to be enclosed in a building, and roof-mounted accessory equipment may be required to be screened from view.
Lighting	All lighting fixtures, including spot lights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas, shall be focused, directed, and arranged to prevent glare or direct illumination on streets or adjoining property.
Exceptions	The development standards contained herein, except lot size, setbacks, and height, may be waived or modified as part of the plot plan or conditional use permit process if it is determined that the standard is inappropriate for the proposed use and that the waiver or modification of the standard will not be contrary to the public health and safety.
Manufacturing Plot Plan	Applications for a plot plan shall be made pursuant to the provisions of Section 18.30. of County Ordinance No. 348 and in addition to the requirements of that section, the application shall contain: <ol style="list-style-type: none"> <li data-bbox="548 890 1357 951">1. A description of the proposed operation in sufficient detail to fully describe the nature and extent of the proposed use. <li data-bbox="548 953 1406 1014">2. Plans or reports showing proposed method for treatment and disposal of sewage and industrial waste.
Utility-Scale Battery Energy Storage Systems	The Development Standards of Chapter 9.300 of the City of Menifee Municipal Code shall apply to Utility-Scale Battery Energy Storage System uses.

3. PLANNING AREA 4: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 4, as depicted in Figure III-16, provides for development of 21.8 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 76 dwelling units are planned at a target density of 3.5 du/ac.

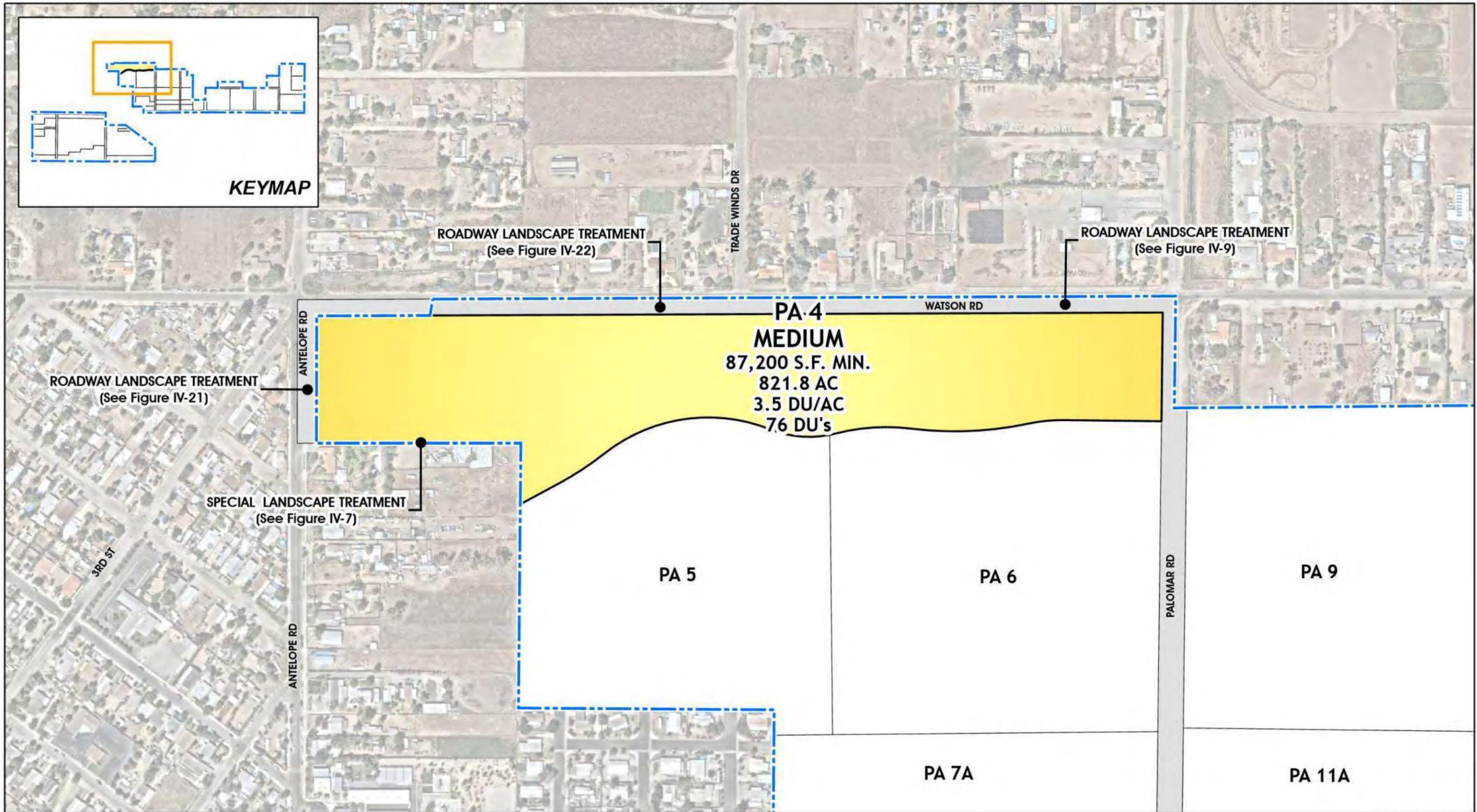
b. Land Use and Development Standards

Please refer to Table III-8A for Permitted Uses and III-8B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

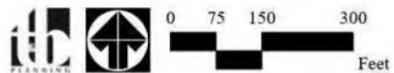
- 1) Primary access to Planning Area 4 shall be provided from Antelope Road and Watson Road.
- 2) Roadway landscape treatments, as illustrated in Figures IV-21 and 22, shall be incorporated along Antelope Road, Watson Road and Palomar Road, respectively.
- 3) A special landscape treatment shall be established between the residential uses in Planning Area 4 and adjacent existing residential uses, as shown in Figure IV-7.
- 4) A special landscape treatment, as shown on Figure IV-9, shall be provided along Watson Road to limit views of this planning area from existing adjacent residential uses.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

FIGURE - III-16



PLANNING AREA 4
 III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-8A
PERMITTED USES
PLANNING AREA 4 (MEDIUM DENSITY RESIDENTIAL)***

* The Permitted Uses for Planning Area 4 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 4
P = Permitted (1) (2) • C = Conditional Use Permit • NP = Not Permitted	
One-family dwellings.	P
Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P
The noncommercial keeping of horses on lots not less than 20,000 square feet in area and 100 feet in width, provided they are kept not less than 100 feet from any street and 20 feet from any property line. A maximum of two horses per 20,000 square feet and, in any event, not more than four horses on a lot will be permitted. If a lot is one acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two acres or more in area, two sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than 100 feet from any street, 20 feet from any property line and 50 feet from any residence.	P
Home occupations.	P
The keeping or raising of not more than four (4) mature female crowing fowl (chickens only) on lots or parcels between 7,200 square feet and 39,999 square feet or not more than 12 mature female crowing fowl (chickens only) on lots of 40,000 square feet or more for the use of the occupants of the premises. The crowing fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use.	P
Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5. or 18.6. of County Ordinance No. 348.	P
The noncommercial raising of not more than one (1) miniature pig on lots from 7,200 to 19,999 square feet or not more than two (2) miniature pigs on lots of not less than 20,000 square feet, subject to the following conditions: <ul style="list-style-type: none"> a. Any person owning or having custody or control of a miniature pig over the age of four (4) months shall pay for and obtain a license from the Animal Control Department. b. Any miniature pig kept or maintained on a lot with a use permitted under Section 6.1.A.1. shall be spayed or neutered as a condition of being licensed. No license shall be issued unless the owner or custodian of the miniature pig presents a valid certificate from a veterinarian. All unaltered miniature pigs shall be subject to immediate impoundment. c. No miniature pig may weigh more than two hundred (200) pounds. d. Any person owning or having charge, care, custody or control of any miniature pig shall keep such pig exclusively upon his or her own premises, provided, however, such pig may be off such premises if under restraint of a competent person. e. The miniature pig must be kept in an enclosure that is no closer than thirty (30) feet from the front property line, fifteen (15) feet from any side or rear property line and no closer than thirty-five (35) feet of any dwelling unit other than the dwelling unit on the subject lot. 	P
Future Farmers of America (FFA) or 4-H projects conducted by the occupants of the premises. Provided, however, if the project involves crowing fowl, an unexpired crowing fowl affidavit form describing the project must be on file with the Planning Director. Affidavit forms are available at the Planning Department and may be filed free of charge.	P

**TABLE III-8B
DEVELOPMENT STANDARDS
PLANNING AREA 4 (MEDIUM DENSITY RESIDENTIAL)***

* The Development Standards for Planning Area 4 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 4 REQUIREMENTS
Lot Size	Lot area shall be not less than 7,200 square feet. The minimum lot area shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.
Lot Width	The minimum average width of that portion of a lot to be used as a building site shall be 60 feet with a minimum average depth of 100 feet. That portion of a lot used for access on flag lots shall have a minimum width of 20 feet.
Lot Frontage	The minimum frontage of a lot shall be 60 feet, except that lots fronting on knuckles or cul-de-sac may have a minimum frontage of 35 feet. Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.
Maximum Building Height	Building height shall not exceed three stories, with a maximum height of 40 feet.
Minimum Yard Requirements	<p>The front yard shall be not less than fifteen feet (15') measured from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure.</p> <p>Side yards on interior and through lots shall be not less than ten percent of the width of the lot, but not less than three feet in width in any event, and need not exceed a width of five feet. Side yards on corner and reversed corner lots shall be not less than ten feet from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure, upon which the main building sides, except that where the lot is less than 50 feet wide the yard need not exceed 20 percent of the width of the lot.</p> <p>Rear yards shall be not less than twenty feet (20').</p>
Encroachments	Chimneys and fireplaces shall be allowed to encroach into side yards a maximum of two feet (2'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.9 of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Lot Coverage	In no case shall more than 50% of any lot be covered by dwelling.

4. PLANNING AREA 5: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 5, as depicted in Figure III-17, provides for development of 18.3 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 68 dwelling units are planned at a target density of 3.7 du/ac. The maximum density may be increased to 6.0 du/ac with a 5,000 square foot minimum lot size if the planning area is designed for and restricted to senior citizen housing or if this planning area is designed as a mobile home park or subdivision. In this case, the maximum DU allowed for Planning Area 5 is 110 DU.

b. Land Use and Development Standards

Please refer to Table III-9A for Permitted Uses and III-9B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 5 shall be provided from Street "A".
- 2) A roadway landscape treatment, such as that depicted in Figure IV-18, shall be provided along Street "A".
- 3) A special landscape treatment shall be established between the residential uses in Planning Area 5 and the adjacent existing residential uses, as shown in Figure IV-7.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

5. PLANNING AREA 6: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 6, as depicted in Figure III-17, provides for development of 24.6 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 91 dwelling units are planned at a target density of 3.7 du/ac. The maximum density may be increased to 6.0 du/ac with a 5,000 square foot minimum lot size if the planning area is designed for and restricted to senior citizen housing or if this planning area is designed as a mobile home park or subdivision. In this case, the maximum DU allowed for Planning Area 6 is 147 DU.

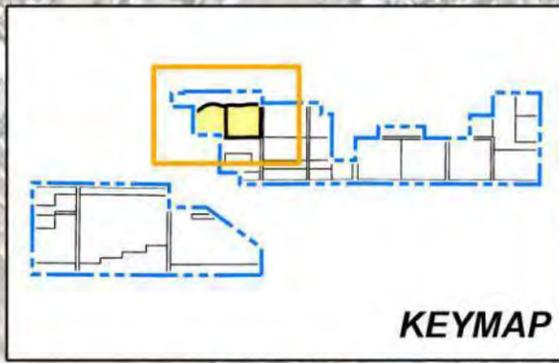
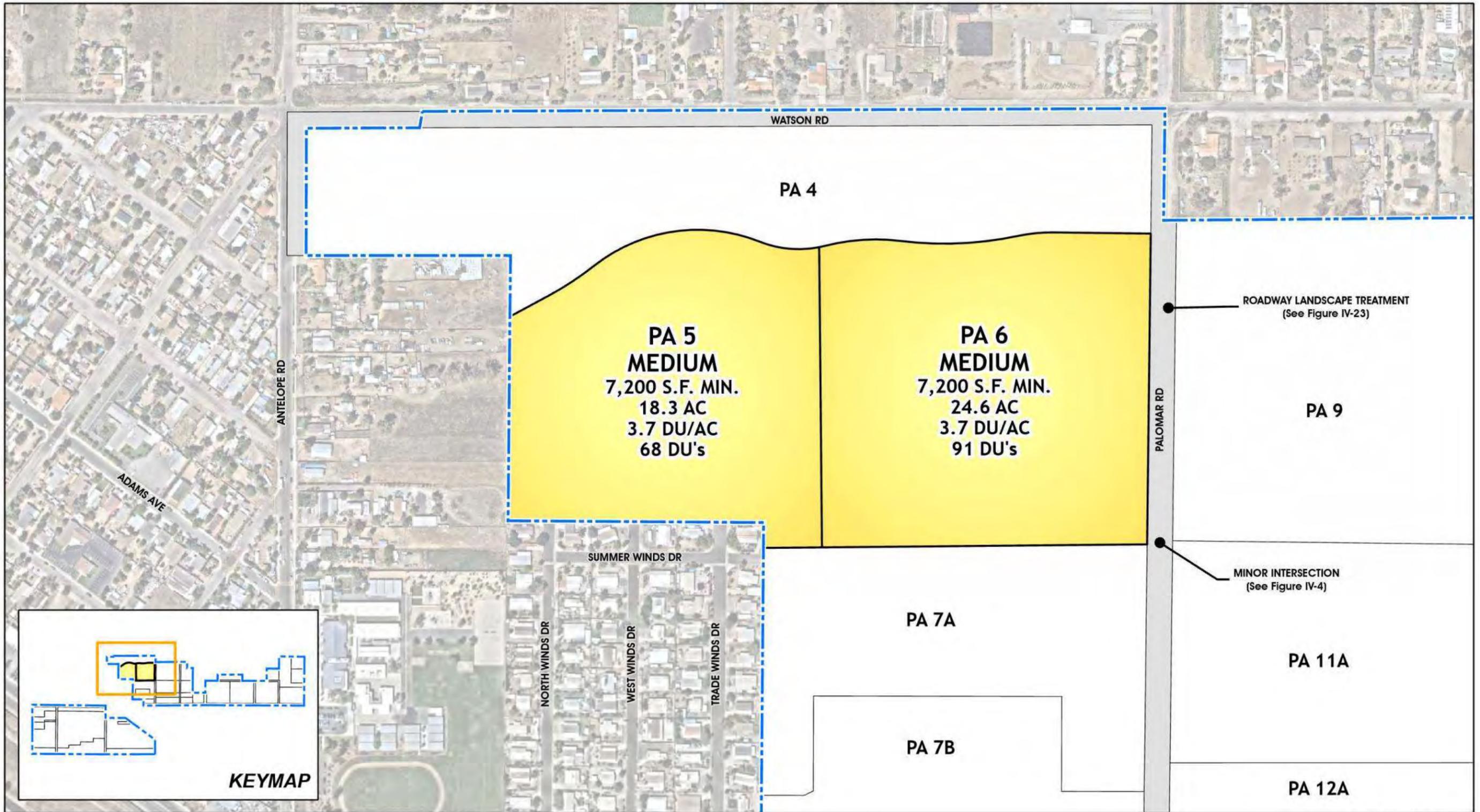
b. Land Use and Development Standards

Please refer to Table III-9A for Permitted Uses and III-9B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 6 shall be provided from Street "A" and Palomar Road.
- 2) A minor intersection statement, as shown on Figure IV-4, is shall be developed at the intersection of Palomar Road and Street "A".
- 3) A roadway landscape treatment, as depicted in Figure IV-22, shall be provided along Street "A" and Palomar Road.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCLMA (2024), Nearmap Aerial (September 2023)

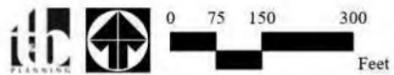


FIGURE - III-17

PLANNING AREAS 5 & 6
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-9A
PERMITTED USES
PLANNING AREAS 5 AND 6 (MEDIUM DENSITY RESIDENTIAL)***

*The Permitted Uses for Planning Areas 5 and 6 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 5	PLANNING AREA 6
P = Permitted (1) (2) • C = Conditional Use Permit • NP = Not Permitted		
One-family dwellings.	P	P
Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P	P
The noncommercial keeping of horses on lots not less than 20,000 square feet in area and 100 feet in width, provided they are kept not less than 100 feet from any street and 20 feet from any property line. A maximum of two horses per 20,000 square feet and, in any event, not more than four horses on a lot will be permitted. If a lot is one acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two acres or more in area, two sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than 100 feet from any street, 20 feet from any property line and 50 feet from any residence.	P	P
Home occupations.	P	P
The keeping or raising of not more than four (4) mature female crowing fowl (chickens only) on lots or parcels between 7,200 square feet and 39,999 square feet or not more than 12 mature female crowing fowl (chickens only) on lots of 40,000 square feet or more for the use of the occupants of the premises. The crowing fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use.	P	P
Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5. or 18.6. of County Ordinance No. 348.	P	P
The noncommercial raising of not more than one (1) miniature pig on lots from 7,200 to 19,999 square feet or not more than two (2) miniature pigs on lots of not less than 20,000 square feet, subject to the following conditions: <ul style="list-style-type: none"> a. Any person owning or having custody or control of a miniature pig over the age of four (4) months shall pay for and obtain a license from the Animal Control Department. b. Any miniature pig kept or maintained on a lot with a use permitted under Section 6.1.A.1. shall be spayed or neutered as a condition of being licensed. No license shall be issued unless the owner or custodian of the miniature pig presents a valid certificate from a veterinarian. All unaltered miniature pigs shall be subject to immediate impoundment. c. No miniature pig may weigh more than two hundred (200) pounds. d. Any person owning or having charge, care, custody or control of any miniature pig shall keep such pig exclusively upon his or her own premises, provided, however, such pig may be off such premises if under restraint of a competent 	P	P

PERMITTED USES	PLANNING AREA 5	PLANNING AREA 6
P = Permitted (1) (2) • C = Conditional Use Permit • NP = Not Permitted		
e. person. The miniature pig must be kept in an enclosure that is no closer than thirty (30) feet from the front property line, fifteen (15) feet from any side or rear property line and no closer than thirty-five (35) feet of any dwelling unit other than the dwelling unit on the subject lot.		
Future Farmers of America (FFA) or 4-H projects conducted by the occupants of the premises. Provided, however, if the project involves crowing fowl, an unexpired crowing fowl affidavit form describing the project must be on file with the Planning Director. Affidavit forms are available at the Planning Department and may be filed free of charge.	P	P
The outside storage of materials on improved lots or parcels of one-half acre to one acre provided the amount is limited to one hundred (100) square feet with a maximum height of three (3) feet and on improved lots or parcels of one acre or more provided the amount is limited to two hundred (200) square feet with a maximum height of three (3) feet.	P	P
Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.	p ⁽¹⁾	p ⁽¹⁾
Public parks and playgrounds, golf courses with standard length fairways, and country clubs.	p ⁽¹⁾	p ⁽¹⁾
Child Day Care Center.	p ⁽¹⁾	p ⁽¹⁾
Mobilehome parks, developed pursuant to Section 19.92. of County Ordinance No. 348.	C	C
Churches, temples and other places of religious worship.	p ⁽²⁾	p ⁽²⁾
Notes: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348. 2) Requires a Public Use Permit via City of Menifee, pursuant to provisions of Section 18.29 of County Ordinance No. 348.		

**TABLE III-9B
DEVELOPMENT STANDARDS
PLANNING AREAS 5 AND 6 (MEDIUM DENSITY RESIDENTIAL)***

*The Development Standards for Planning Areas 5 and 6 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREAS 5 and 6 REQUIREMENTS
Lot Size	Lot Area shall be not less than seven thousand two hundred (7,200) square feet unless the development proposed is a mobile home park or is restricted to senior citizen housing then the lot area shall be not less than five thousand (5,000) square feet. The minimum lot area shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.
Lot Width	The minimum average width of that portion of a lot to be used as a building site shall be 60 feet with a minimum average depth of 100 feet. That portion of a lot used for access on flag lots shall have a minimum width of 20 feet.
Lot Frontage	The minimum frontage of a lot shall be 60 feet, except that lots fronting on knuckles or cul-de-sac may have a minimum frontage of 35 feet. Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.
Maximum Building Height	Building height shall not exceed three stories, with a maximum height of 40 feet.
Minimum Yard Requirements	<p>The front yard shall be not less than 20 feet, measured from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure.</p> <p>Side yards on interior and through lots shall be not less than ten percent of the width of the lot, but not less than three feet in width in any event, and need not exceed a width of five feet. Side yards on corner and reversed corner lots shall be not less than ten feet from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure, upon which the main building sides, except that where the lot is less than 50 feet wide the yard need not exceed 20 percent of the width of the lot.</p> <p>Rear yards shall be not less than twenty feet (20').</p>
Encroachments	Chimneys and fireplaces shall be allowed to encroach into side yards a maximum of two feet (2'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.19 of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Lot Coverage	In no case shall more than 50% of any lot be covered by dwelling.

6. PLANNING AREA 7A: MEDIUM HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 7A, as depicted in Figure III-18, provides for development of 15.2 acres devoted to medium high density residential uses with minimum lot sizes of 4,000 square feet. A maximum total of 85 dwelling units are planned at a target density of 5.6 dwelling units per acre.

b. Land Use and Development Standards

Please refer to Table III-10A for Permitted Uses and III-10B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access to Planning Area 7A shall be provided from, Palomar Road.
- 2) Roadway landscape treatments, as illustrated in Figure IV-22, shall be established along Palomar Road.
- 3) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed development application integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

**TABLE III-10A
PERMITTED USES
PLANNING AREA 7A (MEDIUM-HIGH DENSITY RESIDENTIAL)***

*The Permitted Uses for Planning Area 7A (Medium-High Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 7A
P = Permitted (1) (2) • C = Conditional Use Permit • NP = Not Permitted	
One-family dwellings.	P
Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P
The noncommercial keeping of horses on lots not less than 20,000 square feet in area and 100 feet in width, provided they are kept not less than 100 feet from any street and 20 feet from any property line. A maximum of two horses per 20,000 square feet and, in any event, not more than four horses on a lot will be permitted. If a lot is one acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two acres or more in area, two sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than 100 feet from any street, 20 feet from any property line and 50 feet from any residence.	P
Home occupations.	P
The keeping or raising of not more than four (4) mature female crowing fowl (chickens only) on lots or parcels between 7,200 square feet and 39,999 square feet or not more than 12 mature female crowing fowl (chickens only) on lots of 40,000 square feet or more for the use of the occupants of the premises. The crowing fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use.	P
Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5. or 18.6. of County Ordinance No. 348.	P
The noncommercial raising of not more than one (1) miniature pig on lots from 7,200 to 19,999 square feet or not more than two (2) miniature pigs on lots of not less than 20,000 square feet, subject to the following conditions: <ul style="list-style-type: none"> a. Any person owning or having custody or control of a miniature pig over the age of four (4) months shall pay for and obtain a license from the Animal Control Department. b. Any miniature pig kept or maintained on a lot with a use permitted under Section 6.1.A.1. shall be spayed or neutered as a condition of being licensed. No license shall be issued unless the owner or custodian of the miniature pig presents a valid certificate from a veterinarian. All unaltered miniature pigs shall be subject to immediate impoundment. c. No miniature pig may weigh more than two hundred (200) pounds. d. Any person owning or having charge, care, custody or control of any miniature pig shall keep such pig exclusively upon his or her own premises, provided, however, such pig may be off such premises if under restraint of a competent person. e. The miniature pig must be kept in an enclosure that is no closer than thirty (30) feet from the front property line, fifteen (15) feet from any side or rear property line and no closer than thirty-five (35) feet of any dwelling unit other than the dwelling unit on the subject lot. 	P
Future Farmers of America (FFA) or 4-H projects conducted by the occupants of the premises. Provided, however, if the project involves crowing fowl, an unexpired crowing fowl affidavit form describing the project must be on file with the Planning Director. Affidavit forms are available at the Planning Department and may be filed free of charge.	P

PERMITTED USES	PLANNING AREA 7A
P = Permitted (1) (2) • C = Conditional Use Permit • NP = Not Permitted	
The outside storage of materials on improved lots or parcels of one-half acre to one acre provided the amount is limited to one hundred (100) square feet with a maximum height of three (3) feet and on improved lots or parcels of one acre or more provided the amount is limited to two hundred (200) square feet with a maximum height of three (3) feet.	P
Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.	P ⁽¹⁾
Public parks and playgrounds, golf courses with standard length fairways, and country clubs.	P ⁽¹⁾
Child Day Care Center.	P ⁽¹⁾
Mobilehome parks, developed pursuant to Section 19.92. of County Ordinance No. 348.	C
Churches, temples and other places of religious worship.	P ⁽²⁾
Notes: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348. 2) Requires a Public Use Permit via City of Menifee, pursuant to provisions of Section 18.29 of County Ordinance No. 348.	

TABLE III-10B
DEVELOPMENT STANDARDS
PLANNING AREA 7A (MEDIUM-HIGH DENSITY RESIDENTIAL)*

*The Development Standards for Planning Area 7A (Medium-High Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 7A REQUIREMENTS
Lot Size	Lot area shall be not less than four thousand (4,000) square feet. The minimum lot area shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.
Lot Width	The minimum average width of that portion of a lot to be used as a building site shall be forty feet (40') with a minimum average depth of ninety feet (90').
Lot Frontage	The minimum frontage of a lot shall be forty feet (40'), except that lots fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35'). Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.
Maximum Building Height	Building height shall not exceed three stories, with a maximum height of 40 feet.
Minimum Yard Requirements	The front yard shall be not less than ten feet (10'), measured from the sidewalk.
	Side yards on interior and through lots shall be not less than five feet (5') in width. Side yards on corner and reversed corner lots shall be not less than five feet (5') from the existing street line or from any future street line as shown on any specific plan of highways.
	There is no minimum rear yard area.
	The minimum garage setback from the private drive is three feet (3'). The minimum distance from garage door to garage door is thirty feet (30'). The minimum distance between buildings is ten feet (10').
Encroachments	Chimneys, media niches and fireplaces shall be allowed to encroach into side yards a maximum of two and a half feet (2.5').
	Front yard porches shall not be allowed to encroach into front yards a maximum of five feet (5').
	Side yard porches shall be allowed to encroach into side yards a maximum of three feet (3').
	Balconies and decks shall be allowed to encroach into rear yards a maximum of two and a half feet (2'-6").
	No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.19 of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Lot Coverage	In no case shall more than 50% of any lot be covered by dwelling.
	Additional Standard: In no case shall more than sixty-five percent (65%) of any lot be covered by buildings and paving for lots with one and two-story buildings.

7. PLANNING AREA 7B: HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 7B, as depicted in Figure III-18, provides for development of 11.9 acres devoted to high density residential uses with garden court homes. A maximum total of 87 dwelling units are planned at a target density of 7.3 dwelling units per acre. Planning Area 7B shall also include a private recreation center, uses may include but are not limited to a recreation building, play equipment, a tot-lot and a pool. The recreation center's uses will be mainly passive with the exception of pool uses.

b. Land Use and Development Standards

Please refer to Table III-11A for Permitted Uses and III-11B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access to Planning Area 7B shall be provided from, Palomar Road.
- 2) Roadway landscape treatments, as illustrated in Figure IV-22, shall be established along Palomar Road.
- 3) In conjunction with the first implementing development application submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan

**TABLE III-11A
PERMITTED USES
PLANNING AREA 7B (GARDEN COURTS)***

*The Permitted Uses for Planning Area 7B (Garden Courts) are based on Article VIII, Section 8.1 (General Residential – R-3 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 7B
P = Permitted • C = Conditional Use Permit • NP = Not Permitted	
One-family dwellings.	P
Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P
The noncommercial keeping of horses on lots not less than 20,000 square feet in area and 100 feet in width, provided they are kept not less than 100 feet from any street and 20 feet from any property line. A maximum of two horses per 20,000 square feet and, in any event, not more than four horses on a lot will be permitted. If a lot is one acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two acres or more in area, two sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than 100 feet from any street, 20 feet from any property line and 50 feet from any residence.	P
Public parks and playgrounds, golf courses with standard length fairways, and country clubs.	P
Home occupations.	P
On-site signs, affixed to building walls, stating the name of the structure, use, or institution, not to exceed five percent of the surface area of the exterior face of the wall upon which the sign is located.	P
One-family dwellings developed as restricted single-family residential subdivisions, subject to the development standards of Section 7.11. of County Ordinance No. 348. The provisions of Section- 8.2. of County Ordinance No. 348 shall not be applicable to developments under this permitted use.	P
Accessory buildings, to a specific permitted use, provided that the accessory building is established as an incident to a principal use and does not change the character of that use.	P
Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5. or 18.6. of County Ordinance No. 348.	P
Two family dwellings, multiple family dwellings, bungalow courts and apartment houses.	P
Boarding, rooming and lodging houses.	P
Churches, educational institutions, public libraries, museum and art galleries not operated for compensation or profit.	P
Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.	P
Congregate care residential facilities.	P
Beauty shops operated from a home by its inhabitants where no assistants are employed and the on-site sign is unlighted and does not exceed two square feet in area.	P
Nurseries, horticultural.	P
Fraternity and sorority houses.	P
Hotels, resort hotels, and motels.	P
Institutions for the aged licensed by the California State Department of Social Welfare or the County Department of Public Welfare.	P

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PERMITTED USES	PLANNING AREA 7B
P = Permitted • C = Conditional Use Permit • NP = Not Permitted	
Offices, including medical, dental, chiropractic law offices, architectural, engineering, community planning and real estate; provided there is no outdoor storage of materials, equipment, or vehicles, other than passenger cars.	P
Churches, temples, and other places of religious worship.	P
The keeping or raising of not more than four (4) mature female crowing fowl (chickens only) on single family residential lots or parcels between 7,200 square feet and 39,999 square feet or not more than 12 mature female crowing fowl (chickens only) on single family residential lots of 40,000 square feet or more for the use of the occupants of the premises. The crowing fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use.	P
Future Farmers of America (FFA) or 4-H projects conducted by the occupants of the premises. Provided, however, if the project involves crowing fowl, an unexpired crowing fowl affidavit form describing the project must be on file with the Planning Director. Affidavit forms are available at the Planning Department and may be filed free of charge.	P
Parking area for commercial uses.	C
Mobilehome parks, developed pursuant to Section 19.92. of County Ordinance No. 348.	C
Congregate care residential facilities, developed pursuant to Section 19.103. of County Ordinance No. 348.	C
The outside storage of materials on improved lots or parcels of one-half acre to one acre provided the amount is limited to one hundred (100) square feet with a maximum height of three (3) feet and on improved lots or parcels of one acre or more provided the amount is limited to two hundred (200) square feet with a maximum height of three (3) feet.	C

**TABLE III-11B
DEVELOPMENT STANDARDS
PLANNING AREA 7B (GARDEN COURTS)***

*The Development Standards for Planning Area 7B (Garden Courts) are based on Article VIII, Section 8.1 (General Residential – R-3 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 7B REQUIREMENTS
Lot Size	The minimum lot area shall be 7,200 square feet with a minimum average width of 60 feet and a minimum average depth of 100 feet, unless different minimums are specifically required in a particular area.
Unit Area ⁽¹⁾	The minimum unit area within a lot shall be one thousand two hundred (1,200) square feet. The minimum width of a unit area within a lot shall be forty feet (40') with a minimum depth of thirty feet (30').
Floor Area Ratio	The maximum ratio of floor area to lot area shall not be greater than two to one, not including basement floor area.
Maximum Building Height	All buildings and structures shall not exceed 50 feet in height, unless a height up to 75 feet is specifically permitted under the provisions of Section 18.34. of County Ordinance No. 348.
Minimum Yard Requirements	The front yard shall be not less than ten feet (10'), measured from the sidewalk. Side yards on interior units shall be not less than five feet (5') in width. Side yards on corner and reversed corner units shall be not less than five feet (5') from the sidewalk. There shall be no minimum setback for the rear yard. The minimum garage setback from the private drive is three feet (3'). The minimum distance from garage door to garage door is thirty feet (30'). The minimum distance between buildings is eight feet (8').
Encroachments	Chimneys, media niches and fireplaces shall be allowed to encroach into side yards a maximum of two and a half feet (2.5'). Front yard porches shall not be allowed to encroach into front yards setbacks. Side yard porches shall be allowed to encroach into side yards a maximum of three feet (3'). Balconies and decks shall be allowed to encroach into rear yards a maximum of two and a half feet (2.5'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.19 of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Lot Coverage	In no case shall more than sixty-five percent (65%) of any lot be covered by buildings and paving for lots with one and two-story buildings.
NOTE:	
1) A unit area is defined as an exclusive use area, which includes the building footprint and private yard area and excludes common open space area on a lot.	

8. PLANNING AREA 8: COMMERCIAL

a. Descriptive Summary

Planning Area 8, as depicted in Figure III-18, provides for the development of 3.3 acres devoted to Commercial uses.

b. Land Use and Development Standards

Please refer to Table III-12A for Permitted Uses and III-12B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

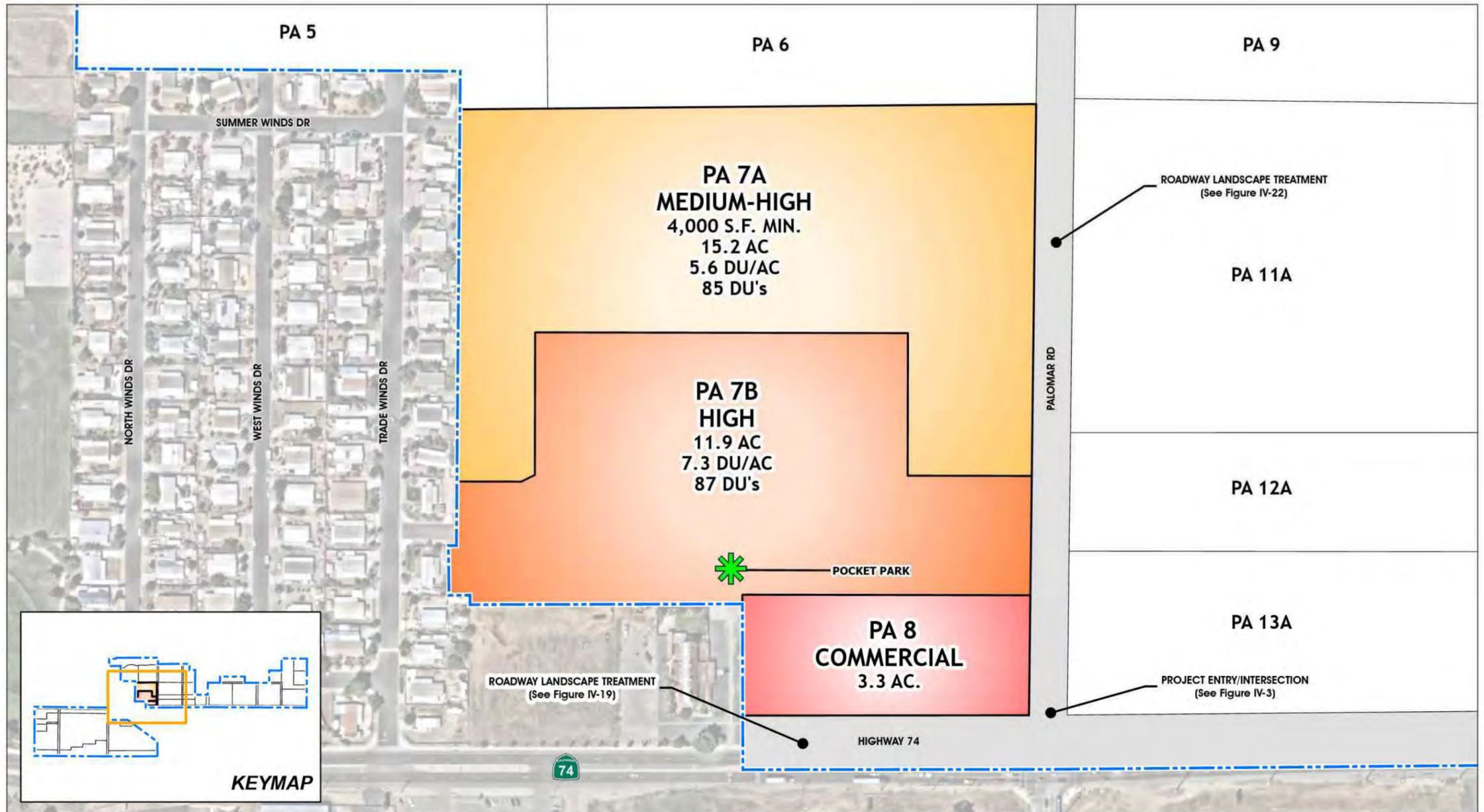
c. Planning Standards

- 1) Primary access to Planning Area 8 shall be provided from Palomar Road and Highway 74 (as approved by CalTrans).
- 2) A project entry/intersection statement, as depicted on Figure IV-3, shall be developed at the intersection of Palomar Road and Highway 74.

Roadway landscape treatments, as illustrated in Figures IV-19 and 23, shall be established along Highway 74 and Palomar Road, respectively.

- 3) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

FIGURE - III-18



PLANNING AREAS 7A, 7B, & 8

III. SPECIFIC PLAN

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**TABLE III-12A
PERMITTED USES
PLANNING AREA 8 (COMMERCIAL)***

*The Permitted Uses for Planning Area 8 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 8
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
SERVICE AND COMMERCIAL	Ambulance services.	p ⁽¹⁾
	Animal hospitals.	C
	Antique shops.	p ⁽¹⁾
	Appliance stores, household.	p ⁽¹⁾
	Art supply shops and studios.	p ⁽¹⁾
	Auditoriums and conference rooms.	p ⁽¹⁾
	Automobile repair garages, body shops, spray painting shops.	C
	Automobile sales and rental agencies.	C
	Bakery goods distributors.	p ⁽¹⁾
	Bakery shops, including baking only when incidental to retail sales on the premises.	p ⁽¹⁾
	Banks and financial institutions.	p ⁽¹⁾
	Barber and beauty shops.	p ⁽¹⁾
	Bars and cocktail lounges.	p ⁽¹⁾
	Bicycle sales and rentals.	p ⁽¹⁾
	Billiard and pool halls.	p ⁽¹⁾
	Blueprint and duplicating services.	p ⁽¹⁾
	Boat sales, rentals and services.	C
	Book stores and binders.	p ⁽¹⁾
	Bowling alleys.	p ⁽¹⁾
	Car washes.	C
	Catering services.	p ⁽¹⁾
	Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	p ⁽¹⁾
Cleaning and dyeing shops.	p ⁽¹⁾	
Clothing stores.	p ⁽¹⁾	
Confectionery or candy stores.	p ⁽¹⁾	

USE CATEGORY	PERMITTED USES	PLANNING AREA 8
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Convenience stores, including the sale of motor vehicle fuel.	C
	Costume design studios.	P ⁽¹⁾
	Dance halls.	P ⁽¹⁾
	Delicatessens.	P ⁽¹⁾
	Department stores.	P ⁽¹⁾
	Drive-in theaters.	C
	Drug stores.	P ⁽¹⁾
	Dry goods stores.	P ⁽¹⁾
	Electrical substations.	P ⁽¹⁾
	Employment agencies.	P ⁽¹⁾
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding 20 cubic feet in capacity and other similar equipment.	C
	Escort bureaus.	P ⁽¹⁾
	Feed and grain sales.	P ⁽¹⁾
	Fishing and casting pools.	NP
	Florist shops.	P ⁽¹⁾
	Food markets and frozen food lockers.	P ⁽¹⁾
	Gasoline and diesel service stations, not including the concurrent sale of beer and wine for off-premises consumption.	P ⁽¹⁾
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	C
	Gift shops.	P ⁽¹⁾
	Hardware stores.	P ⁽¹⁾
	Heliports.	C
	Household goods sales and repair, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios, and television sets, including repair thereof.	P ⁽¹⁾
	Hobby shops.	P ⁽¹⁾
	Ice cream shops.	P ⁽¹⁾
	Ice sales, not including ice plants.	P ⁽¹⁾
	Interior decorating shops.	P ⁽¹⁾
	Jewelry stores with incidental repairs.	P ⁽¹⁾
	Labor temples.	P ⁽¹⁾
	Laboratories, film, medical, research, or testing.	P ⁽¹⁾
	Laundries and laundromats.	P ⁽¹⁾

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USE CATEGORY	PERMITTED USES	PLANNING AREA 8
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Leather goods stores.	p ⁽¹⁾
	Liquid petroleum service stations, with or without the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	C
	Liquor stores pursuant to the provisions of Section 18.48. (Alcoholic Beverage Sales) of County Ordinance No. 348.	C
	Locksmith shops.	p ⁽¹⁾
	Mail order businesses.	p ⁽¹⁾
	Manufacturer's agent.	p ⁽¹⁾
	Market, food, wholesale or jobber.	p ⁽¹⁾
	Massage parlors, Turkish baths, health centers and similar personal service establishments.	NP
	Meat markets, not including slaughtering.	p ⁽¹⁾
	Mimeographing and addressograph services.	p ⁽¹⁾
	Mobilehomes, provided they are kept mobile and licensed pursuant to State law, use For: <ul style="list-style-type: none"> a. Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, providing they are inconspicuously located. b. Agricultural worker employment offices for a maximum of 90 days in any calendar year. c. Caretakers or watchmen and their families provided no rent is paid, where a permitted and existing commercial use is established. Not more than one mobilehome shall be allowed for a parcel of land or a shopping center complex. 	p ⁽¹⁾
	Mortuaries.	C
	Music stores.	p ⁽¹⁾
	News stores.	p ⁽¹⁾
	Notions or novelty stores.	p ⁽¹⁾
	Nurseries and garden supply stores.	p ⁽¹⁾
	Offices, businesses.	p ⁽¹⁾
	One on-site operator's residence, which may be located in a commercial building.	p ⁽¹⁾
	Paint and wall paper stores, not including paint contractors.	p ⁽¹⁾
	Parking lots and parking structures.	p ⁽¹⁾
	Parolee-Probationer Home developed in accordance with the standards set forth in Section 18.52. of County Ordinance No. 348.	C
	Pawn shops.	NP
	Pet shops and pet supply shops.	p ⁽¹⁾
	Photography shops and studios and photo engraving.	p ⁽¹⁾
	Plumbing shops, not including plumbing contractors.	p ⁽¹⁾
	Poultry markets, not including slaughtering or live sales.	p ⁽¹⁾

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USE CATEGORY	PERMITTED USES	PLANNING AREA 8
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Printers or publishers.	p ⁽¹⁾
	Produce markets.	p ⁽¹⁾
	Radio and television broadcasting studios.	p ⁽¹⁾
	Recording studios.	p ⁽¹⁾
	Refreshment stands.	p ⁽¹⁾
	Restaurants and other eating establishments.	p ⁽¹⁾
	Sale, rental, repair, or demonstration of motorcycles, scooters or motorbikes of two horsepower or greater.	C
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.	p ⁽¹⁾
	Shoe stores and repair shops.	p ⁽¹⁾
	Shoeshine stands.	p ⁽¹⁾
	Signs, on-site advertising.	p ⁽¹⁾
	Solar power plant on a lot 10 acres or larger.	C
	Sports and recreational facilities, not including motor-driven vehicles and riding academies, but including archery ranges, athletic fields, beaches, golf driving ranges, gymnasiums, miniature golf, parks, playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.	C
	Sporting goods stores.	p ⁽¹⁾
	Stained glass assembly.	p ⁽¹⁾
	Stationery stores.	p ⁽¹⁾
	Stations, bus, railroad and taxi.	p ⁽¹⁾
	Taxidermist.	p ⁽¹⁾
	Tailor shops.	p ⁽¹⁾
	Telephone exchanges.	p ⁽¹⁾
	Theaters, not including drive-ins.	p ⁽¹⁾
	Tire recapping.	C
	Tire sales and services, not including recapping.	C
	Tobacco shops.	p ⁽¹⁾
	Tourist information centers.	p ⁽¹⁾
	Toy shops.	p ⁽¹⁾
	Trailer and boat storage.	C
	Travel agencies.	p ⁽¹⁾
	Travel trailers, mobilehomes and recreational vehicles sales and service.	C
	Truck sales and services.	C
	Trucks and trailers; the rental of trucks not over 19,500 pounds gross weight, with	C

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USE CATEGORY	PERMITTED USES	PLANNING AREA 8
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	body not to exceed 22 feet in length from the back of the cab to the end of the body; and the rental of trailers not exceeding six feet in width or 22 feet in length.	
	Typewriter sales and rental and incidental repairs.	P ⁽¹⁾
	Underground bulk fuel storage.	C
	Watch repair shops.	P ⁽¹⁾
	Wedding chapels.	P ⁽¹⁾
	Wholesale businesses with samples on the premises, but not to include storage.	P ⁽¹⁾
	Recycling collection facilities.	P ⁽¹⁾
	Golf cart sales and service.	P ⁽¹⁾
	Hotels, resort hotels and motels.	P ⁽¹⁾
	Day care centers.	P ⁽¹⁾
	Convenience stores, not including the sale of motor vehicle fuel.	P ⁽¹⁾
	Churches, temples and other places of religious worship.	P ⁽¹⁾
Accessory Uses	Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and providing any such related activity does not exceed any of the following restrictions	P ⁽¹⁾
	All uses permitted with Plot Plan that have more than 200 square feet of outside storage of display of materials.	C
	The uses listed in Subsections above do not include sex-oriented businesses.	
	Any use that is not specifically listed above may be considered a permitted or conditionally permitted use providing that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed above. Such a use is subject to the permit process which governs the category in which it falls.	
	Industrial Hemp Activities are permitted or conditionally permitted in subsections A., B., or C. in Section 9.50 pursuant to the provisions set forth in Article XIXm of County Ordinance No. 348 including, but not limited to, permit processing, location, standards and approval requirements.	
	Planned commercial developments are permitted provided a land division has been approved pursuant to County Ordinance No. 460.	
Notes: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348.		

**TABLE III-12B
DEVELOPMENT STANDARDS
PLANNING AREA 8 (COMMERCIAL)***

*The Development Standards for Planning Area 8 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 8 REQUIREMENTS
Lot Size	There is no minimum lot area requirement, unless specifically required by zone classification for a particular area.
Maximum Building Height	No building or structure shall exceed fifty (50') feet in height, unless a greater height is approved pursuant to Section 18.34. of County Ordinance No. 348. In no event, however, shall a building or structure exceed seventy-five (75') feet in height, unless a variance is approved pursuant to Section 18.27. of County Ordinance No. 348.
Building Setbacks	There are no yard requirements for buildings which do not exceed 35 feet in height, except as required for specific plans. Any portion of a building which exceeds 35 feet in height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback. Each side setback shall be measured from the side lot line or from an existing adjacent street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Mechanical Equipment	All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.

9. PLANNING AREA 9: MEDIUM HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 9, as depicted in Figure III-19, provides for development of 29.4 acres of Medium High Density residential uses with minimum lot sizes of 4,300 square feet. A maximum total of 170 dwelling units are planned at a target density of 5.8 du/ac. Planning Area 9 shall also include a small tot lot, which may include play equipment, a shaded picnic court, and open field or lawn. Planning Area 9 abuts a planned 12.5-acre park within Planning Area 10 and will provide connection to the park via sidewalks.

b. Land Use and Development Standards

Please refer to Table III-13A for Permitted Uses and III-13B for Development Standards. Other uses not listed shall not be permitted.

c. Planning Standards

- 1) Access to Planning Area 9 shall be provided from Palomar Road and Junipero Road.
- 2) A roadway landscape treatment, as depicted in Figure IV-23, *Modified Secondary Road Streetscape – Palomar Road (PA9) and Watson Road (PA22)*, shall be provided along Palomar Road.
- 3) A roadway landscape treatment, as depicted in Figure IV-24, *Collector Streetscape – Junipero Road (PA 9)*, shall be provided along Junipero Road.
- 4) A special landscape treatment shall be established between the residential uses in Planning Area 9 and the adjacent existing residential uses, as shown on Figure IV-8, *Residential (PA 9)/Adjacent Existing Residential Interface*.
- 5) Tree plantings are prohibited on the western boundary of Planning Area 9, along Palomar Road, in conformance with the existing SCE easement development restrictions.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan

TABLE III-13A
PERMITTED USES
PLANNING AREA 9 (MEDIUM-HIGH DENSITY RESIDENTIAL)

<u>USE CATEGORY</u>	<u>PERMITTED USES</u>	<u>PLANNING AREA 9</u>
<u>P = Permitted (1) • C = Conditional Use Permit</u>		
<u>RESIDENTIAL</u>	<u>Accessory Dwelling Units (ADU).</u>	<u>p⁽¹⁾</u>
	<u>Bed and breakfast establishment.</u>	<u>C</u>
	<u>Congregate care facilities.</u>	<u>C</u>
	<u>Family day care home, small.</u>	<u>P</u>
	<u>Groups residential facility, six or fewer residents.</u>	<u>P</u>
	<u>Guest house, accessory to single-family detached.</u>	<u>p⁽¹⁾</u>
	<u>Home occupation.</u>	<u>p⁽¹⁾</u>
	<u>Single-family detached.</u>	<u>P</u>
<u>NON-RESIDENTIAL</u>	<u>Parks and recreation areas.</u>	<u>P</u>
	<u>Public utility facilities.</u>	<u>C</u>
	<u>Temporary real estate tract offices.</u>	<u>P</u>
	<u>Waterbodies, flood control facilities, including drainage channels, basins, access roads, and any other drainage infrastructure improvements.</u>	<u>P</u>
<u>NOTES:</u>		
1) Additional approvals may be required pursuant to provisions of Chapter 9.35 of the City Zoning Ordinance.		

TABLE III-13B
DEVELOPMENT STANDARDS
PLANNING AREA 9 (MEDIUM-HIGH RESIDENTIAL)*

<u>DEVELOPMENT STANDARD</u>	<u>PLANNING AREA 9 REQUIREMENTS</u>
<u>LOT DIMENSIONS (MINIMUM)</u>	
<u>Lot Area (Sq. Ft)</u>	<u>4,300</u>
<u>Lot Width (Feet)</u>	<u>48</u>
<u>Lot Depth (Feet)</u>	<u>90</u>
<u>Frontage (Feet)</u>	<u>40</u>
<u>Frontage for a Cul-De-Sac or Knuckle (Feet)⁽¹⁾</u>	<u>35⁽²⁾</u>
<u>SETBACKS (MINIMUM)⁽³⁾</u>	
<u>Front Yard to Livable Space or Porch (Feet)</u>	<u>15 to Living Space</u> <u>10 to Porch</u>
<u>Front Yard to Garage Door (Feet)</u>	<u>20</u>
<u>Front Yard to Side-On Garage Door (Feet)</u>	<u>10</u>
<u>Corner Side Yard (Feet)</u>	<u>10; or 5', if corner side yard abuts a landscape slope.</u> <u>In no case shall setback be less than 10' when measured from</u> <u>right-of-way.</u>
<u>Interior Side Yard (Feet)</u>	<u>5</u>
<u>Rear Yard (Feet)</u>	<u>15' with a minimum 10' level area</u>
<u>BUILDING HEIGHT (MAXIMUM)</u>	
<u>Building Height (Feet)</u>	<u>50</u>
<u>BUILDING COVERAGE (MAXIMUM)</u>	
<u>Building Coverage (Percent)</u>	<u>60% (One-story)</u> <u>55% (Two-story)</u>
<u>OPEN SPACE COVERAGE (MINIMUM)</u>	
<u>Open Space</u>	<u>Exempt (See Quimby Parkland Requirements in Section III.5 of</u> <u>the Specific Plan)</u>
<u>Private Open Space/Unit (Sq. Ft)</u>	<u>100</u>
<u>ADDITIONAL STANDARDS</u>	
<u>Required Parking</u>	<u>Automobile storage space shall be provided as required by</u> <u>Section 9.215 of the City of Menifee Zoning Code.</u>
<u>NOTES:</u>	
<p>1) <u>Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.</u></p> <p>2) <u>Total frontage for knuckles shall not be less than 35 feet.</u></p> <p>3) <u>Setback encroachment allowances for architectural features and accessory structures can be found in 9.160.030 of the City of Menifee Development Code.</u></p>	

10. PLANNING AREA 10: COMMUNITY PARK

a. Descriptive Summary

Planning Area 10, as depicted in Figure III-19, provides for the development of a 10-acre Community Park, abutting residential Planning Areas 9 and 11B to the east and north, respectively. Planning Area 10 (12.5 acres) contains an approximate 2.5-acre easement granted by Southern California Edison, which will be excluded from the development of a larger Community Park.

The eastern portion of the Community Park will be landscaped and may include uses such as picnic areas, tot lots, restrooms and parking facilities. In addition, this portion of the Community Park may include two or more of the following: exercise course, playfield, basketball (half-court), sand volleyball court, soccer field, baseball field, group barbeque or shade arbor. The western portion of the park is within an easement granted by Southern California Edison, and provides a trail and an open turf area for passive recreational uses and informal play. A conceptual site plan is provided in Section IV, Design Guidelines, (Figure IV-28).

b. Land Use and Development Standards

Please refer to Table III-14A for Permitted Uses and III-14B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 10 shall be provided from Junipero Road and local access roads.
- 2) A special landscape treatment, as depicted on Figure IV-11, shall be established between the Community Park in Planning Area 10 and the existing adjacent residential uses to the north.
- 3) A portion of a Southern California Edison easement which forms the western boundary for Planning Area 10 will be included as a passive use portion of the Community Park for Planning Area 10, except for the 2.5-acre portion shown in Figure IV-27, *Community Park Site Plan Concept (PA 10)*. All development applications filed for this planning area must conform with all applicable SCE easement restrictions.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan	III. A.6: Grading Plan
III.A.2: Circulation Plan	III. A.7: Landscape Plan
III.A.3: Drainage Plan	III. A.8.: Public Facilities Phasing Plan
III.A.4: Water and Sewer Plans	III. A.9.: Phasing Plan
III.A.5: Open Space and Recreation Plan	

**TABLE III-14A
PERMITTED USES
PLANNING AREA 10 (COMMUNITY PARK)***

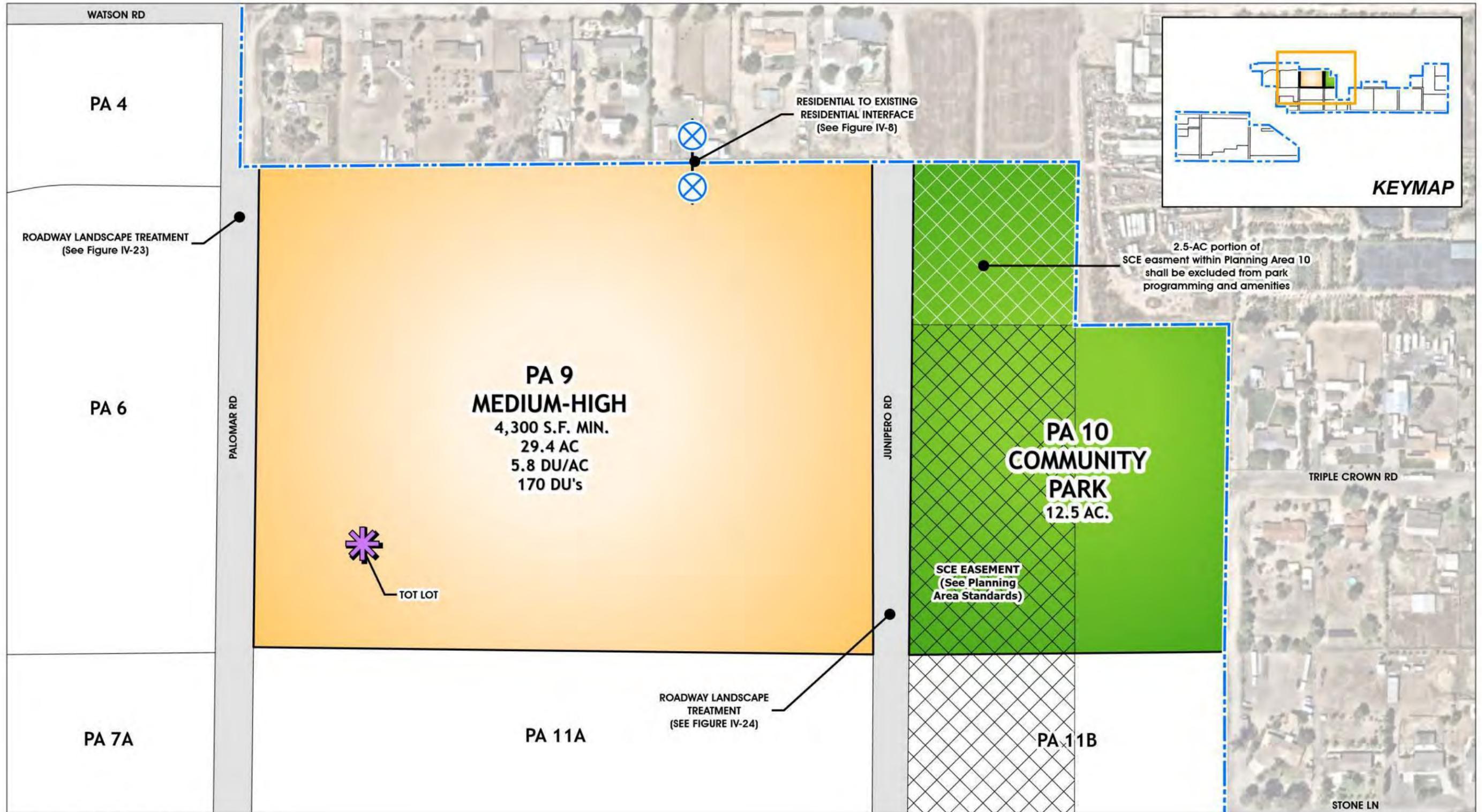
*The Permitted Uses for Planning Area 10 (Community Park) are based on Article VIIIe, Section 8.100 (Open Area Combining Zone-Residential Developments – R-5 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 10
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted	
Golf courses and appurtenant facilities, including clubhouses. A clubhouse is permitted to have customary retail shop and restaurant facilities.	NP
Noncommercial community association recreation and assembly buildings and facilities.	NP
Lakes, including noncommercial fishing there from.	NP
Picnic grounds.	NP
Parking lots, only for above-listed permitted uses, pursuant to the provisions of Section 18.12. of County Ordinance No. 348, except that not less than five percent of the interior of such parking lots shall have distributed landscaping in addition to the landscaping requirements of Section 18.12. of County Ordinance No. 348.	NP
Water wells and appurtenant facilities.	NP
Cemetery, pet or human.	NP
Child Day Care Center.	NP
Riding academies and stables.	NP
Churches, temples and other places of religious worship.	p ⁽¹⁾
Notes:	
1) Requires Public Use Permit via City of Menifee, pursuant to provisions of Section 18.29 of County Ordinance No. 348.	

**TABLE III-14B
DEVELOPMENT STANDARDS
PLANNING AREA 10 (COMMUNITY PARK)***

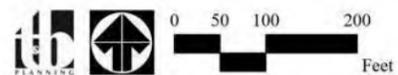
*The Development Standards for Planning Area 10 (Community Park) are based on Article VIIIe, Section 8.100 (Open Area Combining Zone-Residential Developments – R-5 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 10 REQUIREMENTS
Lot Size	This zone is to be applied to those areas within subdivisions and other residential developments that provide open space and recreational area and facilities for the project. Therefore, no minimum lot size is established for the zone.
Maximum Building Height	All buildings and structures shall not exceed 50 feet in height, unless a height up to 75 feet is specifically permitted under the provisions of Section 18.34. of County Ordinance No. 348.
Minimum Yard Requirements	Whenever a building is to be constructed on a lot in this zone, it shall have a front yard, side yard and rear yard, each of which shall be not less than 50 feet. If more than one building is constructed on one lot, there shall be not less than 20 feet separation between the buildings.
Encroachments	No structural encroachments shall be permitted in the front, side, or rear yard except as provided for in Section 18.19. of County Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Trash Areas	All trash collection areas shall be enclosed with a solid fence or wall no less than six feet high.



Source(s): Esri, RCLMA (2024), Nearmap Aerial (September 2023)

FIGURE - III-19



PLANNING AREAS 9 & 10
 III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

11. PLANNING AREAS 11A AND 11B: VERY HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 11, as depicted in Figures III-20 and III-21, is divided into two parts: PA 11A (19.6 acres) west of Junipero Road, and PA 11B (9.8 acres) east of Junipero Road. Planning Area 11B contains 4.9 acres of an easement granted by Southern California Edison, which may be excluded from developable area. Together, Planning Areas 11A and 11B provide for approximately 29.4 gross acres or 24.4 net acres (586 Units) devoted to Multi Family housing uses.

Development of Planning Area 11A may encroach into Planning Area 12A and development of Planning Area 11B may encroach into Planning Area 12B. At that time, the parcels within Planning Area 12 that are included in the Planning Area 11 development will be subject to all standards of Planning Area 11. Refer to Planning Standards for restrictions on PA 11 encroachments into PA 12.

b. Land Use and Development Standards

Please refer to Table III-15A for Permitted Uses and III-15B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

Residential density includes only the number of residential units and does not consider the square footage of each unit or any non-residential square footage such as freestanding garage facilities, recreation facilities, management office facilities and maintenance facilities. Residential density is calculated by dividing the sum of the number of units proposed on an individual parcel by the total area of the parcel in gross acres. Landscape shall conform to the City Adopted landscape Guidelines.

c. Planning Standards

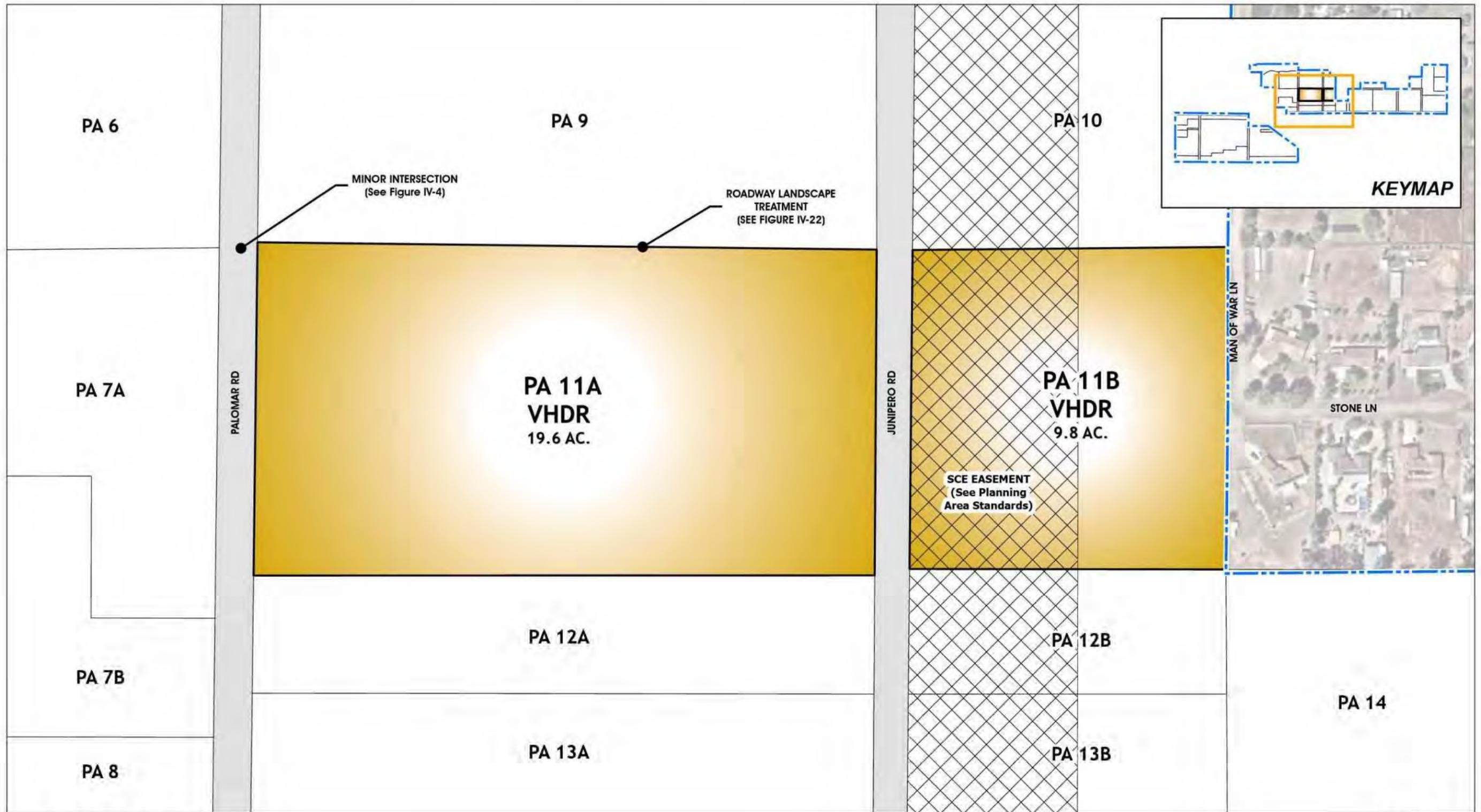
- 1) Primary access to Planning Area 11 shall be provided from Palomar Road to Junipero Road.
- 2) A roadway landscape treatment, as illustrated in Figure IV-22, shall be established along Junipero Road and Palomar Road.
- 3) Please refer to Residential Design Guidelines (Section IV.F), for design-related criteria.
- 4) Common Open Space Standards
 - a. Common Area Open Space shall be provided at a rate per square foot of usable space per bedroom or studio unit as required in Table VIII-B.
 - b. The Open Space shall:
 - i. be located on the same lot as the dwelling unit for which it is required.
 - ii. be level and improved, that is, have suitable landscaping and hardscaping.
 - iii. include no obstructions other than structures and amenities such as swimming pools, fountains, benches, sports courts, playground apparatus, and landscaping.

iv. be open on at least one side and have a clear vertical height of at least seven (7) feet, with at least 50% of the total required usable open space to the sky.

- 5) Amenities and structures shall only cover up to a maximum of 50% of the total required usable open space area. Other structures that do not relate to enhancing the enjoyment of outdoor open space (carports, and storage sheds, for example) are not qualified as usable open space.
- 6) The Common Area shall be directly accessible to all units within a multiple-family residential project. An individual space shall be at least 300 square feet in size, with no dimension less than 15 feet. Common Area may include amenities such as swimming pools, cabanas, tennis courts, sport courts, play fields, roof top gardens, etc.
- 7) Private Open Space shall be provided per the standards Table within III-15B. It may include balconies, decks, porches, patios, or yards.
- 8) A Southern California Edison easement is located within the property boundary for Planning Area 11B. The existing SCE easement is included within Planning Areas 11B, 12B, and 13B in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins, circulation, parking and for passive recreation uses subject to the approval of SCE. The SCE Easement shall not be allowed to be included in density or intensity calculations at implementation phase.
- 9) Please refer to Section III.A for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans

III. A.5: Open Space and Recreation Plan
III. A.6: Grading Plan
III. A.7.: Landscaping Plan
III. A.8.: Public Facilities Phasing Plan
III. A.9.: Phasing Plan



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

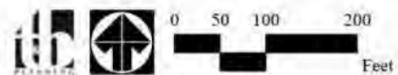
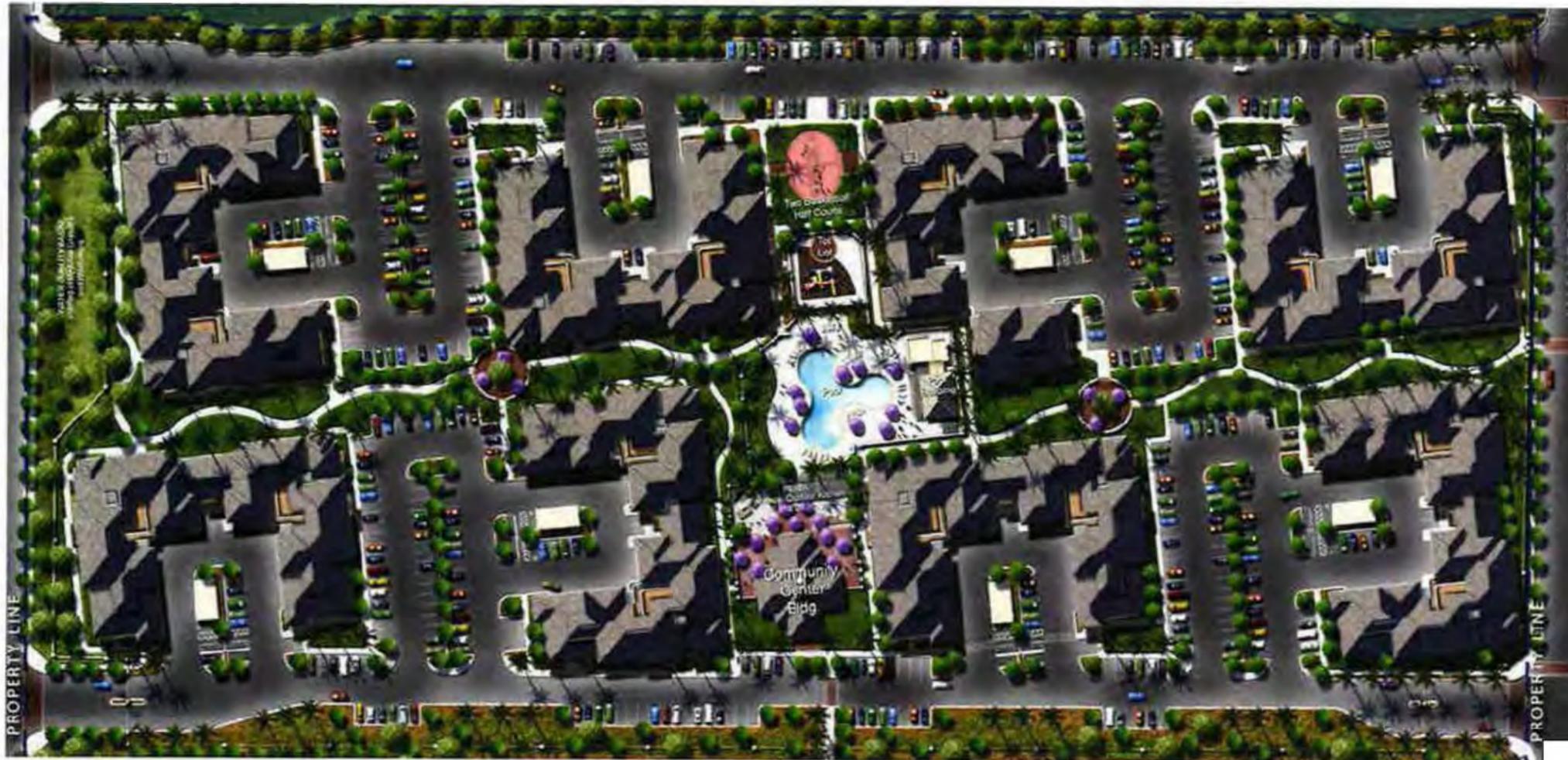


FIGURE - III-20

PLANNING AREAS 11A & 11B
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



This is a conceptual layout of a High Density multi family project incorporating the elements within the Building Standards and Design Guidelines. The actual project plan will be different than this solution, but this gives a clear example of a solution that does conform to the Specific Plan.

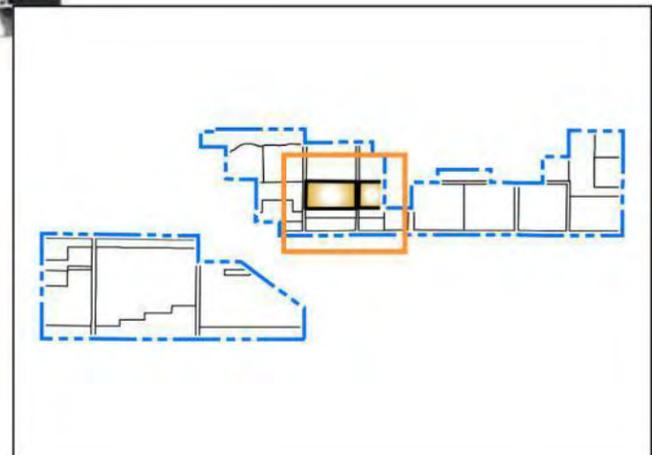


FIGURE - III-21

PLANNING AREA 11 SITE CONCEPT
 III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-15A
PERMITTED USES
PLANNING AREAS 11 (VHDR), 12 (MIXED-USE), AND 13 (COMMERCIAL)***

*The Permitted Uses for Planning Areas 11 (Very High Residential), 12 (Mixed Use), and 13 (Commercial) are based on the approved Specific Plan Zoning Ordinance associated with Amendment No. 3 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (1) (2) (3) • C = Conditional Use Permit • NP = Not Permitted				
AUTOMOBILE/ VEHICLE	Automobile repair garages, not including body and fender shops or spray painting.	NP	NP	C
	Automobile sales and rental agencies.	NP	C	C
	Boat and other marine sales, rentals and services.	NP	C	C
	Car wash, full service, self-service, drive thru.	NP	NP	C
	Gasoline service stations, liquid petroleum, compressed natural gas (CNG) sales with car wash, convenience stores.	NP	NP	C
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	NP	NP	C
	Liquid petroleum service stations, not including the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons	NP	NP	C
	Liquid petroleum, CNG service stations, with the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	NP	NP	C
	Mobilehome sales, trailer sales and rentals, recreational vehicle rentals.	NP	NP	C ⁽¹⁾
	Parking lots and parking structures.	NP	P	P
	Sales, rental, repair, or demonstration of motorcycles, scooters, and motorbikes.	NP	C	C
	Tire sales and services, not including recapping.	NP	NP	C ⁽¹⁾
	Travel trailers, mobilehomes and recreational vehicles sales and service.	NP	NP	C ⁽¹⁾
	Truck sales and services.	NP	NP	C ⁽¹⁾
	Costume design studios.	NP	P	P
	Employment agencies.	NP	P	P
	Interior decorating shops.	NP	P	P
	Mail order businesses.	NP	P	P
	Manufacturer's agent.	NP	P	P
	Offices, including business, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate.	NP	P	P
	Printers or publishers.	NP	P	P

	Radio and television broadcasting studios.	NP	C ⁽¹⁾	C ⁽¹⁾
	Recording studios.	NP	C	C
	Travel agencies.	NP	P	P
	Weight Loss clinic.	NP	P	P
	Auction houses.	NP	C	C
ENTERTAINMENT/ SPORTS	Billiard and pool halls.	NP	C	C
	Internet cafe.	NP	P	P
	Bowling alleys.	NP	P	P
	Dance halls.	NP	C	C
	Health club, gym, exercise facility.	NP	C	C
	Theaters, not including drive-ins.	NP	P	P
	Sports and recreational facilities, not including motor driven vehicles and riding academies, but including archery ranges, athletic playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.	NP	P ⁽¹⁾	P ⁽¹⁾
FOOD SERVICE	Bars and cocktail lounges.	NP	P	P
	Restaurant including on-site brewery.	NP	P	P
	Delicatessens.	NP	P	P
	Restaurants and other eating establishments including drive thru/drive-in restaurant.	NP	P	P
INSTITUTIONAL	Adult Day care centers.	P	P	P
	Animal hospitals, Animal Day Care facilities.	NP	C	C
	Child Day Care Center.	P	P	P
	Churches, temples and other places of religious worship.	NP	P	P
	Educational institutions, public libraries, museums and art galleries not operated for compensation or profits.	NP	P	P
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.	NP	P	P
	Wedding chapels.	NP	C	C
RESIDENTIAL	Multiple family dwellings, bungalow courts and apartment houses.	P	P	NP
	Home occupations.	P	P	NP
	Congregate care residential facilities.	C	C	NP
	Temporary real estate tract/project sales and leasing offices located within an approved development, to be used only for and during the original sale or leasing of the project, but not to exceed a period of two years in any event.	P	P	NP
	Antique shops.	NP	P	P
	Appliance stores, household.	NP	P	P

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

	Art supply shops and studios.	NP	P	P
	Automobile parts and supply stores.	NP	P	P
	Bakery shops, including baking only when incidental to retail sales on the premises.	NP	P	P
	Banks and financial institutions.	NP	P	P
	Barber and beauty shops.	NP	P	P
RETAIL	Bicycle sales, repairs and rentals.	NP	P	P
	Book stores and binders.	NP	P	P
	Clothing stores.	NP	P	P
	Confectionery or candy stores.	NP	P	P
	Convenience stores, including the sale of motor vehicle fuel.	NP	NP	C
	Convenience stores, not including the sale of motor vehicle fuel..	NP	P	P
	Day Spa, Nails, Make-up, Tanning, Waxing, Massage Chain	NP	P	P
	Department stores.	NP	P	P
	Drug store and pharmacy.	NP	P	P
	Dry good stores.	NP	P	P
	Electronics Hardware and Software, Electronic Gaming, Audio Visual Sales and Service.	NP	P	P
	Farmers Market.	NP	C	C
	Feed and grain sales.	NP	NP	C
	Florist shops.	NP	P	P
	Gift shops.	NP	P	P
	Golf Cart sales and service.	NP	P	P
	Grocery Store, Food markets and frozen food lockers.	NP	P	P
	Hardware and Home Improvement stores.	NP	P ⁽¹⁾	P ⁽¹⁾
	Hobby shops.	NP	P	P
	Ice cream shops, frozen yogurt shops.	NP	P	P
	Jewelry stores with incidental repairs.	NP	P	P
	Leather goods stores.	NP	P	P
	Liquor stores pursuant to the provisions of City of Menifee Alcoholic Beverage Sales ordinance.	NP	C	C
	Locksmith shops.	NP	P	P
	Market, food, wholesale or jobber.	NP	P	P
	Meat markets, not including slaughtering.	NP	P	P
	Music stores.	NP	P	P
News stores.	NP	P	P	

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	Notions or novelty stores.	NP	P	P
	Nurseries and garden supply stores.	NP	P ⁽¹⁾	P ⁽¹⁾
	Paint and wall paper stores, not including paint contractors.	NP	P	P
	Pet shops and pet supply stores.	NP	P	P
	Photography shops and studios and photo engraving.	NP	P	P
	Plumbing shops, not including plumbing contractors.	NP	P	P
	Poultry markets, not including slaughtering or live sales.	NP	P	P
	Produce markets.	NP	P	P
	Refreshment kiosks.	NP	P	P
	Shoe stores and repair shops.	NP	P	P
	Shoeshine stands.	NP	P	P
	Sporting goods stores.	NP	P	P
	Stationery stores.	NP	P	P
	Tailor Shops.	NP	P	P
	Telecommunication, cellular service stores.	NP	P	P
	Tobacco shops for take away sale/ No water pipes sales.	NP	P	P
	Toy Shops.	NP	P	P
	Watch repair shops.	NP	P	P
SERVICE	Business machine, computer sales and rental and incidental repair.	NP	P	P
	Household goods sales and repair, including but not limited to appliances, furniture, carpets, computers, draperies, lamps, electronics, radios, software, and television sets, including repair thereof.	NP	P	P
	Nurseries, horticulture.	C	C	P
	Bakery goods distributors.	NP	P	P
	Blueprint and duplicating services.	NP	P	P
	Catering services.	NP	P	P
	Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	NP	C	C
	Cleaning and dyeing shops.	NP	P	P
	Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit.	NP	P	P
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding ten cubic feet in capacity and other similar equipment.	NP	NP	P ⁽¹⁾
Ice sales, not including ice plants.	NP	P	P	

III. SPECIFIC PLAN

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	Laboratories, film, dental, medical, research or testing.	NP	P	P
	Laundries and laundromats.	NP	P	P
	Wholesale business with samples on the premises, but not to include storage.	NP	P	P
	Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products. (Only allowed as a continuation of an existing use.)	P	NP	C
TOURIST COMMERCIAL	Stations, bus, railroad and taxi.	NP	P	P
	Hotels. Resort hotels and motels.	NP	P	P
	Tourist information centers.	NP	P	P
ACCESSORY USES	<p>An accessory use to a permitted use is allowed provided the accessory use is incidental to, and does not alter the character of, the principal permitted use, including, but not limited to:</p> <p>1) Limited manufacturing. Fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and provided any such activity does not exceed any of the following restrictions:</p> <p>a. The maximum gross floor area of the building permitted to be devoted to such accessory use shall be 25 percent.</p> <p>b. The maximum total horsepower of all electric motors used in connection with such accessory use shall be five horsepower.</p> <p>2)The accessory use shall be so conducted that noise. Vibration, dust. Odor, and all other objectionable factors shall be reduced to the extent that there will be no annoyance to persons outside the premises. Such accessory use shall be located not nearer than 50 feet to any residential zone.</p> <p>3) Accessory uses shall be conducted wholly within a completely enclosed building.</p>			
NOTES:				
1) Permitted, together with screened outside storage and display of materials appurtenant to such use. Screened Outdoor Storage is limited to 200 SF				

TABLE III-15B
DEVELOPMENT STANDARDS
PLANNING AREA 11 (VERY-HIGH DENSITY RESIDENTIAL)*

*The Development Standards for Planning Area 11 (Very-High Density Residential) are based on the approved Specific Plan Zoning Ordinance associated with Amendment No. 3 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 11 REQUIREMENTS
Maximum Building Height	3 stories/45 feet
Building Setbacks	Front Yard – (Palomar Road, Junipero Road): 25 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.
	Side Yard and Interior Setbacks: Minimum distance between buildings shall be asrequired in the California Building Code, latest edition, minimum 5 feet
	Rear Yard: 10 Feet
	From Surface Parking and Driving Aisles: 10 Feet
	Garage Setbacks from Surface Parking and Driving Aisles: 3 Feet
Required Parking	Parking shall be provided as required by CityStandards
Maximum Density	24 DU/Acre
Landscape Coverage	12% - Landscape Coverage will include all areas within the subject parcel
Minimum Private Storage	72 Cubic Feet per Bedroom with a maximum of 160 Square Feet
Common Area Open Space	125 Square Feet of Open Space perBedroom/Studio Unit
Private Open Space / Dwelling (Deck or Patio)	120 square feet with no dimension less than 10 feet if located at ground level, or at least 50 square feet with no dimension less than 6 feet if located above ground level

12. PLANNING AREA 12A AND 12B: COMMERCIAL/VERY HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 12, as depicted in Figures III-22 and III-23, is divided into two parts: PA 12A (6.1 acres), west of Junipero Road, and PA 12B (3.1 acres), east of Junipero Road. Planning Area 12B contains 1.5 acres of an easement granted by Southern California Edison, which may be excluded from developable area. Together, Planning Areas 12A and 12B provide for the development of approximately 9.2 gross acres or 7.7 net acres devoted to Commercial uses or Very High Density Residential uses, designed to be integrated with corresponding land uses within the adjacent PA 11A/PA 11B and PA 13A/PA 13B.

The uses and development standards for general retail/commercial uses will be the same as those in neighboring Planning Area 13. The uses and development standards for multi-family uses will be the same as those in neighboring Planning Area 11. The purpose of these Planning Areas 12A and 12B is to provide flexibility between the commercial planning areas to the south, and the residential planning areas to the north.

The ultimate use configuration of this Planning Area will be determined by development application in the neighboring Planning Areas. The first application submitted for either Planning Area 11A/11B or 13A/13B may encroach into Planning Area 12A/12B respectively. Planning Area 12A can be developed as up to 100% Commercial (with PA 13A) or up to a maximum of 67% High Density Residential (with PA 11A) and 33% commercial (with PA 13A). These percentages are based on square footage only and may be of any configuration as long as the land uses are contiguous with the PA 11A and PA 13A areas. PA 12B may be adjusted to a maximum 100% of either High Density Residential (with PA 11B) or Commercial (with PA 13B).

Once a development application is approved in either neighboring Planning Area (11A or 11B or 13A or 13B), the Land use designation will then be determined for the remainder of Planning Area 12A or 12B respectively. If the maximum 67% of Planning Area 12A and all of Area 12B are developed as High Density Residential (14.7 DU/AC), the total number of units would be 135.

b. Development Standards

Please refer to Table III-15A for Permitted Uses and III-15C for Development Standards. Other uses not listed may be considered a permitted or conditionally permitted use provided that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process, which governs the category in which it falls. Landscape shall conform to the City Adopted landscape Guidelines.

c. Planning Standards

- 1) Primary access to Planning Area 12 shall be provided from Junipero Road and shall be coordinated with adjacent development driveway and intersection spacing and possible signalization and as determined by a City Approved Traffic Impact Analysis.
- 2) Roadway landscape treatments, as illustrated in Figure IV-22, are planned along Palomar Road and Junipero Road, respectively.

- 3) For any commercial uses, all roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.
- 4) A Southern California Edison easement is located within the property boundary for Planning Area 12B. The existing SCE easement is being included within Planning Areas 11B, 12B, and 13B in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins, circulation, and for passive recreation uses subject to approval of SCE. The SCE Easement shall not be allowed to be included in density or intensity calculation during the implementation phase.
- 5) In conjunction with the first implementing project plan submitted for this planning area, a conceptual site plan for the entire planning area (12A or 12B) shall be provided to the City of Menifee Planning Department for informational purposes. This site plan shall show how the submitted project plan integrates with the remainder of the planning area, how the uses within the Planning Area may be configured to ensure proper design and layout of the circulation, parking, and street access.
- 6) Please refer to Residential Design guidelines (Section IV.F) and Commercial Design Guidelines (Section IV.G) for design-related criteria.
- 7) Common Open Space Standards for Residential Developments
 - a. Common Area Open Space shall be provided at a rate per square foot of usable space per bedroom or studio unit as required in Table VIII-C.
 - b. The Open Space shall:
 - i. be located on the same lot as the dwelling unit for which it is required.
 - ii. be level and improved, that is, have suitable landscaping and hardscaping.
 - iii. include no obstructions other than structures and amenities such as swimming pools, fountains, benches, sports courts, playground apparatus, and landscaping.
 - iv. be open on at least one side and have a clear vertical height of at least seven (7) feet, with at least 50% of the total required usable open space to the sky.
- 8) Amenities and structures shall only cover up to a maximum of 50% of the total required usable open space area. Other structures that do not relate to enhancing the enjoyment of outdoor open space (carports, and storage sheds, for example) are not qualified as usable open space.
- 9) The Common Area shall be directly accessible to all units within a multiple-family residential project. An individual space shall be at least 300 square feet in size, with no dimension less than 15 feet. Common Area may include amenities such as swimming pools, cabanas, tennis courts, sport courts, play fields, roof top gardens, etc.

10) Private Open Space for Residential Developments shall be provided per the standards within Table VIII-C. It may include balconies, decks, porches, patios, or yards.

11) Please refer to Section III for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

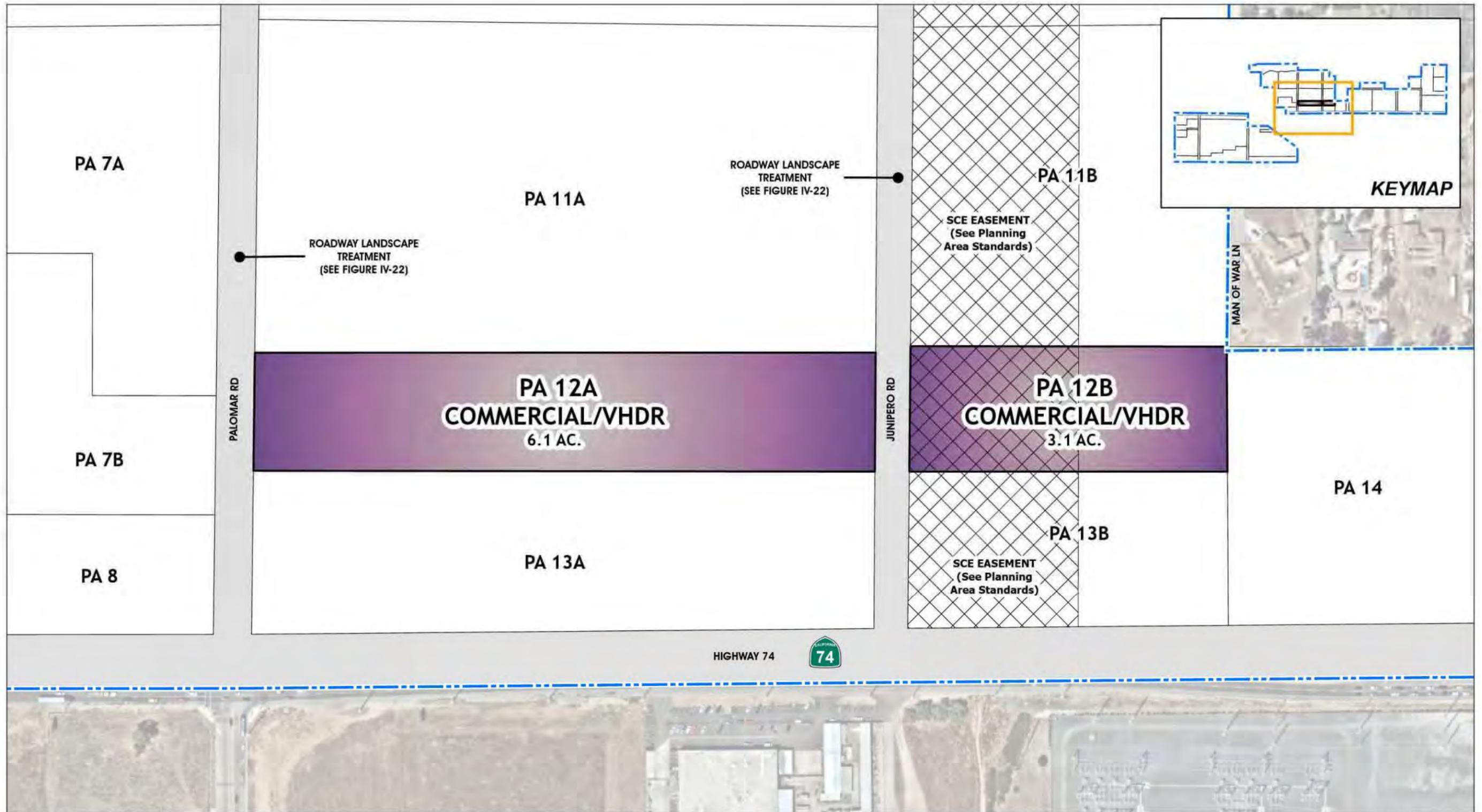
III. A.5: Open Space and Recreation Plan

III. A.6: Grading Plan

III. A.7.: Landscaping Plan

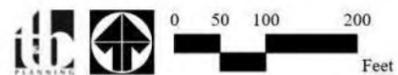
III. A.8.: Public Facilities Phasing Plan

III. A.9.: Phasing Plan



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

FIGURE - III-22



PLANNING AREAS 12A & 12B

III. SPECIFIC PLAN

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Planning Area 12A shown below as a portion of commercial development consistent with the Planning Area 13A Building Standards and Design Guidelines. This image depicts the pedestrian connection between the Planning Areas as well as the landscape buffer as noted in the Development Standards. The actual project plan will be different than this solution, but this gives a clear example of a solution that does conform to the Specific Plan.



Planning Area 12B shown above with the High Density Residential use and proposed passive development of the SCE easement. This is a conceptual plan showing that a quality project is possible within the Building Standards and High Density Residential Design Guidelines for this Planning Area. This plan is depicting a maximum residential scheme for Planning Area 12B

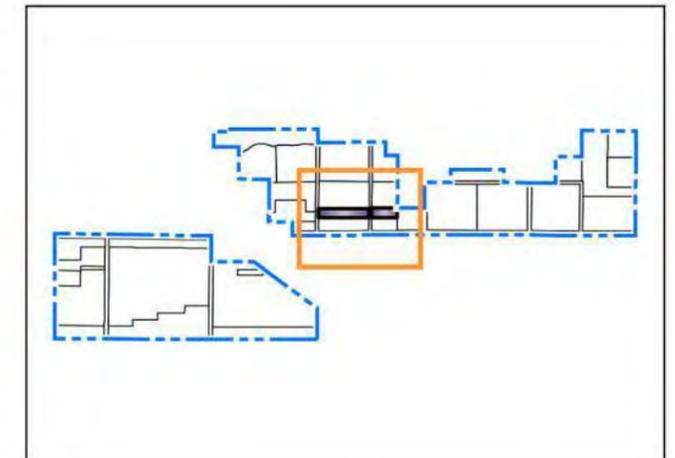


FIGURE - III-23

PLANNING AREA 12 SITE CONCEPT
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-15C
DEVELOPMENT STANDARDS
PLANNING AREA 12 (MIXED-USE)***

*The Development Standards for Planning Area 12 (Mixed-Use) are based on the approved Specific Plan Zoning Ordinance associated with Amendment No. 3 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 12 COMMERCIAL REQUIREMENT	PLANNING AREA 12 RESIDENTIAL REQUIREMENTS
Maximum Building or Structure Height	50 Feet	3 Stories / 45 Feet
Building Setbacks		
Front Yard – (Palomar Road, Junipero Road)	20 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan. Table IIA.	25 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan. Table IIA
To Adjacent Planning Area	The setback shall be measured from the PA line. Buildings shall be set back a minimum of 20 feet from the PA line. For any portion of a building which exceeds 35 feet in height that portion of the building shall be set back an additional one foot for each foot by which the height exceeds 35 feet.	10 Feet
Side (Palomar Road and Junipero Road) and Interior Setbacks	Side setbacks (Palomar Road and Junipero Road) shall be a minimum of 25 feet for a building 35 feet or less in height. Each side setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan. Figure ill-2A Any portion of a building which exceeds 35 feet in height shall be set back an additional one foot for each foot by which the height exceeds 35 feet	10 Feet
Distance Between Buildings	Minimum distance between buildings shall be as required in the California Building Code. Latest edition.	Minimum distance between buildings shall be as required in the California Building Code. Latest edition. 5 feet minimum
Building Setbacks from Surface Parking and Drive Aisles	5 Feet	10 Feet
Garage Setbacks from Surface Parking and Drive Aisles	-	3 Feet
Minimum Lot Area	There is no Minimum Lot Area Required	-
Lot Coverage	-	In no case shall more than 60 percent of any lot be covered by buildings. Not including freestanding garage buildings and carports
Landscape Coverage	12% - Landscape Coverage will include all areas within the subject parcel	12% - Landscape Coverage will include all areas within the subject parcel
Required Parking	Parking shall be provided as required by City Standards or per the requirements of a City approved Shared Parking Analysis	Parking shall be provided as required by City Standards
Minimum Private Storage	-	72 Cubic Feet per Bedroom with a maximum of 160 Square Feet
Maximum Intensity/Density	0.25 Floor Area Ratio	24 DU/ Gross Acre
Common Area Open Space	-	125 Square Feet of Open Space per Bedroom/Studio Unit

DEVELOPMENT STANDARD	PLANNING AREA 12 COMMERCIAL REQUIREMENT	PLANNING AREA 12 RESIDENTIAL REQUIREMENTS
Private Open Space / Dwelling (Deck or Patio)	-	120 square feet with no dimension less than 10 feet if located at ground level. Or at least 50 square feet with no dimension less than 6 feet if located above ground level

13. PLANNING AREAS 13A/13B: COMMERCIAL

a. Descriptive Summary

Planning Area 13, as depicted in Figure III-24 and III-25, is divided into two parts: PA 13A (10.2 acres), west of Junipero Road, and PA 13B (5.2 acres), east of Junipero Road. Planning Area 13B contains 2.7 acres of an easement granted by Southern California Edison, which may be excluded from developable area. Together Planning Areas 13A and 13B provides for the development approximately 15.4 gross acres or 12.76 net acres devoted to Commercial uses.

Development of Planning Area 13A may encroach into Planning Area 12A and development of Planning Area 13B may encroach into Planning Area 12B. At that time, the parcels within Planning Area 12 that are included in the Planning Area 13 development will be subject to all standards of Planning Area 13. Refer to Planning Standards for restrictions on PA 13 encroachments into PA 12.

b. Development Standards

Please refer to Table III-15A for Permitted Uses and III-15D for Development Standards. Other uses not listed may be considered a permitted or conditionally permitted use provided that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process, which governs the category in which it falls. Landscape shall conform to the City Adopted landscape Guidelines.

c. Planning Standards

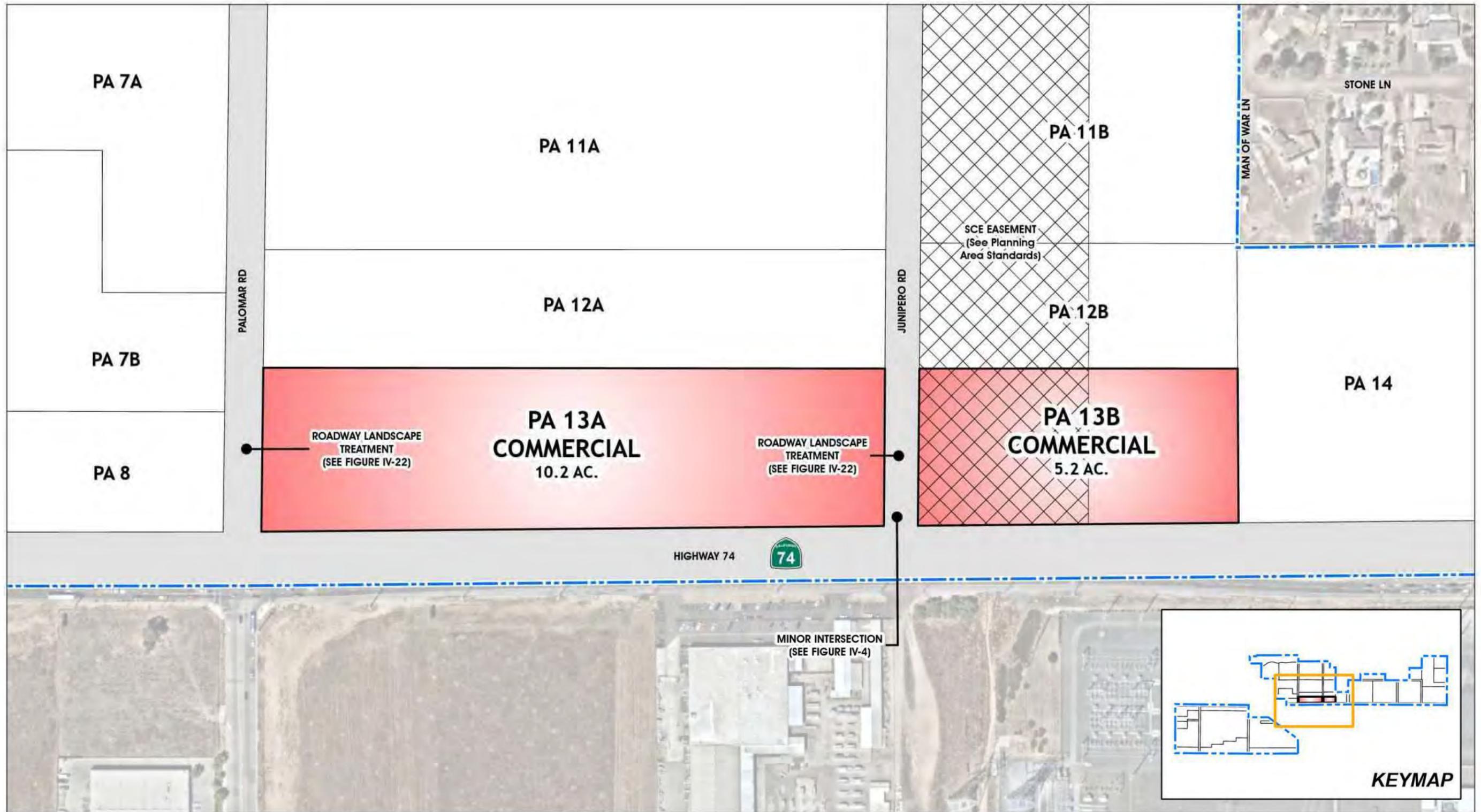
- 1) Primary access to Planning Area 13 shall be provided from Highway 74 (as approved by CalTrans), Palomar Road and Junipero Road. Access to Highway 74 east of Junipero Road shall be coordinated with development and access within Planning Area 14 where possible. All proposed driveways, access or improvement off of Highway 74 requires review and approval by CalTrans.
- 2) A project entry/intersection statement shall be developed at the intersection of Highway 74 and Palomar Road, as shown on Figure IV-3.
- 3) A minor intersection statement shall be developed at the intersection of Highway 74 and Junipero road, as shown as Figure IV-4.
- 4) Roadway landscape treatments, as illustrated in Figure IV-19 and 22, are planned along Highway 74, Palomar Road, and Junipero Road, respectively.
- 5) All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.
- 6) A Southern California Edison easement is located within the property boundary for Planning Area 13B. The existing SCE easement is being included within Planning Areas 11B, 12B, and 13B in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in required landscape and open space areas, retention and detention basins,

circulation, and for passive recreation uses subject to approval of SCE. The SCE Easement shall not be allowed to be included in density or intensity calculation during the implementation phase.

- 7) In conjunction with the first implementing project plan submitted for this planning area (PA 13A or PA 13B), a conceptual site plan for the entire planning area (12A or 12B) shall be provided to the City of Menifee Planning Department for informational purposes. This site plan shall show how the submitted project plan integrates with the remainder of the planning area 12A/12B, how the uses within the Planning Area may be configured to ensure proper design and layout of the circulation, parking, and street access.
- 8) Please refer to Commercial Design Guidelines (Section IV.G) for design-related criteria.
- 9) Please refer to Section III for the following Development Plans and Standards that apply site-wide:

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans

- III. A.5: Open Space and Recreation Plan
- III. A.6: Grading Plan
- III. A.7.: Landscaping Plan
- III. A.8.: Public Facilities Phasing Plan
- III. A.9.: Phasing Plan



Source(s): Esri, RCTLMA (2021), Nearmap Aerial (2022)

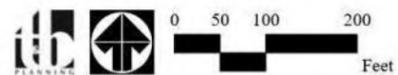


FIGURE - III-24

PLANNING AREAS 13A & 13B

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



This is a conceptual layout of a Retail Center between Palomar and Junipero fronting on Highway 74 incorporating the elements within the Development Standards, the Building Standards and the Design Guidelines. The actual project plan will be different than this solution, but this gives a clear example of a solution that does conform to the Specific Plan. The plan as shown incorporates all of Planning Area 12 into the commercial designation consistent with the requirements of Planning Area 13.

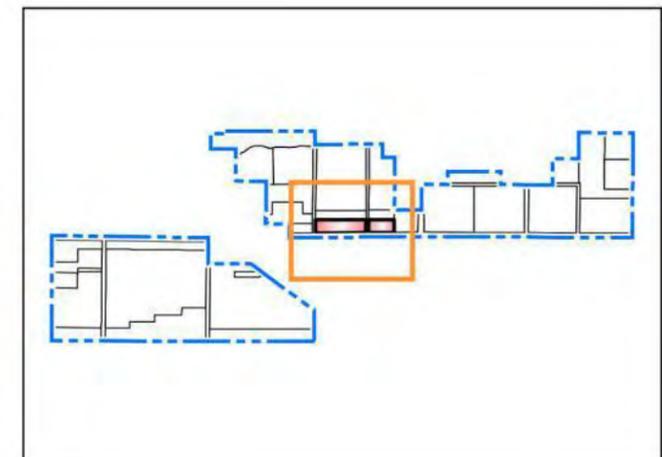


FIGURE - III-25

PLANNING AREA 13 SITE CONCEPT
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-15D
DEVELOPMENT STANDARDS
PLANNING AREA 13 (COMMERCIAL)***

*The Development Standards for Planning Area 13 (Commercial) are based on the approved Specific Plan Zoning Ordinance associated with Amendment No. 3 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 13 REQUIREMENTS
Maximum Building or Structure Height	50 Feet
Building Setbacks	Front Yard (Highway 74): There are no front yard requirements for buildings which do not exceed 35 feet in height. Any portion of a building which exceeds 35 feet in height shall be set back from the front lot lines not less than one foot for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line (ROW).
	To Adjacent Residential Planning Area (PA): The setback shall be measured from the PA line. Buildings shall be set back a minimum of 20 feet from the PA line. For any portion of a building which exceeds 35 feet in height that portion of the building shall be set back an additional one foot for each foot by which the height exceeds 35 feet.
	Side setbacks (Palomar Road and Junipero Road) shall be a minimum of 25 feet for a building 35 feet or less in height. Each side setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan Figure III-2A Any portion of a building which exceeds 35 feet in height shall be set back an additional two feet for each foot by which the height exceeds 35 feet
	Minimum distance between buildings shall be a required in the California Building Code, latest edition
	Building Setbacks from Surface Parking: 5 Feet
Minimum Lot Area	There is no Minimum Lot Area Required
Landscape Coverage	12% - Landscape Coverage will include all areas within the subject parcel.
Required Parking	Parking shall be provided as required by City Standards or per the requirements of a City approved Shared Parking Analysis
Maximum Intensity	0.35 Floor Area Ratio

14. PLANNING AREA 14: COMMERCIAL

a. Descriptive Summary

Planning Area 14, as depicted in Figure III-26, provides for the development approximately 9.3 acres devoted to Commercial uses.

b. Land Use and Development Standards

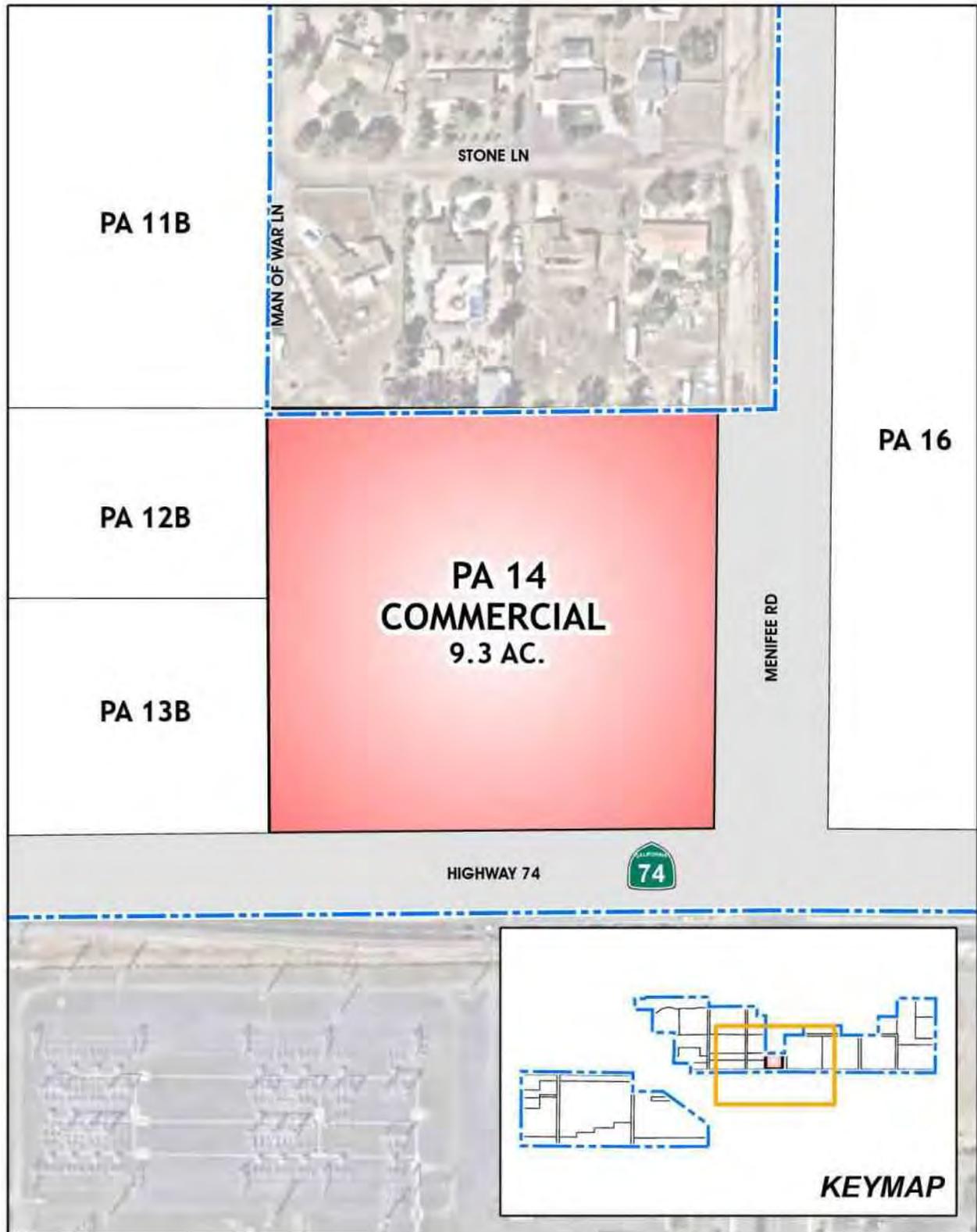
Please refer to Table III-16A for Permitted Uses and III-16B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access to Planning Area 14 shall be provided from Highway 74 (as approved by CalTrans), and Menifee Road. Any potential primary access on Highway 74 shall be coordinated with development and access within Planning Area 13.
- 2) A community entry/intersection statement shall be developed at the intersection of Highway 74 and Menifee Road, as shown on Figure IV-2.
- 3) A special landscape treatment, as depicted on Figure IV-12, shall be established between the commercial uses in Planning Area 14 and the adjacent residential uses to the north.
- 4) Roadway landscape treatments, as illustrated in Figure IV-19 and 20, are planned along Highway 74, Palomar Road, and Menifee Road, respectively.
- 5) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the City of Menifee Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III for the following Development Plans and Standards that apply site-wide:

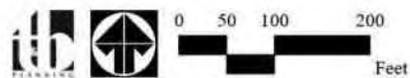
III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans

III. A.5: Open Space and Recreation Plan
III. A.6: Grading Plan
III. A.7.: Landscaping Plan
III. A.8.: Public Facilities Phasing Plan
III. A.9.: Phasing Plan



Source(s): Esri, RCLMA (2021), Nearmap Aerial (2022)

FIGURE - III-26



PLANNING AREA 14
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-16A
PERMITTED USES
PLANNING AREA 14 (COMMERCIAL)***

*The Permitted Uses for Planning Area 14 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 14
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
SERVICE AND COMMERCIAL	Ambulance services.	p ⁽¹⁾
	Animal hospitals.	C
	Antique shops.	p ⁽¹⁾
	Appliance stores, household.	p ⁽¹⁾
	Art supply shops and studios.	p ⁽¹⁾
	Auditoriums and conference rooms.	p ⁽¹⁾
	Automobile repair garages, body shops, spray painting shops.	C
	Automobile sales and rental agencies.	C
	Bakery goods distributors.	p ⁽¹⁾
	Bakery shops, including baking only when incidental to retail sales on the premises.	p ⁽¹⁾
	Banks and financial institutions.	p ⁽¹⁾
	Barber and beauty shops.	p ⁽¹⁾
	Bars and cocktail lounges.	p ⁽¹⁾
	Bicycle sales and rentals.	p ⁽¹⁾
	Billiard and pool halls.	p ⁽¹⁾
	Blueprint and duplicating services.	p ⁽¹⁾
	Boat sales, rentals and services.	C
	Book stores and binders.	p ⁽¹⁾
	Bowling alleys.	p ⁽¹⁾
	Car washes.	C
	Catering services.	p ⁽¹⁾
Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	p ⁽¹⁾	
Cleaning and dyeing shops.	p ⁽¹⁾	
Clothing stores.	p ⁽¹⁾	
Confectionery or candy stores.	p ⁽¹⁾	

USE CATEGORY	PERMITTED USES	PLANNING AREA 14
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Convenience stores, including the sale of motor vehicle fuel.	C
	Costume design studios.	P ⁽¹⁾
	Dance halls.	P ⁽¹⁾
	Delicatessens.	P ⁽¹⁾
	Department stores.	P ⁽¹⁾
	Drive-in theaters.	C
	Drug stores.	P ⁽¹⁾
	Dry goods stores.	P ⁽¹⁾
	Electrical substations.	P ⁽¹⁾
	Employment agencies.	P ⁽¹⁾
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding 20 cubic feet in capacity and other similar equipment.	C
	Escort bureaus.	P ⁽¹⁾
	Feed and grain sales.	P ⁽¹⁾
	Fishing and casting pools.	NP
	Florist shops.	P ⁽¹⁾
	Food markets and frozen food lockers.	P ⁽¹⁾
	Gasoline and diesel service stations, not including the concurrent sale of beer and wine for off-premises consumption.	P ⁽¹⁾
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	C
	Gift shops.	P ⁽¹⁾
	Hardware stores.	P ⁽¹⁾
	Heliports.	C
	Household goods sales and repair, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios, and television sets, including repair thereof.	P ⁽¹⁾
	Hobby shops.	P ⁽¹⁾
	Ice cream shops.	P ⁽¹⁾
	Ice sales, not including ice plants.	P ⁽¹⁾
	Interior decorating shops.	P ⁽¹⁾
	Jewelry stores with incidental repairs.	P ⁽¹⁾
	Labor temples.	P ⁽¹⁾
	Laboratories, film, medical, research, or testing.	P ⁽¹⁾
	Laundries and laundromats.	P ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 14
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Leather goods stores.	p ⁽¹⁾
	Liquid petroleum service stations, with or without the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	C
	Liquor stores pursuant to the provisions of Section 18.48. (Alcoholic Beverage Sales) of County Ordinance No. 348.	C
	Locksmith shops.	p ⁽¹⁾
	Mail order businesses.	p ⁽¹⁾
	Manufacturer's agent.	p ⁽¹⁾
	Market, food, wholesale or jobber.	p ⁽¹⁾
	Massage parlors, Turkish baths, health centers and similar personal service establishments.	NP
	Meat markets, not including slaughtering.	p ⁽¹⁾
	Mimeographing and addressograph services.	p ⁽¹⁾
	Mobilehomes, provided they are kept mobile and licensed pursuant to State law, use for: <ul style="list-style-type: none"> d. Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, providing they are inconspicuously located. e. Agricultural worker employment offices for a maximum of 90 days in any calendar year. f. Caretakers or watchmen and their families provided no rent is paid, where a permitted and existing commercial use is established. Not more than one mobilehome shall be allowed for a parcel of land or a shopping center complex. 	p ⁽¹⁾
	Mortuaries.	C
	Music stores.	p ⁽¹⁾
	News stores.	p ⁽¹⁾
	Notions or novelty stores.	p ⁽¹⁾
	Nurseries and garden supply stores.	p ⁽¹⁾
	Offices, businesses.	p ⁽¹⁾
	One on-site operator's residence, which may be located in a commercial building.	p ⁽¹⁾
	Paint and wall paper stores, not including paint contractors.	p ⁽¹⁾
	Parking lots and parking structures.	p ⁽¹⁾
	Parolee-Probationer Home developed in accordance with the standards set forth in Section 18.52. of County Ordinance No. 348.	C
	Pawn shops.	NP
	Pet shops and pet supply shops.	p ⁽¹⁾
	Photography shops and studios and photo engraving.	p ⁽¹⁾
	Plumbing shops, not including plumbing contractors.	p ⁽¹⁾
	Poultry markets, not including slaughtering or live sales.	p ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 14
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Printers or publishers.	p ⁽¹⁾
	Produce markets.	p ⁽¹⁾
	Radio and television broadcasting studios.	p ⁽¹⁾
	Recording studios.	p ⁽¹⁾
	Refreshment stands.	p ⁽¹⁾
	Restaurants and other eating establishments.	p ⁽¹⁾
	Sale, rental, repair, or demonstration of motorcycles, scooters or motorbikes of two horsepower or greater.	C
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.	p ⁽¹⁾
	Shoe stores and repair shops.	p ⁽¹⁾
	Shoeshine stands.	p ⁽¹⁾
	Signs, on-site advertising.	p ⁽¹⁾
	Solar power plant on a lot 10 acres or larger.	C
	Sports and recreational facilities, not including motor-driven vehicles and riding academies, but including archery ranges, athletic fields, beaches, golf driving ranges, gymnasiums, miniature golf, parks, playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.	C
	Sporting goods stores.	p ⁽¹⁾
	Stained glass assembly.	p ⁽¹⁾
	Stationery stores.	p ⁽¹⁾
	Stations, bus, railroad and taxi.	p ⁽¹⁾
	Taxidermist.	p ⁽¹⁾
	Tailor shops.	p ⁽¹⁾
	Telephone exchanges.	p ⁽¹⁾
	Theaters, not including drive-ins.	p ⁽¹⁾
	Tire recapping.	C
	Tire sales and services, not including recapping.	C
	Tobacco shops.	p ⁽¹⁾
	Tourist information centers.	p ⁽¹⁾
	Toy shops.	p ⁽¹⁾
	Trailer and boat storage.	C
	Travel agencies.	p ⁽¹⁾
	Travel trailers, mobilehomes and recreational vehicles sales and service.	C
	Truck sales and services.	C
	Trucks and trailers; the rental of trucks not over 19,500 pounds gross weight, with	C

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 14
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	body not to exceed 22 feet in length from the back of the cab to the end of the body; and the rental of trailers not exceeding six feet in width or 22 feet in length.	
	Typewriter sales and rental and incidental repairs.	P ⁽¹⁾
	Underground bulk fuel storage.	C
	Watch repair shops.	P ⁽¹⁾
	Wedding chapels.	P ⁽¹⁾
	Wholesale businesses with samples on the premises, but not to include storage.	P ⁽¹⁾
	Recycling collection facilities.	P ⁽¹⁾
	Golf cart sales and service.	P ⁽¹⁾
	Hotels, resort hotels and motels.	P ⁽¹⁾
	Day care centers.	P ⁽¹⁾
	Convenience stores, not including the sale of motor vehicle fuel.	P ⁽¹⁾
	Churches, temples and other places of religious worship.	P ⁽¹⁾
Accessory Uses	Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and providing any such related activity does not exceed any of the following restrictions:	P ⁽¹⁾
	All uses permitted with Plot Plan that have more than 200 square feet of outside storage of display of materials.	C
	The uses listed in Subsections above do not include sex-oriented businesses.	
	Any use that is not specifically listed above may be considered a permitted or conditionally permitted use providing that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed above. Such a use is subject to the permit process which governs the category in which it falls.	
	Industrial Hemp Activities are permitted or conditionally permitted in subsections A., B., or C. in Section 9.50 pursuant to the provisions set forth in Article XIXm of Ordinance No. 348 including, but not limited to, permit processing, location, standards and approval requirements.	
	Planned commercial developments are permitted provided a land division has been approved pursuant to County Ordinance No. 460.	
NOTES: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348.		

**TABLE III-16B
DEVELOPMENT STANDARDS
PLANNING AREA 14 (COMMERCIAL)***

*The Development Standards for Planning Area 14 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 14 REQUIREMENTS
Lot Size	There is no minimum lot area requirement, unless specifically required by zone classification for a particular area.
Maximum Building Height	No building or structure shall exceed fifty (50') feet in height, unless a greater height is approved pursuant to Section 18.34. of County Ordinance No. 348. In no event, however, shall a building or structure exceed seventy-five (75') feet in height, unless a variance is approved pursuant to Section 18.27. of County Ordinance No. 348.
Building Setbacks	There are no yard requirements for buildings which do not exceed 35 feet in height, except as required for specific plans. Any portion of a building which exceeds 35 feet in height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback. Each side setback shall be measured from the side lot line or from an existing adjacent street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Mechanical Equipment	All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.

15. PLANNING AREA 15: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 15, as depicted on Figure III-27, provides for the development of 10.6 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 32 dwelling units are planned at a target density of 3.0 du/ac.

b. Land Use and Development Standards

Please refer to Table III-17A for Permitted Uses and III-17B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access to Planning Area 15 shall be provided from Street "A".
- 2) A roadway landscape treatment, as illustrated in Figure IV-22, shall be established along Street "A".
- 3) A special landscape treatment shall be established between the residential uses in Planning Area 15 and the adjacent existing residential uses, as shown on Figure IV-7.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan

**TABLE III-17A
PERMITTED USES
PLANNING AREA 15 (MEDIUM DENSITY RESIDENTIAL)***

*The Permitted Uses for Planning Area 15 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 15
P = Permitted (1) (2) • C = Conditional Use Permit • N = Not Permitted	
One-family dwellings.	P
Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P
The noncommercial keeping of horses on lots not less than 20,000 square feet in area and 100 feet in width, provided they are kept not less than 100 feet from any street and 20 feet from any property line. A maximum of two horses per 20,000 square feet and, in any event, not more than four horses on a lot will be permitted. If a lot is one acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two acres or more in area, two sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than 100 feet from any street, 20 feet from any property line and 50 feet from any residence.	P
Home occupations.	P
The keeping or raising of not more than four (4) mature female crowing fowl (chickens only) on lots or parcels between 7,200 square feet and 39,999 square feet or not more than 12 mature female crowing fowl (chickens only) on lots of 40,000 square feet or more for the use of the occupants of the premises. The crowing fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use.	P
Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5. or 18.6. of County Ordinance No. 348.	P
The noncommercial raising of not more than one (1) miniature pig on lots from 7,200 to 19,999 square feet or not more than two (2) miniature pigs on lots of not less than 20,000 square feet, subject to the following conditions: <ul style="list-style-type: none"> a. Any person owning or having custody or control of a miniature pig over the age of four (4) months shall pay for and obtain a license from the Animal Control Department. b. Any miniature pig kept or maintained on a lot with a use permitted under Section 6.1.A.1. shall be spayed or neutered as a condition of being licensed. No license shall be issued unless the owner or custodian of the miniature pig presents a valid certificate from a veterinarian. All unaltered miniature pigs shall be subject to immediate impoundment. c. No miniature pig may weigh more than two hundred (200) pounds. d. Any person owning or having charge, care, custody or control of any miniature pig shall keep such pig exclusively upon his or her own premises, provided, however, such pig may be off such premises if under restraint of a competent person. e. The miniature pig must be kept in an enclosure that is no closer than thirty (30) feet from the front property line, fifteen (15) feet from any side or rear property line and no closer than thirty-five (35) feet of any dwelling unit other than the dwelling unit on the subject lot. 	P
Future Farmers of America (FFA) or 4-H projects conducted by the occupants of the premises. Provided, however, if the project involves crowing fowl, an unexpired crowing fowl affidavit form describing the project must be on file with the Planning Director. Affidavit forms are available at the Planning Department and may be filed free of charge.	P

PERMITTED USES	PLANNING AREA 15
P = Permitted (1) (2) • C = Conditional Use Permit • N = Not Permitted	
The outside storage of materials on improved lots or parcels of one-half acre to one acre provided the amount is limited to one hundred (100) square feet with a maximum height of three (3) feet and on improved lots or parcels of one acre or more provided the amount is limited to two hundred (200) square feet with a maximum height of three (3) feet.	P
Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.	P ⁽¹⁾
Public parks and playgrounds, golf courses with standard length fairways, and country clubs.	P ⁽¹⁾
Child Day Care Center.	P ⁽¹⁾
Mobilehome parks, developed pursuant to Section 19.92. of County Ordinance No. 348.	C
Churches, temples and other places of religious worship.	P ⁽²⁾
Notes: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348. 2) Requires a Public Use Permit via City of Menifee, pursuant to provisions of Section 18.29 of County Ordinance No. 348	

**TABLE III-17B
DEVELOPMENT STANDARDS
PLANNING AREA 15 (MEDIUM DENSITY RESIDENTIAL)***

*The Development Standards for Planning Area 15 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 15 REQUIREMENTS
Lot Size	Lot area shall be not less than 7,200 square feet. The minimum lot area shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.
Lot Width	The minimum average width of that portion of a lot to be used as a building site shall be 60 feet with a minimum average depth of 100 feet. That portion of a lot used for access on flag lots shall have a minimum width of 20 feet.
Lot Frontage	The minimum frontage of a lot shall be 60 feet, except that lots fronting on knuckles or cul-de-sac may have a minimum frontage of 35 feet. Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.
Maximum Building Height	Building height shall not exceed three stories, with a maximum height of 40 feet.
Minimum Yard Requirements	<p>The front yard shall be not less than fifteen feet (15') measured from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure.</p> <p>Side yards on interior and through lots shall be not less than ten percent of the width of the lot, but not less than three feet in width in any event, and need not exceed a width of five feet. Side yards on corner and reversed corner lots shall be not less than ten feet from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure, upon which the main building sides, except that where the lot is less than 50 feet wide the yard need not exceed 20 percent of the width of the lot.</p> <p>Rear yards shall be not less than twenty feet (20').</p>
Encroachments	Chimneys and fireplaces shall be allowed to encroach into side yards a maximum of two feet (2'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.9 of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Lot Coverage	In no case shall more than 50% of any lot be covered by dwelling.

16. PLANNING AREA 16: COMMERCIAL

a. Descriptive Summary

Planning Area 16, as depicted in Figure III-27, provides for the development of 33.6 acres devoted to Commercial uses.

b. Land Use and Development Standards

Please refer to Table III-18A for Permitted Uses and III-18B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 16 shall be provided from Menifee Road, Street "A", Highway 74 (as approved by CalTrans), and Cummings Avenue.
- 2) A minor intersection statement shall be developed at the intersection of Cummings Avenue and Highway 74, as shown on Figure IV-4.
- 3) A community entry/intersection statement shall be developed at the intersection of Menifee Road and Highway 74, as shown on Figure IV-2.
- 4) Roadway landscape treatments, such as those depicted in Figures IV-19, 20, and 22, shall be provided along Highway 74, Menifee Road, Street "A" and Cummings Road, respectively.
- 5) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

17. PLANNING AREA 17: COMMERCIAL

a. Descriptive Summary

Planning Area 17, as depicted on Figure III-27, provides for the development of 34.4 acres devoted to Commercial uses.

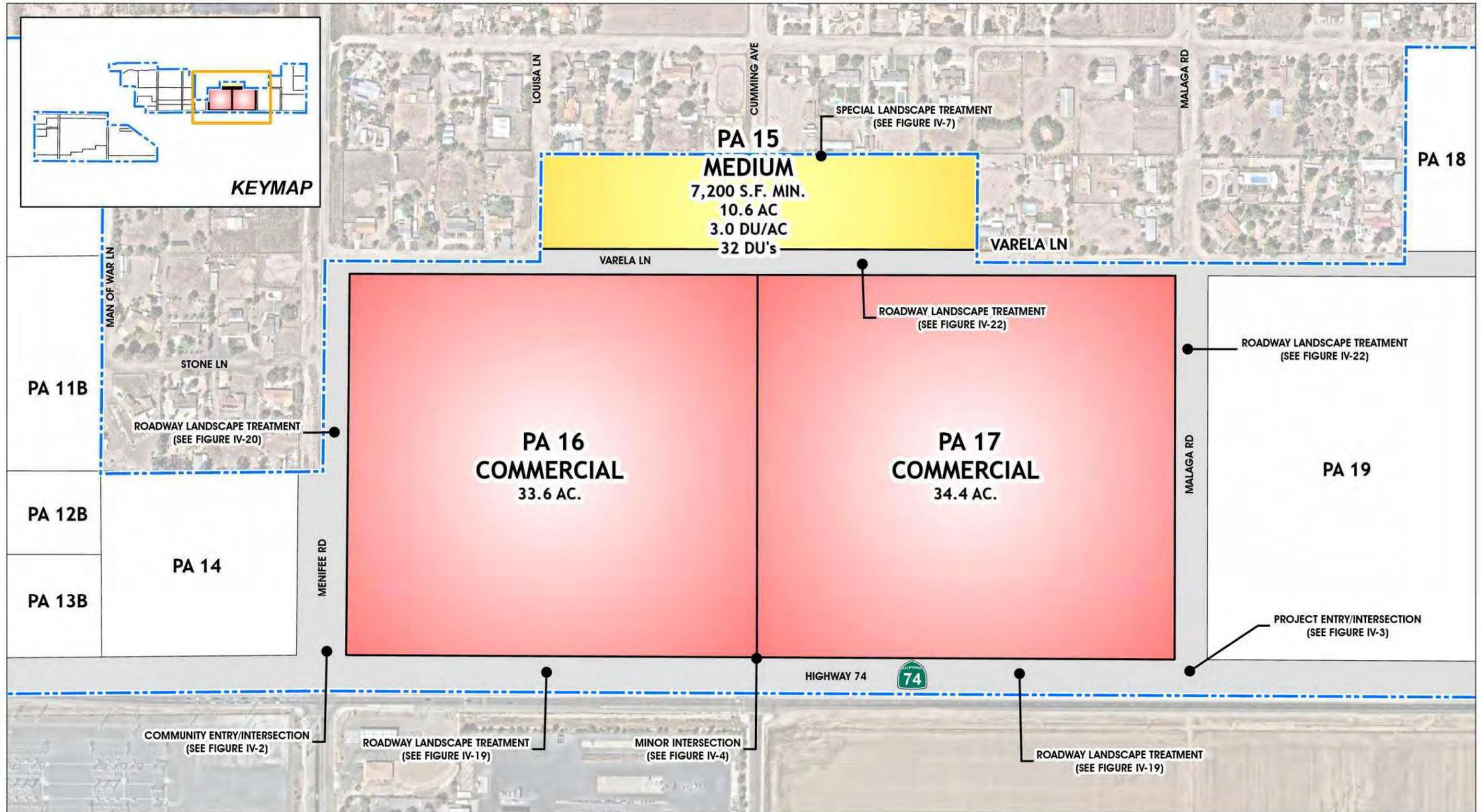
b. Land Use and Development Standards

Please refer to Table III-18A for Permitted Uses and III-18B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 17 shall be provided from Malaga Road, Cummings Avenue, Street "A" and Highway 74 (as approved by CalTrans).
- 2) A project entry/intersection statement shall be developed at the intersection of Malaga Road and Highway 74, as shown on Figure IV-3.
- 3) A minor intersection statement shall be developed at the intersection of Malaga Road and Street "A", as shown on Figure IV-4.
- 4) Roadway landscape treatments, such as those depicted in Figures IV-19 and 22, shall be provided along Highway 74, Street "A", Malaga Road and Cummings Road, respectively.
- 5) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCTLMA (2021), Nearmap Aerial (2022)

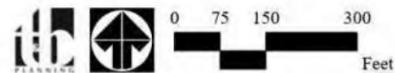


FIGURE - III-27

PLANNING AREAS 15, 16, & 17

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-18A
PERMITTED USES
PLANNING AREAS 16 AND 17 (COMMERCIAL)***

*The Permitted Uses for Planning Areas 16 and 17 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 16	PLANNING AREA 17
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
SERVICE AND COMMERCIAL	Ambulance services.	p ⁽¹⁾	p ⁽¹⁾
	Animal hospitals.	C	C
	Antique shops.	p ⁽¹⁾	p ⁽¹⁾
	Appliance stores, household.	p ⁽¹⁾	p ⁽¹⁾
	Art supply shops and studios.	p ⁽¹⁾	p ⁽¹⁾
	Auditoriums and conference rooms.	p ⁽¹⁾	p ⁽¹⁾
	Automobile repair garages, body shops, spray painting shops.	C	C
	Automobile sales and rental agencies.	C	C
	Bakery goods distributors.	p ⁽¹⁾	p ⁽¹⁾
	Bakery shops, including baking only when incidental to retail sales on the premises.	p ⁽¹⁾	p ⁽¹⁾
	Banks and financial institutions.	p ⁽¹⁾	p ⁽¹⁾
	Barber and beauty shops.	p ⁽¹⁾	p ⁽¹⁾
	Bars and cocktail lounges.	p ⁽¹⁾	p ⁽¹⁾
	Bicycle sales and rentals.	p ⁽¹⁾	p ⁽¹⁾
	Billiard and pool halls.	p ⁽¹⁾	p ⁽¹⁾
	Blueprint and duplicating services.	p ⁽¹⁾	p ⁽¹⁾
	Boat sales, rentals and services.	C	C
	Book stores and binders.	p ⁽¹⁾	p ⁽¹⁾
	Bowling alleys.	p ⁽¹⁾	p ⁽¹⁾
	Car washes.	C	C
	Catering services.	p ⁽¹⁾	p ⁽¹⁾
Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	p ⁽¹⁾	p ⁽¹⁾	
Cleaning and dyeing shops.	p ⁽¹⁾	p ⁽¹⁾	
Clothing stores.	p ⁽¹⁾	p ⁽¹⁾	
Confectionery or candy stores.	p ⁽¹⁾	p ⁽¹⁾	

USE CATEGORY	PERMITTED USES	PLANNING AREA 16	PLANNING AREA 17
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
	Convenience stores, including the sale of motor vehicle fuel.	C	C
	Costume design studios.	P ⁽¹⁾	P ⁽¹⁾
	Dance halls.	P ⁽¹⁾	P ⁽¹⁾
	Delicatessens.	P ⁽¹⁾	P ⁽¹⁾
	Department stores.	P ⁽¹⁾	P ⁽¹⁾
	Drive-in theaters.	C	C
	Drug stores.	P ⁽¹⁾	P ⁽¹⁾
	Dry goods stores.	P ⁽¹⁾	P ⁽¹⁾
	Electrical substations.	P ⁽¹⁾	P ⁽¹⁾
	Employment agencies.	P ⁽¹⁾	P ⁽¹⁾
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding 20 cubic feet in capacity and other similar equipment.	C	C
	Escort bureaus.	P ⁽¹⁾	P ⁽¹⁾
	Feed and grain sales.	P ⁽¹⁾	P ⁽¹⁾
	Fishing and casting pools.	NP	NP
	Florist shops.	P ⁽¹⁾	P ⁽¹⁾
	Food markets and frozen food lockers.	P ⁽¹⁾	P ⁽¹⁾
	Gasoline and diesel service stations, not including the concurrent sale of beer and wine for off-premises consumption.	P ⁽¹⁾	P ⁽¹⁾
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	C	C
	Gift shops.	P ⁽¹⁾	P ⁽¹⁾
	Hardware stores.	P ⁽¹⁾	P ⁽¹⁾
	Heliports.	C	C
	Household goods sales and repair, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios, and television sets, including repair thereof.	P ⁽¹⁾	P ⁽¹⁾
	Hobby shops.	P ⁽¹⁾	P ⁽¹⁾
	Ice cream shops.	P ⁽¹⁾	P ⁽¹⁾
	Ice sales, not including ice plants.	P ⁽¹⁾	P ⁽¹⁾
	Interior decorating shops.	P ⁽¹⁾	P ⁽¹⁾
	Jewelry stores with incidental repairs.	P ⁽¹⁾	P ⁽¹⁾
	Labor temples.	P ⁽¹⁾	P ⁽¹⁾
	Laboratories, film, medical, research, or testing.	P ⁽¹⁾	P ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 16	PLANNING AREA 17
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
	Laundries and laundromats.	p ⁽¹⁾	p ⁽¹⁾
	Leather goods stores.	p ⁽¹⁾	p ⁽¹⁾
	Liquid petroleum service stations, with or without the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	C	C
	Liquor stores pursuant to the provisions of Section 18.48. (Alcoholic Beverage Sales) of County Ordinance No. 348.	C	C
	Locksmith shops.	p ⁽¹⁾	p ⁽¹⁾
	Mail order businesses.	p ⁽¹⁾	p ⁽¹⁾
	Manufacturer's agent.	p ⁽¹⁾	p ⁽¹⁾
	Market, food, wholesale or jobber.	p ⁽¹⁾	p ⁽¹⁾
	Massage parlors, Turkish baths, health centers and similar personal service establishments.	NP	NP
	Meat markets, not including slaughtering.	p ⁽¹⁾	p ⁽¹⁾
	Mimeographing and addressograph services.	p ⁽¹⁾	p ⁽¹⁾
	Mobilehomes, provided they are kept mobile and licensed pursuant to State law, use For: <ul style="list-style-type: none"> a. Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, providing they are inconspicuously located. b. Agricultural worker employment offices for a maximum of 90 days in any calendar year. c. Caretakers or watchmen and their families provided no rent is paid, where a permitted and existing commercial use is established. Not more than one mobilehome shall be allowed for a parcel of land or a shopping center complex. 	p ⁽¹⁾	p ⁽¹⁾
	Mortuaries.	C	C
	Music stores.	p ⁽¹⁾	p ⁽¹⁾
	News stores.	p ⁽¹⁾	p ⁽¹⁾
	Notions or novelty stores.	p ⁽¹⁾	p ⁽¹⁾
	Nurseries and garden supply stores.	p ⁽¹⁾	p ⁽¹⁾
	Offices, businesses.	p ⁽¹⁾	p ⁽¹⁾
	One on-site operator's residence, which may be located in a commercial building.	p ⁽¹⁾	p ⁽¹⁾
	Paint and wall paper stores, not including paint contractors.	p ⁽¹⁾	p ⁽¹⁾
	Parking lots and parking structures.	p ⁽¹⁾	p ⁽¹⁾
	Parolee-Probationer Home developed in accordance with the standards set forth in Section 18.52. of County Ordinance No. 348.	C	C
	Pawn shops.	NP	NP

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 16	PLANNING AREA 17
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
	Pet shops and pet supply shops.	p ⁽¹⁾	p ⁽¹⁾
	Photography shops and studios and photo engraving.	p ⁽¹⁾	p ⁽¹⁾
	Plumbing shops, not including plumbing contractors.	p ⁽¹⁾	p ⁽¹⁾
	Poultry markets, not including slaughtering or live sales.	p ⁽¹⁾	p ⁽¹⁾
	Printers or publishers.	p ⁽¹⁾	p ⁽¹⁾
	Produce markets.	p ⁽¹⁾	p ⁽¹⁾
	Radio and television broadcasting studios.	p ⁽¹⁾	p ⁽¹⁾
	Recording studios.	p ⁽¹⁾	p ⁽¹⁾
	Refreshment stands.	p ⁽¹⁾	p ⁽¹⁾
	Restaurants and other eating establishments.	p ⁽¹⁾	p ⁽¹⁾
	Sale, rental, repair, or demonstration of motorcycles, scooters or motorbikes of two horsepower or greater.	C	C
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.	p ⁽¹⁾	p ⁽¹⁾
	Shoe stores and repair shops.	p ⁽¹⁾	p ⁽¹⁾
	Shoeshine stands.	p ⁽¹⁾	p ⁽¹⁾
	Signs, on-site advertising.	p ⁽¹⁾	p ⁽¹⁾
	Solar power plant on a lot 10 acres or larger.	C	C
	Sports and recreational facilities, not including motor-driven vehicles and riding academies, but including archery ranges, athletic fields, beaches, golf driving ranges, gymnasiums, miniature golf, parks, playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.	C	C
	Sporting goods stores.	p ⁽¹⁾	p ⁽¹⁾
	Stained glass assembly.	p ⁽¹⁾	p ⁽¹⁾
	Stationery stores.	p ⁽¹⁾	p ⁽¹⁾
	Stations, bus, railroad and taxi.	p ⁽¹⁾	p ⁽¹⁾
	Taxidermist.	p ⁽¹⁾	p ⁽¹⁾
	Tailor shops.	p ⁽¹⁾	p ⁽¹⁾
	Telephone exchanges.	p ⁽¹⁾	p ⁽¹⁾
	Theaters, not including drive-ins.	p ⁽¹⁾	p ⁽¹⁾
	Tire recapping.	C	C
	Tire sales and services, not including recapping.	C	C
	Tobacco shops.	p ⁽¹⁾	p ⁽¹⁾
	Tourist information centers.	p ⁽¹⁾	p ⁽¹⁾
	Toy shops.	p ⁽¹⁾	p ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 16	PLANNING AREA 17
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
	Trailer and boat storage.	C	C
	Travel agencies.	p ⁽¹⁾	p ⁽¹⁾
	Travel trailers, mobilehomes and recreational vehicles sales and service.	C	C
	Truck sales and services.	C	C
	Trucks and trailers; the rental of trucks not over 19,500 pounds gross weight, with body not to exceed 22 feet in length from the back of the cab to the end of the body; and the rental of trailers not exceeding six feet in width or 22 feet in length.	C	C
	Typewriter sales and rental and incidental repairs.	p ⁽¹⁾	p ⁽¹⁾
	Underground bulk fuel storage.	C	C
	Watch repair shops.	p ⁽¹⁾	p ⁽¹⁾
	Wedding chapels.	p ⁽¹⁾	p ⁽¹⁾
	Wholesale businesses with samples on the premises, but not to include storage.	p ⁽¹⁾	p ⁽¹⁾
	Recycling collection facilities.	p ⁽¹⁾	p ⁽¹⁾
	Golf cart sales and service.	p ⁽¹⁾	p ⁽¹⁾
	Hotels, resort hotels and motels.	p ⁽¹⁾	p ⁽¹⁾
	Day care centers.	p ⁽¹⁾	p ⁽¹⁾
	Convenience stores, not including the sale of motor vehicle fuel.	p ⁽¹⁾	p ⁽¹⁾
	Churches, temples and other places of religious worship.	p ⁽¹⁾	p ⁽¹⁾
Accessory Uses	Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and providing any such related activity does not exceed any of the following restrictions:	p ⁽¹⁾	p ⁽¹⁾
	All uses permitted with Plot Plan that have more than 200 square feet of outside storage of display of materials.	C	C
	The uses listed in Subsections above do not include sex-oriented businesses.		
	Any use that is not specifically listed above may be considered a permitted or conditionally permitted use providing that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed above. Such a use is subject to the permit process which governs the category in which it falls.		
	Industrial Hemp Activities are permitted or conditionally permitted in subsections A., B., or C. in Section 9.50 pursuant to the provisions set forth in Article XIXm of County Ordinance No. 348 including, but not limited to, permit processing, location, standards and approval requirements.		
	Planned commercial developments are permitted provided a land division has been approved pursuant to County		

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 16	PLANNING AREA 17
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted			
	Ordinance No. 460.		
NOTES: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348.			

**TABLE III-18B
DEVELOPMENT STANDARDS
PLANNING AREAS 16 AND 17 (COMMERCIAL)***

*The Development Standards for Planning Areas 16 and 17 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREAS 16 AND 17 REQUIREMENTS
Lot Size	There is no minimum lot area requirement, unless specifically required by zone classification for a particular area.
Maximum Building Height	No building or structure shall exceed fifty (50') feet in height, unless a greater height is approved pursuant to Section 18.34. of County Ordinance No. 348. In no event, however, shall a building or structure exceed seventy-five (75') feet in height, unless a variance is approved pursuant to Section 18.27. of County Ordinance No. 348.
Building Setbacks	There are no yard requirements for buildings which do not exceed 35 feet in height, except as required for specific plans. Any portion of a building which exceeds 35 feet in height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback. Each side setback shall be measured from the side lot line or from an existing adjacent street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Mechanical Equipment	All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.

18. PLANNING AREA 18: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 18, as depicted in Figure III-28, provides for development of 10.3 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 31 dwelling units are planned at a target density of 3.0 du/ac.

b. Land Use and Development Standards

Please refer to Table III-19A for Permitted Uses and III-19B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Primary access to Planning Area 18 shall be provided from Street "A" and Malone Road.
- 2) A special landscape treatment shall be established between the residential uses in Planning Area 18 and the adjacent existing residential uses, as shown on Figure IV-7.
- 3) A roadway landscape treatment shall be established along Street "A", as shown in Figure IV-22.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan

**TABLE III-19A
PERMITTED USES
PLANNING AREA 18 (MEDIUM DENSITY RESIDENTIAL)***

*The Permitted Uses for Planning Area 18 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 18
P = Permitted (1) (2) • C = Conditional Use Permit • N = Not Permitted	
One-family dwellings.	P
Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P
The noncommercial keeping of horses on lots not less than 20,000 square feet in area and 100 feet in width, provided they are kept not less than 100 feet from any street and 20 feet from any property line. A maximum of two horses per 20,000 square feet and, in any event, not more than four horses on a lot will be permitted. If a lot is one acre or more in area, poultry, crowing fowl (chickens only), rabbits, chinchillas, guinea pigs, parakeets and small fowl may be kept for the use of the occupants of the premises only. The poultry, crowing fowl, rabbits, chinchillas, guinea pigs, parakeets and small fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use. If a lot is two acres or more in area, two sheep or goats or combination thereof may be kept in addition thereto provided they are kept not less than 100 feet from any street, 20 feet from any property line and 50 feet from any residence.	P
Home occupations.	P
The keeping or raising of not more than four (4) mature female crowing fowl (chickens only) on lots or parcels between 7,200 square feet and 39,999 square feet or not more than 12 mature female crowing fowl (chickens only) on lots of 40,000 square feet or more for the use of the occupants of the premises. The crowing fowl shall be kept in an enclosed area located not less than 20 feet from any property line and not less than 50 feet from any residence and shall be maintained on the rear portion of the lot in conjunction with a residential use.	P
Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5. or 18.6. of County Ordinance No. 348.	P
The noncommercial raising of not more than one (1) miniature pig on lots from 7,200 to 19,999 square feet or not more than two (2) miniature pigs on lots of not less than 20,000 square feet, subject to the following conditions: <ul style="list-style-type: none"> a. Any person owning or having custody or control of a miniature pig over the age of four (4) months shall pay for and obtain a license from the Animal Control Department. b. Any miniature pig kept or maintained on a lot with a use permitted under Section 6.1.A.1. shall be spayed or neutered as a condition of being licensed. No license shall be issued unless the owner or custodian of the miniature pig presents a valid certificate from a veterinarian. All unaltered miniature pigs shall be subject to immediate impoundment. c. No miniature pig may weigh more than two hundred (200) pounds. d. Any person owning or having charge, care, custody or control of any miniature pig shall keep such pig exclusively upon his or her own premises, provided, however, such pig may be off such premises if under restraint of a competent person. e. The miniature pig must be kept in an enclosure that is no closer than thirty (30) feet from the front property line, fifteen (15) feet from any side or rear property line and no closer than thirty-five (35) feet of any dwelling unit other than the dwelling unit on the subject lot. 	P
Future Farmers of America (FFA) or 4-H projects conducted by the occupants of the premises. Provided, however, if the project involves crowing fowl, an unexpired crowing fowl affidavit form describing the project must be on file with the Planning Director. Affidavit forms are available at the Planning Department and may be filed free of charge.	P

PERMITTED USES	PLANNING AREA 18
P = Permitted (1) (2) • C = Conditional Use Permit • N = Not Permitted	
The outside storage of materials on improved lots or parcels of one-half acre to one acre provided the amount is limited to one hundred (100) square feet with a maximum height of three (3) feet and on improved lots or parcels of one acre or more provided the amount is limited to two hundred (200) square feet with a maximum height of three (3) feet.	P
Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.	P ⁽¹⁾
Public parks and playgrounds, golf courses with standard length fairways, and country clubs.	P ⁽¹⁾
Child Day Care Center.	P ⁽¹⁾
Mobilehome parks, developed pursuant to Section 19.92. of County Ordinance No. 348.	C
Churches, temples and other places of religious worship.	P ⁽²⁾
Notes: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348. 2) Requires a Public Use Permit via City of Menifee, pursuant to provisions of Section 18.29 of County Ordinance No. 348	

**TABLE III-19B
DEVELOPMENT STANDARDS
PLANNING AREA 18 (MEDIUM DENSITY RESIDENTIAL)***

*The Development Standards for Planning Area 18 (Medium Density Residential) are based on Article VI, Section 6.1 (One-Family Dwellings – R-1 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 18 REQUIREMENTS
Lot Size	Lot area shall be not less than 7,200 square feet. The minimum lot area shall be determined by excluding that portion of a lot that is used solely for access to the portion of a lot used as a building site.
Lot Width	The minimum average width of that portion of a lot to be used as a building site shall be 60 feet with a minimum average depth of 100 feet. That portion of a lot used for access on flag lots shall have a minimum width of 20 feet.
Lot Frontage	The minimum frontage of a lot shall be 60 feet, except that lots fronting on knuckles or cul-de-sac may have a minimum frontage of 35 feet. Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.
Maximum Building Height	Building height shall not exceed three stories, with a maximum height of 40 feet.
Minimum Yard Requirements	<p>The front yard shall be not less than fifteen feet (15') measured from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure.</p> <p>Side yards on interior and through lots shall be not less than ten percent of the width of the lot, but not less than three feet in width in any event, and need not exceed a width of five feet. Side yards on corner and reversed corner lots shall be not less than ten feet from the existing street line or from any future street line as shown on any specific plan of highways, whichever is nearer the proposed structure, upon which the main building sides, except that where the lot is less than 50 feet wide the yard need not exceed 20 percent of the width of the lot.</p> <p>Rear yards shall be not less than twenty feet (20').</p>
Encroachments	Chimneys and fireplaces shall be allowed to encroach into side yards a maximum of two feet (2'). No other structural encroachments shall be permitted in the front, rear or side yard except as provided for in Section 18.9 of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Lot Coverage	In no case shall more than 50% of any lot be covered by dwelling.

19. PLANNING AREA 19: COMMERCIAL/BUSINESS PARK

a. Descriptive Summary

Planning Area 19, as depicted in Figure III-28, provides for development of 32.9 acres devoted to Commercial/Business Park uses.

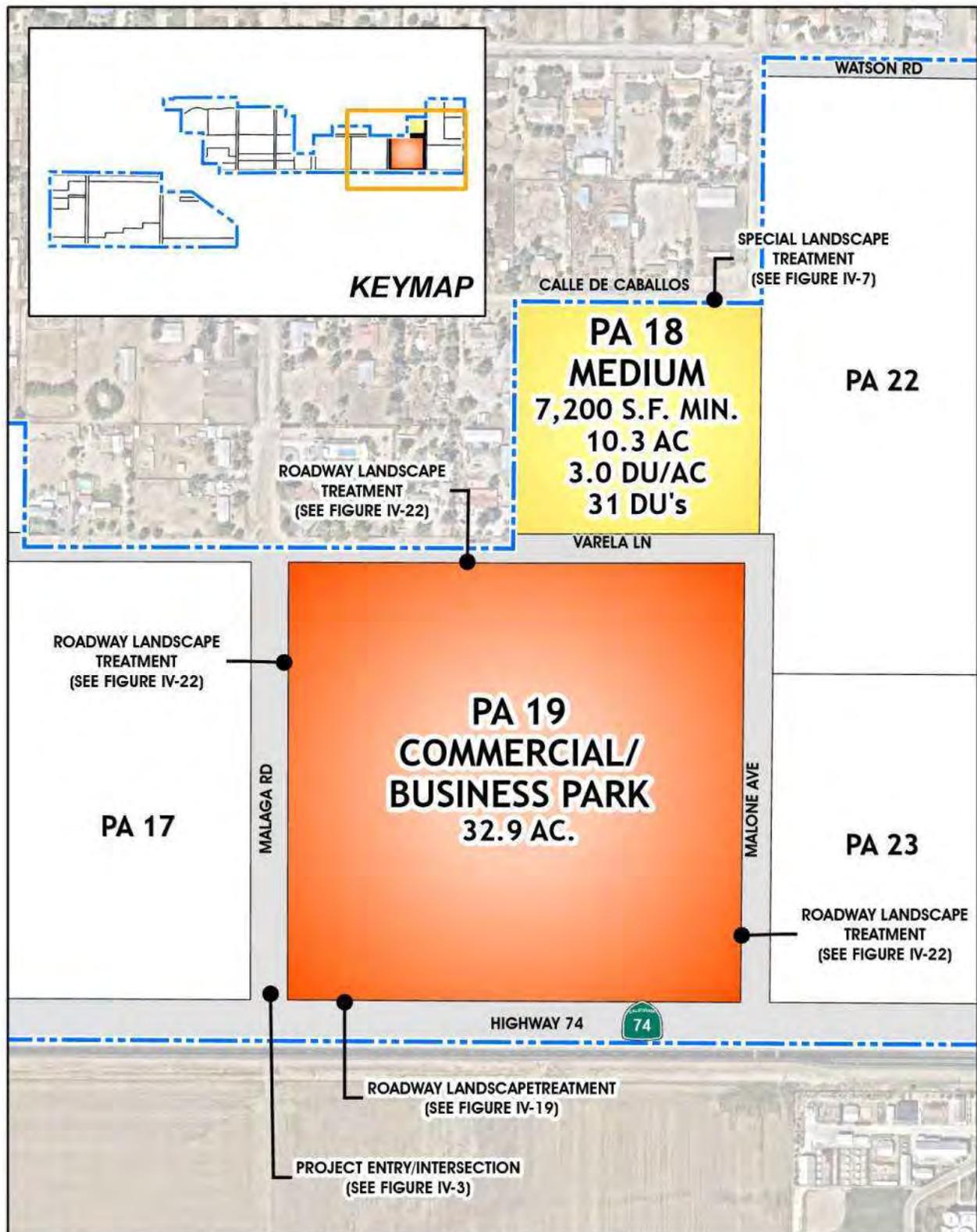
b. Land Use and Development Standards

Please refer to Table III-20A for Permitted Uses and III-20B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

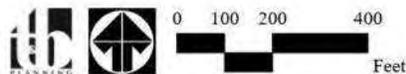
- 1) Primary access to Planning Area 19 shall be provided from Highway 74 (as approved by CalTrans), Malaga Road, Street "A" and Malone Road.
- 2) A project entry/intersection statement shall be developed at the intersection of Malaga Road and Highway 74, as shown on Figure IV-3.
- 3) A minor intersection statement shall be developed at the intersection of Malaga Road and Street "A", as shown on Figure IV-4.
- 4) Roadway landscape treatments, as shown on Figures IV-19 and 22, shall be established along Highway 74, Malaga Road, Street "A" and Malone Road, respectively.
- 5) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCTLMA (2021), Nearmap Aerial (2022)

FIGURE - III-28



PLANNING AREAS 18 & 19

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-20A
PERMITTED USES
PLANNING AREA 19 (COMMERCIAL/BUSINESS PARK)***

*The Permitted Uses for Planning Area 19 (Commercial/Business Park) are based on Article XI, Section 11.2 (Manufacturing-Service Commercial – M-SC Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 19
P = Permitted • C = Conditional Use Permit • NP = Not Permitted		
AGRICULTURE	Agricultural uses of the soils for crops including the grazing of not more than two mature farm animals per acre and their immature offspring.	P
FOOD PRODUCTS	Meat and poultry products, including meat packing but not including Slaughtering.	NP
	Dairy products, not including dairies.	NP
	Canning and preserving fruits and vegetables.	NP
	Grain and bakery products.	NP
	Sugar and confectionery products.	NP
	Nonalcoholic beverages.	NP
TEXTILE PRODUCTS	Cotton, wood, and synthetic weaving and finishing mills.	NP
	Wearing apparel and accessory products.	NP
	Knitting mills.	NP
	Floor coverings mills.	NP
	Yarn and thread mills.	NP
LUMBER AND WOOD PRODUCTS	Saw and planing mills.	NP
	Manufacture of containers and crates.	NP
	Fabrication of wood buildings and structures.	NP
	Lumber yards.	NP
	Manufacture of furniture and fixtures including cabinets, partitions, and similar items.	NP
	Fabrication of manufactured housing and mobilehome.	NP
PAPER PRODUCTS	Paper and paperboard mills.	NP
	Manufacture of containers and boxes.	NP
	Paper shredding.	NP
	Printing and publishing of newspaper, periodicals, books, forms cards and similar items.	NP
	Binding of books and other publications.	NP
CHEMICAL AND RELATED PRODUCTS	Manufacture of organic and inorganic compounds, not including those of a hazardous nature.	NP
	Manufacture of drugs and pharmaceuticals.	NP

USE CATEGORY	PERMITTED USES	PLANNING AREA 19
P = Permitted • C = Conditional Use Permit • NP = Not Permitted		
	Soaps, cleaners, and toiletries.	NP
	Manufacture of agricultural chemicals, not including pesticides and Fertilizers.	NP
LEATHER PRODUCTS	Tanning and finishing of leather.	NP
	Manufacture of handbags, luggage, footwear, and other personal leather Goods.	NP
STONE, CLAY, GLASS, AND CONCRETE PRODUCTS	Stone cutting and related activities.	NP
	Pottery and similar items.	NP
	Glass blowing, pressing and cutting.	NP
	Glassware products.	NP
	Manufacture of concrete, gypsum, plaster and mineral products.	NP
METAL PRODUCTS	Manufacture of cans and containers.	NP
	Cutlery, tableware, hand tools, and hardware.	NP
	Plumbing and heating items.	NP
	Wrought iron fabrication.	NP
	Manufacture and assembly of fencing.	NP
	Machine, welding, and blacksmith shops.	NP
	Metal stamps and forged metal products.	NP
	Fabrication of metal buildings.	NP
	Manufacture of ordnance and firearms, not including explosives.	NP
	Jewelry.	NP
MACHINERY	Engines, turbines, and parts.	NP
	Farm, garden construction, and industrial machinery.	NP
	Office and computing machines.	NP
	Refrigeration and heating equipment.	NP
	Equipment sales, rental, and storage.	NP
ELECTRICAL EQUIPMENT	Electrical and electronic apparatus and components.	NP
	Appliances.	NP
	Lighting and wiring.	NP
	Radio, television, and communications equipment.	NP
	Musical and recording equipment.	NP
TRANSPORTATION AND RELATED INDUSTRIES	Vehicles, aircraft, boats and parts manufacture.	NP
	Railroad equipment.	NP
	Motorcycles, bicycles, and parts.	NP

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USE CATEGORY	PERMITTED USES	PLANNING AREA 19
P = Permitted • C = Conditional Use Permit • NP = Not Permitted		
	Travel trailers and recreational vehicles manufacture.	NP
	Draying, freighting, and trucking operations.	NP
	Railroad yards and stations.	NP
	Vehicle storage and impoundment.	NP
	Trailer and boat storage.	NP
ENGINEERING AND SCIENTIFIC INSTRUMENTS	Measuring devices, watches, clocks, and related items.	NP
	Optical goods, medical instruments, supplies, and equipment, and photography equipment.	NP
INDUSTRIAL USES	Cotton ginning.	NP
	Public utility substations and storage yards.	NP
	Heliports.	NP
	Building movers storage yard.	NP
	Mini warehouses.	NP
	Warehousing and distribution.	NP
	Communications and microwave installations.	NP
	Cold storage plant.	NP
	Contractor storage yards.	NP
SERVICE AND COMMERCIAL	Banks and financial institutions.	P
	Blueprint and duplicating services.	P
	Gasoline and diesel service stations, not including the concurrent sale of beer and wine for off-premises consumption.	NP
	Laboratories, film, medical, research, or testing.	P
	Office equipment sales and service.	P
	Offices, professional sales and service, including business, law, medical dental, chiropractic, architectural, and engineering.	P
	Parking lots and parking structures.	P
	Restaurants and other eating establishments.	P
	Vehicle and motorcycle repair.	P
	Barber and beauty shops.	P
	Body and fender shops, and spray painting.	NP
	Building materials sales yard.	NP
	Day care centers.	P
	Health and exercise centers.	P
	Hardware and home improvement centers.	P
	Mobilehomes, provided they are kept mobile and licensed pursuant to State law, when used for: sales offices on mobilehome sales lots; construction offices	P

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USE CATEGORY	PERMITTED USES	PLANNING AREA 19
P = Permitted • C = Conditional Use Permit • NP = Not Permitted		
	and caretaker's quarters on construction sites for the duration of a valid building permit, agricultural worker employment offices for a maximum of 90 days in any calendar year; caretaker's quarters and office, in lieu of any other one-family dwelling, located on the same parcel as a permitted industrial use.	
	One-family dwellings on the same parcel as the industrial or commercial use provided such dwellings are occupied exclusively by the proprietor or caretaker of the use and their immediate family.	P
	Nurseries and garden supply.	P
	Car and truck washes.	P
	Signs, on-site advertising.	P
	Feed and grain sales.	P
	Truck and trailer sales and rental.	P
	Fortune telling, spiritualism, or similar activity.	P
	Mobilehome sales lots.	P
	Recycling collection facilities.	P
	Churches, temples, or other structures used primarily for religious worship.	P
INDUSTRIAL, SERVICE, AND COMMERCIAL	Meat packing plants, not including slaughtering or rendering of animals.	NP
	Cemeteries, crematories, and mausoleums.	C
	Paper storage and recycling, not within a building.	NP
	Brewery, distillery, or winery.	NP
	Acid and abrasives manufacturing.	C
	Fertilizer production, and processing organic or inorganic.	NP
	Petroleum and bulk fuel storage, above ground, pursuant to County Ordinance No. 546.	C
	Paints and varnishes manufacturing and incidental storage.	C
	Concrete batch plants and asphalt plants.	C
	Recycling processing facilities.	C
	Airports.	C
	Poultry and egg processing.	C
	Recycling of wood, metal, and construction wastes.	C
	Natural gas storage, above ground.	C
	Drive-in theaters.	C
	Disposal service operations, not including transfer stations.	C
	Draying, freighting and trucking operations.	C
	Solar power plant on a lot 10 acres or larger.	C
	Parolee-Probationer Home developed in accordance with the standards set forth in Section 18.52. of County Ordinance No. 348.	C

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MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 19
P = Permitted • C = Conditional Use Permit • NP = Not Permitted		
	Any mining operation that is subject to the California Surface Mining and Reclamation Act of 1975 provided a valid surface mining permit has been granted pursuant to County Ordinance No. 555.	NP
	Sex-oriented businesses, subject to the provisions of County Ordinance No. 743. The uses listed above do not include sex-oriented businesses.	
	Any use that is not specifically listed above may be considered a permitted or conditionally permitted use providing that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated Subsections. Such a use is subject to the permit process which governs the category in which it falls.	NP
	Industrial Hemp Activities are permitted or conditionally permitted in subsections A., B., or C. in Section 12.2 pursuant to the provisions set forth in Article XIXm of Ordinance No. 348 including, but not limited to, permit processing, location, standards and approval requirements.	NP
	Planned industrial developments are permitted provided a land division has been approved pursuant to County Ordinance No. 460.	

**TABLE III-20B
DEVELOPMENT STANDARDS
PLANNING AREA 19 (COMMERCIAL/BUSINESS PARK)***

*The Development Standards for Planning Area 19 (Commercial/Business Park) are based on Article XI, Section 11.2 (Manufacturing-Service Commercial – M-SC Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 19 REQUIREMENTS
Lot Size	The minimum lot size shall be 10,000 square feet with a minimum average width of 75 feet, except that a lot size not less than 7,000 square feet and an average width of not less than 65 feet may be permitted when sewers are available and will be utilized for the development.
Maximum Building Height	Structures shall not exceed 40 feet at the yard setback line. Buildings shall not exceed 50 feet unless a height up to 75 feet is approved pursuant to Section 18.34. of Ordinance No. 348. Structures other than buildings shall not exceed 50 feet unless a height up to 105 feet is approved pursuant to Section 18.34. of Ordinance No. 348. Broadcasting antennas shall not exceed 50 feet unless a greater height is approved pursuant to Section 18.34. of Ordinance No. 348.
Building Setbacks	Where the front, side, or rear yard adjoins a lot zoned R-R, R-1, R-A, R-2, R-3, R-4, R-6, R-T, R-T-R, or W-2-M, the minimum setback shall be 25 feet from the property line. Where the front, side, or rear yard adjoins a lot with zoning classification other than those specified in paragraph (1) above, there is no minimum setback. Where the front, side, or rear yard adjoins a street, the minimum setback shall be 25 feet from the property line. Within the exception of those portions of the setback area for which landscaping is required (see below), the setback area may only be used for driveways, automobile parking, or landscaping. A setback area which adjoins a street separating it from a lot with a zoning classification other than those zones specified in paragraph (1) above, may also be used for loading docks.
Masonry Wall	Prior to occupancy of any industrial use permitted in this article, a six foot high solid masonry wall or combination landscaped earthen berm and masonry wall shall be constructed on each property line that adjoins any parcel specifically zoned for residential use, unless otherwise approved by the hearing officer or body.
Landscaping	A minimum of ten percent of the site proposed for development shall be landscaped and irrigated. A minimum ten foot strip adjacent to street right-of-way lines shall be appropriately landscaped and maintained, except for designated pedestrian and vehicular access ways. Said landscaped strip shall not include landscaping located within the street right-of-way. A minimum 20 foot strip adjacent to lots zoned R-R, R-1, R-A, R-2, R-3, R-4, R-6, RT, R-T-R, or W-2-M, or separated by a street from a lot with said zoning, shall be landscaped and maintained, unless a tree screen or other buffer treatment is approved by the hearing officer or body. However, in no case shall said landscaping be less than ten feet wide excluding curbing.
Required Parking	Parking shall be provided as required by Section 18.12 of Ordinance No. 348.
Trash Collection Areas	Trash collection areas shall be screened by landscaping or architectural features in such a manner as not to be visible from a public street or from any adjacent residential area.
Outside Storage and	Outside storage and service areas may be required to be screened by structures or

DEVELOPMENT STANDARD	PLANNING AREA 19 REQUIREMENTS
Service Areas	landscaping.
Utilities	Utilities shall be installed underground except electrical lines rated at 33kV or Greater.
Mechanical Equipment	Mechanical equipment used in the manufacturing process may be required to be enclosed in a building, and roof-mounted accessory equipment may be required to be screened from view.
Lighting	All lighting fixtures, including spot lights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas, shall be focused, directed, and arranged to prevent glare or direct illumination on streets or adjoining property.
Exceptions	The development standards contained herein, except lot size, setbacks, and height, may be waived or modified as part of the plot plan or conditional use permit process if it is determined that the standard is inappropriate for the proposed use and that the waiver or modification of the standard will not be contrary to the public health and safety.
Manufacturing Plot Plan	<p>Applications for a plot plan shall be made pursuant to the provisions of Section 18.30. of County Ordinance No. 348 and in addition to the requirements of that section, the application shall contain:</p> <ol style="list-style-type: none"> 1. A description of the proposed operation in sufficient detail to fully describe the nature and extent of the proposed use. 2. Plans or reports showing proposed method for treatment and disposal of sewage and industrial waste.

20. PLANNING AREA 20: COMMUNITY PARK/CENTER

a. Descriptive Summary

Planning Area 20, as depicted in Figure III-29, provides for development of 11.4 acres as a Community Park/Center. Planning Area 20 will be landscaped and, at a minimum, will include such uses as picnic areas, tot lots, restrooms and parking facilities. In addition, the park may include two or more of the following: exercise course, playfield, basketball (half-court), sand volleyball court, soccer field, baseball field, group barbecue or shade arbor. The park will also include a community center which will be available for general neighborhood uses. A wide variety of activities and events will be available to all ages, from children to seniors. A conceptual site plan is provided in the Design Guidelines, Section IV (Figure IV-27).

b. Land Use and Development Standards

Please refer to Table III-21A for Permitted Uses and III-21B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 20 shall be provided from Street "A" and Briggs Road.
- 2) A special landscape treatment shall be established between the community park uses in Planning Area 20 and the adjacent school in Planning Area 21, as shown on Figure IV-26.
- 3) A special landscape treatment shall be established between the community park uses in Planning Area 20 and the adjacent residential uses in Planning Area 22 to the west, as shown on Figure IV-17.
- 4) A special landscape treatment shall be established between the community park uses in Planning Area 20 and the adjacent residential uses in Planning Area 22 to the south, as shown on Figure IV-18.
- 5) A roadway landscape treatment shall be established along Briggs Road as shown in Figure IV-22.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan

**TABLE III-21A
PERMITTED USES
PLANNING AREA 20 (COMMUNITY CENTER/PARK)***

*The Permitted Uses for Planning Area 20 (Community Center/Park) are based on Article VIIIe, Section 8.100 (Open Area Combining Zone-Residential Developments – R-5 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 20
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted	
Golf courses and appurtenant facilities, including clubhouses. A clubhouse is permitted to have customary retail shop and restaurant facilities.	NP
Noncommercial community association recreation and assembly buildings and facilities.	NP
Lakes, including noncommercial fishing there from.	NP
Picnic grounds.	NP
Parking lots, only for above-listed permitted uses, pursuant to the provisions of Section 18.12. of County Ordinance No. 348, except that not less than five percent of the interior of such parking lots shall have distributed landscaping in addition to the landscaping requirements of Section 18.12. of County Ordinance No. 348.	NP
Water wells and appurtenant facilities	NP
Cemetery, pet or human.	NP
Child Day Care Center.	NP
Riding academies and stables.	NP
Churches, temples and other places of religious worship.	p ⁽¹⁾
Notes:	
1) Requires Public Use Permit via City of Menifee, pursuant to provisions of Section 18.29 of Ordinance No. 348.	

**TABLE III-21B
DEVELOPMENT STANDARDS
PLANNING AREA 20 (COMMUNITY CENTER/PARK)***

*The Development Standards for Planning Area 20 (Community Center/Park) are based on Article VIIIe, Section 8.100 (Open Area Combining Zone-Residential Developments – R-5 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 20 REQUIREMENTS
Lot Size	This zone is to be applied to those areas within subdivisions and other residential developments that provide open space and recreational area and facilities for the project. Therefore, no minimum lot size is established for the zone.
Maximum Building Height	All buildings and structures shall not exceed 50 feet in height, unless a height up to 75 feet is specifically permitted under the provisions of Section 18.34. of Ordinance No. 348.
Minimum Yard Requirements	Whenever a building is to be constructed on a lot in this zone, it shall have a front yard, side yard and rear yard, each of which shall be not less than 50 feet. If more than one building is constructed on one lot, there shall be not less than 20 feet separation between the buildings.
Encroachments	No structural encroachments shall be permitted in the front, side, or rear yard except as provided for in Section 18.19. of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of Ordinance No. 348.
Trash Areas	All trash collection areas shall be enclosed with a solid fence or wall no less than six feet high.

21. PLANNING AREA 21: ELEMENTARY SCHOOL

a. Descriptive Summary

Planning Area 21, as depicted on Figure III-29, provides for the development 9.4 acres with an Elementary School which already exists. State funding has been approved for the construction of this school at the corner of Briggs and Watson Roads.

b. Land Use and Development Standards

Please refer to Table III-22A for Permitted Uses and III-22B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

- 1) Access to Planning Area 21 shall be provided from Briggs Road, Watson Road or a collector street from the south.
- 2) A special landscape transition area shall be established between the school uses in Planning Area 21 and the adjacent residential uses in Planning Area 22, as shown on Figure IV-17, *Residential (PA 22)/School/Community Center Interface*.
- 3) Roadway landscape treatments, such as those depicted in Figures IV-21 and 22, shall be provided along Briggs Road and Watson Road, respectively.
- 4) A special landscape treatment shall be established between the school uses in Planning Area 21 and the adjacent park uses in Planning Area 20, as shown on Figure IV-26.
- 5) A special landscape treatment, as shown on Figure IV-9, shall be established along Watson Road to limit views of this planning area from existing adjacent residential uses.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan

**TABLE III-22A
PERMITTED USES
PLANNING AREA 21 (SCHOOL)***

*The Permitted Uses for Planning Area 21 (School) are based on Article VIIIe, Section 8.100 (Open Area Combining Zone-Residential Developments – R-5 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

PERMITTED USES	PLANNING AREA 21
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted	
Golf courses and appurtenant facilities, including clubhouses. A clubhouse is permitted to have customary retail shop and restaurant facilities.	NP
Noncommercial community association recreation and assembly buildings and facilities.	NP
Lakes, including noncommercial fishing there from.	NP
Picnic grounds.	NP
Parking lots, only for above-listed permitted uses, pursuant to the provisions of Section 18.12. of County Ordinance No. 348, except that not less than five percent of the interior of such parking lots shall have distributed landscaping in addition to the landscaping requirements of Section 18.12. of County Ordinance No. 348.	NP
Water wells and appurtenant facilities.	NP
Cemetery, pet or human.	NP
Child Day Care Center.	NP
Riding academies and stables.	NP
Churches, temples and other places of religious worship.	P ⁽¹⁾
Schools.	P
Notes: 1) Requires a Public Use permit via the City of Menifee, pursuant to provisions of Section 18.29 of County Ordinance No. 348.	

**TABLE III-22B
DEVELOPMENT STANDARDS
PLANNING AREA 21 (SCHOOL)***

*The Development Standards for Planning Area 20 (School) are based on Article VIIIe, Section 8.101 (Open Area Combining Zone-Residential Developments – R-5 Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 21 REQUIREMENTS
Lot Size	This zone is to be applied to those areas within subdivisions and other residential developments that provide open space and recreational area and facilities for the project. Therefore, no minimum lot size is established for the zone.
Maximum Building Height	All buildings and structures shall not exceed 50 feet in height, unless a height up to 75 feet is specifically permitted under the provisions of Section 18.34. of Ordinance No. 348.
Minimum Yard Requirements	Whenever a building is to be constructed on a lot in this zone, it shall have a front yard, side yard and rear yard, each of which shall be not less than 50 feet. If more than one building is constructed on one lot, there shall be not less than 20 feet separation between the buildings.
Encroachments	No structural encroachments shall be permitted in the front, side, or rear yard except as provided for in Section 18.19. of Ordinance No. 348.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of Ordinance No. 348.
Trash Areas	All trash collection areas shall be enclosed with a solid fence or wall no less than six feet high.

22. PLANNING AREA 22: MEDIUM HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 22, as depicted in Figure III-29, provides for development of 26.5 acres of Medium High Density residential uses with minimum lot sizes of 3,700 square feet. A maximum total of 145 dwelling units are planned at a target density of 5.5 du/ac. Planning Area 22 shall also include a small tot lot, which may include play equipment, a shaded picnic court, and open field or lawn. The Marion V. Ashley Community Center and Park in Planning Area 20 will connect to the Planning Area 22 neighborhood via a pedestrian link.

b. Land Use and Development Standards

Please refer to Table III-23A for Permitted Uses and III-23B for Development Standards. Other uses not listed shall not be permitted.

c. Planning Standards

- 1) Access to Planning Area 22 shall be provided from Watson Road, Malone Avenue, and Varela Lane.
- 2) A landscape treatment shall be established between the residential uses in Planning Area 22 and the adjacent school in Planning Area 21 and Community Park in Planning Area 20, as shown on Figure IV-17A, *Residential/School Interface* and Figure 17-B, *Residential/Community Center West Interface*.
- 3) A landscape treatment shall be established between the residential uses in Planning Area 22 and the southern portion of the Community Park in Planning Area 20, as shown on Figure IV-18, *Residential/Community Center South Interface*.
- 4) A special landscape treatment shall be established between the residential uses in Planning Area 22 and the adjacent commercial area in Planning Area 23, as shown on Figure IV-13, *Residential (PA 22)/ E Street/Commercial Retail (PA 23) Interface*.
- 5) A roadway landscape treatment shall be established between the residential uses in Planning Area 22 and Briggs Road, as shown on Figure IV-14, *Residential (PA 22)/Briggs Road*.
- 6) Roadway landscape treatments, such as those depicted in Figures IV-23, *Modified Secondary Highway Streetscape-Palomar Road (PA 9) and Watson Road (PA 22)*, and IV-25, *Local Road/Industrial Collector Streetscape-Malone Avenue (PA 22)*, shall be provided along Watson Road and Malone Avenue, respectively.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

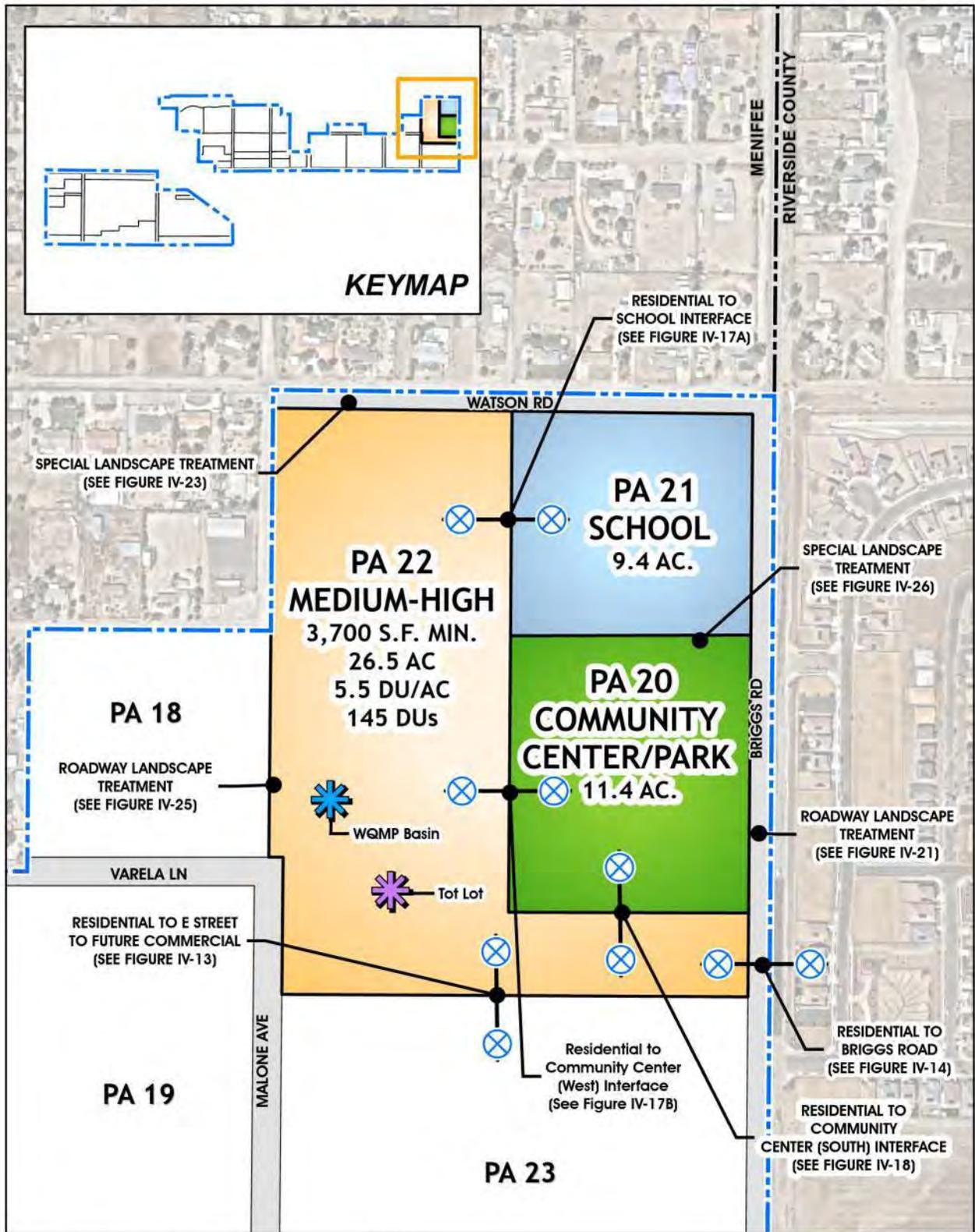
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan

III.A.7: Landscaping Plan

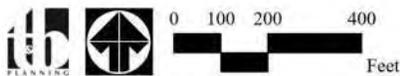
III.A.8: Public Facilities Phasing Plan

III.A.9: Phasing Plan



Source(s): Esri, RCTLMA (2024), Nearmap Aerial (September 2023)

FIGURE - III-29



PLANNING AREAS 20, 21, & 22
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

TABLE III-23A
PERMITTED USES
PLANNING AREA 22 (MEDIUM-HIGH DENSITY RESIDENTIAL)

<u>USE CATEGORY</u>	<u>PERMITTED USES</u>	<u>PLANNING AREA 22</u>
<u>P = Permitted (I) • C = Conditional Use Permit</u>		
<u>RESIDENTIAL</u>	<u>Accessory Dwelling Units (ADU).</u>	<u>p⁽¹⁾</u>
	<u>Bed and breakfast establishment.</u>	<u>C</u>
	<u>Congregate care facilities.</u>	<u>C</u>
	<u>Family day care home, small.</u>	<u>P</u>
	<u>Groups residential facility, six or fewer residents.</u>	<u>P</u>
	<u>Guest house, accessory to single-family detached.</u>	<u>p⁽¹⁾</u>
	<u>Home occupation.</u>	<u>p⁽¹⁾</u>
	<u>Single-family detached.</u>	<u>P</u>
<u>NON-RESIDENTIAL</u>	<u>Parks and recreation areas.</u>	<u>P</u>
	<u>Public utility facilities.</u>	<u>C</u>
	<u>Temporary real estate tract offices.</u>	<u>P</u>
	<u>Waterbodies, flood control facilities, including drainage channels, basins, access roads, and any other drainage infrastructure improvements.</u>	<u>P</u>
<u>NOTES:</u>		
<u>1) Additional approvals may be required pursuant to provisions of Chapter 9.35 of the City Zoning Ordinance.</u>		

TABLE III-23B
DEVELOPMENT STANDARDS
PLANNING AREA 22 (MEDIUM-HIGH DENSITY RESIDENTIAL)

<u>DEVELOPMENT STANDARD</u>	<u>PLANNING AREA 22 REQUIREMENTS</u>
<u>LOT DIMENSIONS (MINIMUM)</u>	
<u>Lot Area (Sq. Ft)</u>	<u>3,700</u>
<u>Lot Width (Feet)</u>	<u>42</u>
<u>Lot Depth (Feet)</u>	<u>90</u>
<u>Frontage (Feet)</u>	<u>40</u>
<u>Frontage for a Cul-De-Sac or Knuckle (Feet)⁽¹⁾</u>	<u>35⁽²⁾</u>
<u>SETBACKS (MINIMUM)⁽²⁾</u>	
<u>Front Yard to Livable Space or Porch (Feet)</u>	<u>15 to Living Space</u> <u>10 to Porch</u>
<u>Front Yard to Garage Door (Feet)</u>	<u>20</u>
<u>Front Yard to Side-On Garage Door (Feet)</u>	<u>10</u>
<u>Corner Side Yard (Feet)</u>	<u>10; or 5', if corner side yard abuts a landscape slope.</u> <u>In no case shall setback be less than 10' when measured from</u> <u>right-of-way.</u>
<u>Interior Side Yard (Feet)</u>	<u>5</u>
<u>Rear Yard (Feet)</u>	<u>15' with a minimum 10' level area</u>
<u>BUILDING HEIGHT (MAXIMUM)</u>	
<u>Building Height (Feet)</u>	<u>50</u>
<u>BUILDING COVERAGE (MAXIMUM)</u>	
<u>Building Coverage (Percent)</u>	<u>60% (One-story)</u> <u>55% (Two-story)</u>
<u>OPEN SPACE COVERAGE (MINIMUM)</u>	
<u>Open Space Required (Percent)</u>	<u>Exempt (See Quimby Parkland Requirements in Section III.5 of</u> <u>the Specific Plan)</u>
<u>Private Open Space/Unit (Sq. Ft)</u>	<u>100</u>
<u>ADDITIONAL STANDARDS</u>	
<u>Required Parking</u>	<u>Automobile storage space shall be provided as required by</u> <u>Section 9.215 of the City of Menifee Zoning Code.</u>
<u>NOTES:</u>	
1) <u>Lot frontage along curvilinear streets may be measured at the building setback in accordance with zone development standards.</u>	
2) <u>Total frontage for knuckles shall not be less than 35 feet.</u>	
3) <u>Setback encroachment allowances for architectural features and accessory structures can be found in 9.160.030 of the City of Menifee Development Code.</u>	

23. PLANNING AREA 23: COMMERCIAL

a. Descriptive Summary

Planning Area 23, as depicted in Figure III-30, provides for development of 23.7 acres devoted to Commercial uses.

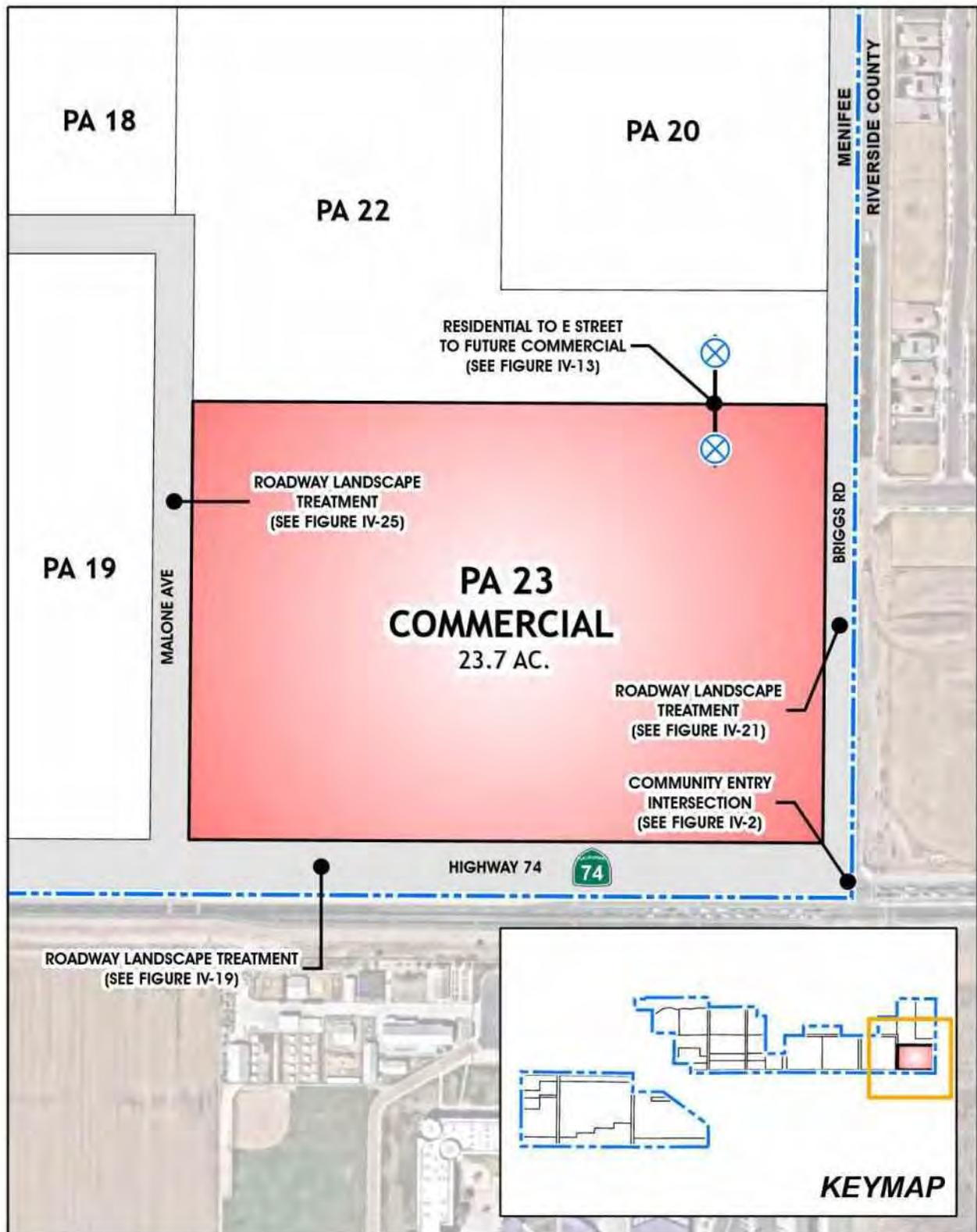
b. Land Use and Development Standards

Please refer to Table III-24A for Permitted Uses and III-24B for Development Standards. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Development Code and Zoning Ordinance.

c. Planning Standards

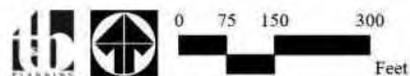
- 1) Primary access to Planning Area 23 shall be provided from Highway 74 (as approved by CalTrans), Malone Avenue, and Briggs Road.”
- 2) A project entry/intersection statement, as shown on Figure IV-3, shall be provided at the intersection of Street "A" and Briggs Road.
- 3) A community entry/intersection statement, illustrated on Figure IV-2, shall be developed at the intersection of Highway 74 and Briggs Road.
- 4) A special landscape treatment shall be established between the residential uses in Planning Area 22 and the adjacent commercial area in Planning Area 23, as shown on Figure IV-13, *Residential(PA 22)/ E Street/Commercial Retail (PA 23) Interface*.
- 5) A roadway landscape treatment shall be established between the residential uses in Planning Area 22 and Briggs Road, as shown on Figure IV-14, *Residential (PA 22)/Briggs Road*, shall be provided.
- 6) Roadway landscape treatments, as illustrated in Figures IV-19, 21 and 25, are planned along Highway 74, Briggs Road, Malone Road and Street “A,” respectively.
- 7) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 8) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 9) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |



Source(s): Esri, RCTLMA (2021), Nearmap Aerial (2022)

FIGURE - III-30



PLANNING AREA 23
III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

**TABLE III-24A
PERMITTED USES
PLANNING AREA 23 (COMMERCIAL)***

*The Permitted Uses for Planning Area 23 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

USE CATEGORY	PERMITTED USES	PLANNING AREA 23
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
SERVICE AND COMMERCIAL	Ambulance services.	p ⁽¹⁾
	Animal hospitals.	C
	Antique shops.	p ⁽¹⁾
	Appliance stores, household.	p ⁽¹⁾
	Art supply shops and studios.	p ⁽¹⁾
	Auditoriums and conference rooms.	p ⁽¹⁾
	Automobile repair garages, body shops, spray painting shops.	C
	Automobile sales and rental agencies.	C
	Bakery goods distributors.	p ⁽¹⁾
	Bakery shops, including baking only when incidental to retail sales on the premises.	p ⁽¹⁾
	Banks and financial institutions.	p ⁽¹⁾
	Barber and beauty shops.	p ⁽¹⁾
	Bars and cocktail lounges.	p ⁽¹⁾
	Bicycle sales and rentals.	p ⁽¹⁾
	Billiard and pool halls.	p ⁽¹⁾
	Blueprint and duplicating services.	p ⁽¹⁾
	Boat sales, rentals and services.	C
	Book stores and binders.	p ⁽¹⁾
	Bowling alleys.	p ⁽¹⁾
	Car washes.	C
	Catering services.	p ⁽¹⁾
	Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	p ⁽¹⁾
	Cleaning and dyeing shops.	p ⁽¹⁾
Clothing stores.	p ⁽¹⁾	
Confectionery or candy stores.	p ⁽¹⁾	

USE CATEGORY	PERMITTED USES	PLANNING AREA 23
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Convenience stores, including the sale of motor vehicle fuel.	C
	Costume design studios.	P ⁽¹⁾
	Dance halls.	P ⁽¹⁾
	Delicatessens.	P ⁽¹⁾
	Department stores.	P ⁽¹⁾
	Drive-in theaters.	C
	Drug stores.	P ⁽¹⁾
	Dry goods stores.	P ⁽¹⁾
	Electrical substations.	P ⁽¹⁾
	Employment agencies.	P ⁽¹⁾
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding 20 cubic feet in capacity and other similar equipment.	C
	Escort bureaus.	P ⁽¹⁾
	Feed and grain sales.	P ⁽¹⁾
	Fishing and casting pools.	NP
	Florist shops.	P ⁽¹⁾
	Food markets and frozen food lockers.	P ⁽¹⁾
	Gasoline and diesel service stations, not including the concurrent sale of beer and wine for off-premises consumption.	P ⁽¹⁾
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	C
	Gift shops.	P ⁽¹⁾
	Hardware stores.	P ⁽¹⁾
	Heliports.	C
	Household goods sales and repair, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios, and television sets, including repair thereof.	P ⁽¹⁾
	Hobby shops.	P ⁽¹⁾
	Ice cream shops.	P ⁽¹⁾
	Ice sales, not including ice plants.	P ⁽¹⁾
	Interior decorating shops.	P ⁽¹⁾
	Jewelry stores with incidental repairs.	P ⁽¹⁾
	Labor temples.	P ⁽¹⁾
	Laboratories, film, medical, research, or testing.	P ⁽¹⁾
	Laundries and laundromats.	P ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 23
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Leather goods stores.	p ⁽¹⁾
	Liquid petroleum service stations, with or without the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	C
	Liquor stores pursuant to the provisions of Section 18.48. (Alcoholic Beverage Sales) of County Ordinance No. 348.	C
	Locksmith shops.	p ⁽¹⁾
	Mail order businesses.	p ⁽¹⁾
	Manufacturer's agent.	p ⁽¹⁾
	Market, food, wholesale or jobber.	p ⁽¹⁾
	Massage parlors, Turkish baths, health centers and similar personal service establishments.	NP
	Meat markets, not including slaughtering.	p ⁽¹⁾
	Mimeographing and addressograph services.	p ⁽¹⁾
	Mobilehomes, provided they are kept mobile and licensed pursuant to State law, use For: <ul style="list-style-type: none"> a. Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, providing they are inconspicuously located. b. Agricultural worker employment offices for a maximum of 90 days in any calendar year. c. Caretakers or watchmen and their families provided no rent is paid, where a permitted and existing commercial use is established. Not more than one mobilehome shall be allowed for a parcel of land or a shopping center complex. 	p ⁽¹⁾
	Mortuaries.	C
	Music stores.	p ⁽¹⁾
	News stores.	p ⁽¹⁾
	Notions or novelty stores.	p ⁽¹⁾
	Nurseries and garden supply stores.	p ⁽¹⁾
	Offices, businesses.	p ⁽¹⁾
	One on-site operator's residence, which may be located in a commercial building.	p ⁽¹⁾
	Paint and wall paper stores, not including paint contractors.	p ⁽¹⁾
	Parking lots and parking structures.	p ⁽¹⁾
	Parolee-Probationer Home developed in accordance with the standards set forth in Section 18.52. of County Ordinance No. 348.	C
	Pawn shops.	NP
	Pet shops and pet supply shops.	p ⁽¹⁾
	Photography shops and studios and photo engraving.	p ⁽¹⁾
	Plumbing shops, not including plumbing contractors.	p ⁽¹⁾
	Poultry markets, not including slaughtering or live sales.	p ⁽¹⁾

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 23
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	Printers or publishers.	p ⁽¹⁾
	Produce markets.	p ⁽¹⁾
	Radio and television broadcasting studios.	p ⁽¹⁾
	Recording studios.	p ⁽¹⁾
	Refreshment stands.	p ⁽¹⁾
	Restaurants and other eating establishments.	p ⁽¹⁾
	Sale, rental, repair, or demonstration of motorcycles, scooters or motorbikes of two horsepower or greater.	C
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.	p ⁽¹⁾
	Shoe stores and repair shops.	p ⁽¹⁾
	Shoeshine stands.	p ⁽¹⁾
	Signs, on-site advertising.	p ⁽¹⁾
	Solar power plant on a lot 10 acres or larger.	C
	Sports and recreational facilities, not including motor-driven vehicles and riding academies, but including archery ranges, athletic fields, beaches, golf driving ranges, gymnasiums, miniature golf, parks, playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.	C
	Sporting goods stores.	p ⁽¹⁾
	Stained glass assembly.	p ⁽¹⁾
	Stationery stores.	p ⁽¹⁾
	Stations, bus, railroad and taxi.	p ⁽¹⁾
	Taxidermist.	p ⁽¹⁾
	Tailor shops.	p ⁽¹⁾
	Telephone exchanges.	p ⁽¹⁾
	Theaters, not including drive-ins.	p ⁽¹⁾
	Tire recapping.	C
	Tire sales and services, not including recapping.	C
	Tobacco shops.	p ⁽¹⁾
	Tourist information centers.	p ⁽¹⁾
	Toy shops.	p ⁽¹⁾
	Trailer and boat storage.	C
	Travel agencies.	p ⁽¹⁾
	Travel trailers, mobilehomes and recreational vehicles sales and service.	C
	Truck sales and services.	C
	Trucks and trailers; the rental of trucks not over 19,500 pounds gross weight, with	C

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

USE CATEGORY	PERMITTED USES	PLANNING AREA 23
P = Permitted (1) • C = Conditional Use Permit • NP = Not Permitted		
	body not to exceed 22 feet in length from the back of the cab to the end of the body; and the rental of trailers not exceeding six feet in width or 22 feet in length.	
	Typewriter sales and rental and incidental repairs.	P ⁽¹⁾
	Underground bulk fuel storage.	C
	Watch repair shops.	P ⁽¹⁾
	Wedding chapels.	P ⁽¹⁾
	Wholesale businesses with samples on the premises, but not to include storage.	P ⁽¹⁾
	Recycling collection facilities.	P ⁽¹⁾
	Golf cart sales and service.	P ⁽¹⁾
	Hotels, resort hotels and motels.	P ⁽¹⁾
	Day care centers.	P ⁽¹⁾
	Convenience stores, not including the sale of motor vehicle fuel.	P ⁽¹⁾
	Churches, temples and other places of religious worship.	P ⁽¹⁾
Accessory Uses	Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and providing any such related activity does not exceed any of the following restrictions:	P ⁽¹⁾
	All uses permitted with Plot Plan that have more than 200 square feet of outside storage of display of materials.	C
	The uses listed in Subsections above do not include sex-oriented businesses.	
	Any use that is not specifically listed above may be considered a permitted or conditionally permitted use providing that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed above. Such a use is subject to the permit process which governs the category in which it falls.	
	Industrial Hemp Activities are permitted or conditionally permitted in subsections A., B., or C. in Section 9.50 pursuant to the provisions set forth in Article XIXm of Ordinance No. 348 including, but not limited to, permit processing, location, standards and approval requirements.	
	Planned commercial developments are permitted provided a land division has been approved pursuant to County Ordinance No. 460.	
NOTES: 1) Requires Plot Plan Approval via City of Menifee, pursuant to provisions of County Ordinance No. 348.		

**TABLE III-24B
DEVELOPMENT STANDARDS
PLANNING AREA 23 (COMMERCIAL)***

*The Development Standards for Planning Area 23 (Commercial) are based on Article IXb, Section 9.50 (Scenic Highway Commercial – C-P-S Zone) of the Riverside County Ordinance No. 348 and the approved Specific Plan Zoning Ordinance associated with Substantial Conformance No. 2 of Amendment No. 2 to Specific Plan No. 260.

DEVELOPMENT STANDARD	PLANNING AREA 23 REQUIREMENTS
Lot Size	There is no minimum lot area requirement, unless specifically required by zone classification for a particular area.
Maximum Building Height	No building or structure shall exceed fifty (50') feet in height, unless a greater height is approved pursuant to Section 18.34. of County Ordinance No. 348. In no event, however, shall a building or structure exceed seventy-five (75') feet in height, unless a variance is approved pursuant to Section 18.27. of County Ordinance No. 348.
Building Setbacks	There are no yard requirements for buildings which do not exceed 35 feet in height, except as required for specific plans. Any portion of a building which exceeds 35 feet in height shall be set back from the front, rear and side lot lines not less than two feet for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line. The rear setback shall be measured from the existing rear lot line or from any recorded alley or easement; if the rear line adjoins a street, the rear setback requirement shall be the same as required for a front setback. Each side setback shall be measured from the side lot line or from an existing adjacent street line unless a specific plan has been adopted in which case it will be measured from the specific plan street line.
Required Parking	Automobile storage space shall be provided as required by Section 18.12. of County Ordinance No. 348.
Mechanical Equipment	All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 1,320 feet.

IV. DESIGN GUIDELINES

A. PURPOSE AND INTENT

These guidelines have been devised as a method for achieving a high quality, cohesive design fabric for the *MENIFEE NORTH* Specific Plan area community.

More specifically, the purpose of these Design Guidelines is:

- To provide the City of Menifee with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the Specific Plan area;
- To provide guidance in the formulation of CC&Rs for the use of land in the Specific Plan area;
- To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries.
- To provide development guidelines which permit the *MENIFEE NORTH* Specific Plan area to develop its own theme and character while allowing it to interface and respond to the character and design fabric of adjacent specific plan areas which may be currently under review or are proposed in the future.

The Design Guidelines provided herein are intended to function as a living document. They are subject to modification over time to allow for response to anticipated conditions, such as changes in taste, community desires and the marketplace, or significant changes within adjacent specific planning areas.

B. GENERAL GUIDELINES

As demonstrated by Figure IV-1, *Conceptual Landscape Plan*, careful thought has been given to integrate the structural and aesthetic elements of a balanced, active community. To ensure that this carefully considered plan is implemented in a manner that will bring *MENIFEE NORTH* a sense of its own character, a central theme has been established, as described below.

1. PROJECT THEME

The underlying design concept and theme for *MENIFEE NORTH* incorporates a suburban corridor along the highly visible Highway 74, transitioning outward to adjacent compatible land uses. The design provides for unifying elements in each planning area. Streetscape corridors, entry monumentation, and project-wide design guidelines provide unifying characteristics to strengthen the overall theme. Additionally, the design creates a community identity through control of elements such as architecture, landscaping, color palette of building materials, paving, community theme walls, fencing, lighting, street furniture, signage and graphics.

Landscaping plays a significant role in establishing *MENIFEE NORTH's* distinctive character. The community's mixed-use concept seeks to develop an association of different land uses by utilizing landscaping, which has been designed to strengthen the overall theme of the development, through the use of specific plant and hardscape materials, while still allowing for specific land use individuality.

2. PROJECT SETTING

a. Development of Improved Recreational Open Space

The *MENIFEE NORTH* Specific Plan proposes the integration of recreational trails, community parks, mini-parks and school playgrounds to create a master recreational program which provides adequate areas to accommodate active recreational needs of the future residents of the site.

b. Creation of an Integrated Land Use Concept

In designing the land use plan for *MENIFEE NORTH*, it was intended that several opportunities be created as a means to provide a sense of arrival and to establish the overall theme. A hierarchy was developed which would establish this arrival theme, and which would provide a feeling of transition from varying intensity of land use. This hierarchy consists of Community Entries and Intersections, Project Entries and Intersections, Minor Intersections and Neighborhood Entries.

C. COMMUNITY ELEMENTS

Figure IV-1, *Conceptual Landscape Plan*, consists of community elements that reflect continuity throughout the project. Community elements such as entries, intersections, streetscapes, walls, fences and land use transitions will serve as a unifying element. Individually, these elements identify with specific land use, however through the consistent use of similar forms and materials, are designed to be a reinforcement of the overall project theme.

1. PROJECT MONUMENTATION TREATMENTS

Project monumentation is proposed at key entries and intersections which will become major focal points of the project's identification. Monumentation treatments in some situations share the same level of hierarchy, however, must identify and be compatible with varied land uses. For this reason, the forms, size and materials of these treatments have been carefully designed to be compatible with residential as well as non-residential uses. A hierarchy of monumentation statements, as discussed generally above and detailed below, has been established for *MENIFEE NORTH*.

a. Community Entries and Intersections (Figure IV-2)

Community Entries and Intersections, as illustrated in Figure IV-2, occur at Urban Arterial, Arterial Highway and Major Highway intersections, and are *MENIFEE NORTH's* "Gateway" to business and residential communities. These entries will serve to visually and physically announce major arrival points within *MENIFEE NORTH*. The overall sense of entry is created by a harmonious blend of thematic features that include:

- A 110-foot corner cutoff monumentation treatment.
- A 22-foot turf grass threshold introducing the monumentation treatment.
- Freestanding community identification cube compatible with community theme walls.
- A 25-foot radius monumentation wall, compatible with community theme walls, back up identification cube.
- Small flowering accent trees, which match the trees at Highway 74, in a formal grouping to provide color and to reinforce the overall streetscape theme.
- Tall evergreen trees behind flowering accent trees to provide a solid visual backdrop and to reinforce the overall streetscape theme.
- Formal hedge row treatment with a foreground of flowering ground cover to define physical limits of the entry statement and to provide screening of parked cars in commercial areas.
- Community entries may incorporate community theme walls or fencing at the back of landscape development zone limits, depending on adjacent land use requirements. See Figure IV-2.

Community intersections are intended to occur in conjunction with community entries, where identification is not necessary or compatible with adjacent land uses. Intersections may incorporate community theme walls or fencing depending on adjacent land use requirements. See Figures IV-2.

b. Project Entries and Intersections (Figure IV-3)

Project Entries and Intersections, as illustrated in Figure IV-3, are the second level of hierarchy for monumentation, and occur at intersections of Urban Arterial, Arterial Highways and Major Highways. Project entry statements occur in a formal symmetrical configuration on both sides of the street and announce arrival to individual business or residential communities. Thematic features include:

- A 95-foot corner cutoff monumentation treatment.
- A 22-foot turf grass threshold introducing the monumentation treatment.
- A 25-foot radius monumentation wall, identifying the project area by name. Graphics and materials are to be compatible with the overall community theme.
- Formal grouping of tall evergreen trees to provide continuity with community entries.
- Formal hedge row treatment, duplicating the appearance of community entries.
- Project entries may incorporate community theme walls or fencing at the back of landscape development zone limit depending on adjacent land use requirements. See Figure IV-3.

Project intersections are to be used in conjunction with project entries where continuity is desired, however project identification is not. These monumentations share the same thematic features with the exception of signage graphics. Intersections may incorporate a community theme wall or fencing, depending on adjacent land use requirements.

c. Minor Intersections (Figure IV-4)

Minor Intersections, as illustrated in Figure IV-4, are the third level of hierarchy for *MENIFEE NORTH*. Treatments reflect similar thematic features of previously described monumentations as follows:

- A 60-foot corner cutoff monumentation treatment.
- A 20-foot turf grass threshold.
- Formal grouping of tall evergreen trees to provide continuity with community and project monumentation treatments.
- Formal hedge row treatment compatible with other monumentation.
- Intersections may incorporate community theme walls or fencing, depending on adjacent land use requirements. See Figure IV-4.

d. Neighborhood Entries / Business Monument Signage (Figures IV-5 and IV-6)

Neighborhood Entries, as illustrated on Figure IV-5, and *Business Monument Signage*, as illustrated on Figure IV-6, share the fourth level of hierarchy and complete the monumentations for *MENIFEE NORTH*. These treatments are intended for future local streets that have not been identified on the *Conceptual Landscape Plan*, but will occur as part of the actual project design. Individual users are encouraged to reflect forms, materials, and graphics of other project monumentations to provide overall continuity and strengthen the theme of *MENIFEE NORTH's* community elements.

2. LAND USE TRANSITIONS

To create a high-quality, aesthetically pleasing community, and buffer dissimilar uses to the extent practical, the *MENIFEE NORTH* Specific Plan provides a variety of transition treatments. These treatments utilize landscape material including vegetation and hardscape to facilitate the community's mixed use concept by improving land use compatibility. The transitions allow land uses of similar intensity or compatibility to interlink, while providing visual and physical separation between land uses of dissimilar intensity or with limited compatibility.

The conceptual locations for each of these land use transitions are specified in the *Planning Area Development Standards* (Section III.B) for each Planning Area. A description of each transition is provided below.

a. On-Site Residential / Adjacent Existing Residential Interface (Figure IV-7)

This interface occurs along the northern and eastern portions of the project, where low, medium and medium-high density residential land uses within *MENIFEE NORTH* are adjacent to established, large lot residential neighborhoods. Figure IV-7 illustrates the on-site residential/existing adjacent residential land use transition which incorporates the following components:

- To retain the rural nature of these interfaces, a 40-foot backyard setback is provided for on-site residential lots to create a landscaped buffer.
- Encourage on-site residential lots to establish generous backyard landscaping with informal groupings of both vertical and canopy trees to limit views from adjacent existing residential properties to proposed residential roof lines.
- A 6-foot-high community theme wall is provided at the property line.
- Where grading changes occur, incorporate contour grading techniques, avoiding sharp cut manufactured slopes to create a more natural appearance.

b. Residential (PA 9)/ Adjacent Existing Residential Interface (Figure IV-8)

This interface occurs along the northern boundary of Planning Area 9, which are adjacent to established, large lot residential neighborhoods. Figure IV-8 illustrates the residential uses in Planning Area 9 and the existing adjacent neighborhood, which incorporates the following components:

- A 15-foot rear yard setback with a minimum 10' level area.
- A 4-foot side yard setback for side on conditions.

An additional 10-foot set back starting at the 6-foot-high tubular steel fence at the rear property line of homes in Planning Area 9, consisting of a 5-foot landscaped slope at a 10:1 grade, a 5-foot wide concrete drainage swale, with a 6-foot high block wall at the tract boundary.

c. Secondary Road Streetscape / Adjacent Existing Residential Interface (Figure IV-9)

This land use transition is created where streetscape improvements for Watson Road are adjacent to established, large lot residential neighborhoods. The 88-foot street right-of-way separates on-site residential and school land uses from off-site uses. This land use transition, as illustrated in Figure IV-9, incorporates the following components:

- Watson Road shall incorporate an 11-foot landscape development zone with informal groupings of trees and small flowering accents to retain a rural feeling while limiting views.
- On-site residential lots are encouraged to provide generous backyard landscaping with informal groupings of trees to limit views from adjacent existing residential properties to proposed residential roof lines.
- A 6-foot-high community theme wall shall be provided at the property line of residential lots and school property abutting the Watson Road right-of-way.

Along portions of Watson Road, a channel right-of-way further separates on-site residential and school uses from off-site development, limiting view potential.

d. Drainage Channel/Business Park, Commercial & Industrial Interface (Figure IV-10)

This land use transition is created where business park industrial and commercial land uses interface with the flood control channel adjacent to Briggs Road is illustrated in Figure IV-10 and incorporates the following components:

- Streetscape landscaping between the street curb and the back of the landscape development zone shall be as required by the *Conceptual Landscape Plan*, Figure IV-1.
- A 6-foot high community theme wall shall be provided at both sides of channel. Figure IV-30 illustrates the *Community Walls and Fencing Plan for MENIFEE NORTH*.
- Site plans for business and commercial uses should strive to create reverse frontage products at this edge condition, however allowing for signage on the rear of buildings for good visibility from Briggs Road. Signage and graphics should be compatible with the overall community theme.

As illustrated in Figure IV-10, at edge conditions created in Planning Area 2, industrial land uses interface with both sides of the channel. Because public views of this area are limited, the importance of screening the channel is minimized. Landscape setbacks and buffering of the channel is recommended only if required by "percentage of area" landscape out "shading density" requirements. Fencing shall be provided along both sides of the channel. Industrial areas directly abutting the channel are recommended for storage yards and loading docks.

f. Existing Residential / Park (PA 10) Interface (Figure IV-11)

This land use transition is created where proposed park improvements are adjacent to established, large lot residential neighborhoods. Figure IV-11 illustrates the existing residential/park land use transition which incorporates the following components:

- A 6-foot high combination low stucco wall with tubular steel fence shall be provided at the property line to allow open spacious view into park from adjacent residential uses, while limiting public intrusion into private lots.
- A 20-foot wide landscaped buffer shall be established at the park edge.
- Landscape tree plantings for the park site should stress the use of tall skyline tree plantings to retain views into the park site. Trees such as Eucalyptus species, plane trees and California Sycamores should be planted in random informal groves or groupings. Tree plantings should generally be concentrated along the outer edges of the park to allow for the maximization of unrestricted usable open space.
- Site plans for adjacent residential land uses should strive to provide direct, convenient circulation connections to park site.
- Encouraged graceful mounding should be designed throughout park to create a natural appearance.

g. Residential / Business Park, Mixed-Use and Commercial Interface (Figure IV-12)

This interface, shown in Figure IV-12 occurs where residential land uses, either existing or proposed, are adjacent to Business Park, Mixed Use or Commercial land uses. The following components apply:

- Site plans should strive to orient parking, vehicular circulation and loading and storage areas away from the residential interface. Where parking, vehicular circulation, loading or storage areas occur adjacent to residential areas, they should be separated from the residential areas by a minimum 10-foot-wide landscaping screening buffer.
- A 10-foot wide planning area shall be incorporated along the business park/commercial/mixed use side of the screen wall. Screening shall be provided at the commercial/business park/mixed-use edge by a 6-foot-high decorative wall which is compatible in appearance with the community walls.
- Planning areas in commercial, business park and mixed-use areas visible from adjacent residential lots shall be liberally and informally planted with a combination of vertical trees, canopy trees, shrubs, and groundcovers.
- Site plans for single family lots should strive to construct units a minimum of 15 feet from the property line adjacent to the transition area.

h. Residential (PA 22) / E Street / Commercial (PA 23) Interface (Figure IV-13)

This interface occurs where residential land uses in Planning Area 22 are adjacent to E Street and the Commercial land uses within Planning Area 23. Figure IV-13 illustrates the E Street roadway treatment between residential and commercial land uses, which incorporates the following components:

- A 56-foot right-of-way, consisting of 36 feet of paving, a 6-foot curb-adjacent sidewalk and a 4-foot landscaped parkway at the southerly right-of-way edge of the internal local street.
- A minimum 20-foot landscaped slope at a 2:1 grade, with a 5-foot-wide concrete swale at the toe of the slope, will be established at the tract boundary.
- Landscaped areas will be planted with a combination of vertical trees, canopy trees, shrubs, and groundcovers.

i. Residential (PA 22) / Briggs Road Interface (Figure IV-14)

This interface occurs between residential land uses in Planning Area 22 to Briggs Road. Figure IV-14 illustrates the Briggs Road roadway treatment between residential land uses and off-site conditions, which incorporates the following components:

- A 123-foot ultimate right-of-way, consisting of 38-feet of paving and a 21-foot-wide area which accommodates landscaping, including a 6-foot meandering sidewalk on the westerly section of

Briggs Road. The additional 64 feet of improvements on the east of the Briggs Road centerline shall be improved by others.

- A maximum 6-foot-high block wall shall be provided at the property line.
- A 20-foot setback outside of the right-of-way, which includes a city maintained landscaped slope at a maximum 2:1 grade, extends from the 6-foot-high block wall at the rear property line to the westerly right-of-way.

j. Residential / Regional Trail / Open Space Interface (Figure IV-15)

This interface occurs where residential planning areas are adjacent to the regional trail and open space areas. In areas where grading will be required at up-hill natural slopes, a fuel modification interface shown on Figure IV-15, is proposed. This treatment will ensure proper revegetated edge conditions, provide for an aesthetic transition between natural and created conditions and if, and when necessary, reduce fire hazards. Per the Menifee Fire Department, the following components apply:

- A 6-foot-high solid masonry wall shall be provided at the rear of residential lots. Masonry walls shall provide for access openings for fire equipment every 1,500 linear feet.
- All areas disturbed by grading shall be revegetated with fire retardant plants subject to Menifee Fire Department approval.
- Any trees planted shall be located a minimum of 30 feet from the rear of residential property lines.

k. Regional Trail / Roadway/Commercial, Business Park & Residential Interface (Figure IV-16)

A portion of the regional trail will be located along project roadways (Briggs Road, McLaughlin Road, Street "C" and Emperor Road). In these areas, adequate buffering is required to separate the trail from the adjacent right-of-way and the adjacent residential lots or commercial or business park parking lots. This interface is depicted in Figure IV-16 and incorporates the following components:

- An 8-foot-wide planting area shall be provided between the pedestrian sidewalk and the regional trail. Canopy street trees shall be planted in this area in accordance with the *Conceptual Landscape Plan*.
- A 2-foot-wide planting area to accommodate shrubs and groundcover shall be provided between the regional trail and the adjacent land uses.
- Where residential lots abut the regional trail, a project theme wall shall be constructed at the property line.

l. Residential (PA 22) / School Interface (Figure IV-17A)

This interface occurs where the school site in Planning Area 21 is either adjacent to or abutting the residential homes in Planning Area 22. Figure IV-17A illustrates the residential to school land use transitions, which reflect the following conditions:

- Condition A: Where the school site in Planning Area 21 abuts a local street, the land use transition incorporates the following components:
 - A 56-foot ultimate right-of-way, consisting of a 6-foot-wide curb-adjacent sidewalk and a 4-foot-wide landscaped parkway at the edge of the right of way on both sides of the street.
 - A minimum 5-foot setback outside of the right-of-way extends from the easterly right-of-way to the tract boundary, and includes a maximum 2:1 city maintained landscaped slope and a 2-foot-wide v-ditch concrete drainage channel.
 - A maximum 6-foot-high block wall may replace the existing chain link fence at the tract boundary of Planning Area 21.

- Condition B: Where homes in Planning Area 22 abut the school site in Planning Area 21, the land use transition incorporates the following components:
 - A minimum 5-foot side yard setback.
 - A 10-foot private drainage easement, as part of the side yard setback, extends to a maximum 2:1 slope (where required) which then terminates at a 2-foot-wide v-ditch drainage channel located at the existing chain link fence at the property line of homes in Planning Area 22 (Chain link fence may be removed during construction when replaced by block wall).

m. Residential (PA 22) / Community Center (West) Interface (Figure IV-17B)

This interface occurs where residential land uses in Planning Area 22 are directly adjacent to the western portion of the Community Center within Planning Area 20. Figure IV-17B illustrates the residential to community center land use transition which incorporates the following components:

- A minimum 15-foot rear yard setback with a minimum 10' level area (or minimum 4-foot side yard setback, where applicable).
- A maximum 6-foot-high block wall (with a 4-foot-high retaining wall where applicable) shall be provided at the rear property line of homes in Planning Area 22 with an existing chain link fence at the tract boundary (Chain link fence may be removed during construction when replaced by block wall).

n. Residential (PA 22) / Open Space / Community Center (South) Interface (Figure IV-18)

This interface occurs where residential land uses in Planning Area 22 are directly adjacent to the southern portion of the Community Center within Planning Area 20. Figure IV-18 illustrates the on-site residential/open space/community center land use transition which incorporates the following guidelines:

- A minimum 15-foot rear yard setback with a minimum 10' level area.
- A maximum 6-foot-high block wall (with a 4-foot-high retaining wall where applicable) shall be provided at the property line.
- A 46-foot set back extends from the 6-foot-high block wall at the rear property line and includes a 20-foot-wide landscaped slope at a maximum 2:1 grade, along with a 24-foot-wide area which

accommodates landscaping, including a 6-foot-wide meandering sidewalk and a 3-foot-wide concrete swale (where required) which runs parallel to the existing chain link fence on the tract boundary. The existing chain link fence may be replaced with a tubular steel or wrought iron fence.

3. STREETSCAPES

The *Conceptual Landscape Plan*, Figure IV-1, establishes the streetscape hierarchy and continuity of the *MENIFEE NORTH* project. The plant palette and landscape treatments for each of the streets serve to emphasize certain key aspects of each corridor. Plant materials will be selected for their ability to express a dynamic design nature which will be dependent upon their particular sizes, shapes, forms, textures and flowering habits. The particular physical characteristics and growth habits of streetscape plant materials will allow them to influence the identities and functions of the street system on which they are placed.

a. **Highway 74 / Ethanac Road (Figure IV-19)**

State Highway 74 and Ethanac Road (combined) is the most significant corridor of the *MENIFEE NORTH* project, forming the major entries from the east and the west. The *Specific Land Use Plan* (Figure III-1) appropriately provides for commercial uses along this established corridor, transitioning outward to adjacent compatible land uses. A formal statement of distinctive tall evergreen trees, as depicted in Figure IV-19, not only strengthens the suburban nature of this streetscape but creates a feeling of grand entry to the community of *MENIFEE NORTH*. Because of the high visibility requirement necessary for successful commercial uses, the plantings along this streetscape are to be simple and uncluttered, allowing views to penetrate commercial uses. Backdrop trees will be evergreen for year-round marking appeal, with flowering accent trees in the foreground and center median. Detailed plantings are reserved for individual uses and monumentations. Landscape berms with a formal hedge will screen parking lots and support and strengthen this streetscape.

b. **Urban Arterial Highway Streetscapes - Menifee Road (Figure IV-20) and Major Highway Streetscape - Antelope Road and Briggs Road (Figure IV-21)**

Because Menifee Road and Briggs Road continue through adjacent proposed and existing communities, special consideration has been given to create continuity throughout these areas. For this reason, the *Plantanus acerifolia* has been adopted as the street tree along Menifee Road and *Magnolia grandiflora* has been selected as the street along Briggs Road. Architectural themes, wall entries, and setbacks have also been coordinated for a compatible streetscene.

c. **Typical Secondary and Industrial Collector Road Streetscape (Figure IV-22)**

To achieve a balance between the projects suburban and rural characteristics, community streetscapes will employ a combination of plant material types and planting arrangements. Generally, the remainder of the streets within the community with a higher traffic volume whether commercial, industrial or residential, should express a more suburban nature as depicted in Figure IV-22.

d. **Modified Secondary/Collector Road Streetscape – Palomar Road and Watson Road (PA 9 & PA 22) (Figure IV-23)**

The portion of Watson Road abutting Planning Area 22 and the portion of Palomar Road abutting Planning Area 9 shall consist of a combination of plant material types and planting arrangements to provide residential privacy and enhance community entries. The landscaped parkways are planted in accordance with Section IV.D.2. Menifee North Plant Material Palette.

- Watson Road - Modified Secondary (94' R.O.W.): The *MENIFEE NORTH* Specific Plan is responsible for the southerly 50-foot-wide half-width section improvements to Watson Road, including a 9-foot-wide curb adjacent landscaped parkway, a 5-foot sidewalk, and a 4-foot-wide landscaped parkway at the edge of the right-of-way.
- Palomar Road - Modified Collector (88' R.O.W.): The *MENIFEE NORTH* Specific Plan is responsible for the easterly 44-foot-wide half-width section improvements to Palomar Road, including a Class II bike lane, 6-foot-wide curb adjacent sidewalk, and a 6-foot-wide landscaped parkway at the edge of the right-of-way. No trees shall be planted along the easterly right-of-way of Palomar Road, in conformance with existing SCE easement restrictions.

e. Collector Streetscape - Junipero Road (Figure IV-24)

Junipero Road serves as an access point into Planning Area 9. The ultimate half width improvements to Junipero Road are illustrated on Figure IV-24, and the *MENIFEE NORTH* Specific Plan is responsible for the westerly 37-foot-wide half-width section improvements, as well as an additional 12 feet of pavement east of the centerline. Improvements include a 5-foot-wide curb adjacent landscaped parkway, a 6-foot-wide sidewalk, and a 4-foot-wide landscaped parkway at the edge of the right-of-way. The landscaped parkway is planted in accordance with Section IV.D.2. *Menifee North Plant Material Palette*.

e. Local Street/Modified Industrial Collector – Malone Avenue (Figure IV-25)

Malone Avenue and neighborhood streets within Planning Area 22 are characterized by a well-balanced combination of plants and trees to further strengthen the community's suburban character. The *MENIFEE NORTH* Specific Plan is responsible for the following improvements:

- Malone Avenue (South of Varela) – Modified Industrial Collector (66' ROW): The *MENIFEE NORTH* Specific Plan is responsible for the easterly 3533-foot-wide half-width section improvements, as well as an additional 12 feet of paving west of the centerline. Improvements include a 6-foot-wide curb adjacent sidewalk and a 5-foot-wide landscaped parkway at the edge of the right-of-way.
- Malone Avenue (North of Varela) – Modified Local Street (60' ROW): The *MENIFEE NORTH* Specific Plan is responsible for the easterly 30-foot-wide half-width section improvements, as well as an additional 12 feet of paving west of the centerline. Improvements include a 6-foot-wide curb adjacent sidewalk and a 4-foot-wide landscaped parkway at the edge of the right-of-way.

4. COMMUNITY OPEN SPACE

The *MENIFEE NORTH* Specific Plan offers a variety of open space and recreational opportunities as discussed below.

a. Community Center/Park/School Shared Use (Figures IV-26 and IV-27)

Where a "Shared Use" concept between school sites and the adjacent community parks can be developed, additional improved open space areas (play fields, game courts, etc.) within the school site can also become an integral component of the projects Community Open Space. The park and school will be developed to the specifications of the City of Menifee and the governing school district. Pursuant to existing requirements, the park will include multipurpose playing fields, multi-purpose courts, restrooms, picnic and parking facilities. The landscaping theme will be consistent with the streetscape and edge

interface conditions as previously discussed. A conceptual site plan for the 11.4-acre community center/park is shown in Figure IV-26; and a conceptual site plan for the 12.5-acre community park is shown on Figure IV-27.

c. Mini-Parks (Figure IV-28)

The land use plan proposes the development of one mini-park. This park is intended to serve as a gathering place for the residential enclaves in which it is located. Generally, these parks might be improved to include a picnic area with tables, benches and barbecues, and a turfed area or sand surfaced tot lot or playground. The park would be planted with a combination of Eucalyptus, Pine or Sycamore tree species to provide shade and to define the individual active or passive use areas. A meandering paved, pedestrian pathway or walkway system could be provided for the park and, where appropriate, would be linked to pedestrian walkway systems to adjacent residential neighborhoods.

5. COMMUNITY WALLS AND FENCING

Community walls and fences that can be viewed from the public streets, as illustrated on Figure IV-29, *Community Walls and Fence Plan*, form an integral part of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards has been developed for community walls and fences as illustrated in Figure IV-30, *Community Walls and Fence Details*, and Figure IV-31, *Community Walls and Fence Details (PA 9 and PA 22)*. The location of each wall or fence is conceptually illustrated in Figure IV-30, however, the location will vary depending upon final detail design and grading considerations.

In general, solid walls will be located adjacent to residential uses along major highways and secondary roads, where the lot is at approximately the same grade as the street, and as screen elements between incompatible land uses. Concrete, decorative block, or stucco with brick or molded caps are all the accepted materials for these walls. In cases of basin perimeters, where security is a prime consideration, or where side and rear yards have desirable views but a solid wall is not necessary to inhibit fire or wildlife, high quality wrought iron or tubular steel-type fencing should be employed. A solid wood fence of the high quality depicted in Figure IV-29, is acceptable for use between residential lots.

6. SIGNAGE

The *MENIFEE NORTH* Specific Plan area is intended as a high-quality, mixed-use community. Therefore, only a limited amount of signage shall be permitted in the community.

a. General Intent

- Signage shall be attractive and subdued in keeping with the character of a contemporary urban environment.
- Signs shall be limited to community identification, direction and building or company identification only. Signs should not be used for product advertising.
- All business signs shall be compatible with the architecture of the building they identify.

- Retail commercial signage shall be limited to below the roofline and be consistent in color and theme. Monument signs are encouraged and should be of a size only necessary for identification.
- Residential signs should be coordinated and integrated with the neighborhoods in which they are erected.
- All signs should be well integrated into site landscaping.
- All signs shall be compatible with the overall theme of the *MENIFEE NORTH* Specific Plan area and shall be in conformance with Section 9.220, *Sign Regulations*, of the City of Menifee Development Code.
- All signs shall be of professional quality.
- No signs shall be painted directly on any building elevation.
- Signage design and schematics, showing location, size, dimensions, type style and colors, shall be submitted with the required plot plan for the retail commercial site. Residential signage shall be controlled through CC&Rs or other appropriate mechanism.

b. Prohibited Signs

- Pylon signs shall be prohibited.
- Revolving, rotating or moving signs shall be prohibited.
- Signs with flashing or blinking lights shall be prohibited.
- Roof signs shall be prohibited.
- Projecting signs shall be prohibited.
- Totem signs displaying the names of each tenant shall be prohibited.
- Billboards shall be prohibited.
- Portable signs, including vehicles used as billboards, shall be prohibited.
- Signs advertising or displaying any unlawful act, business or purpose shall be prohibited.
- Any strings, pennants, banners, streamers, balloons, inflatable objects, flags, twirlers, propellers, noise-emitting and similar attention getting devices shall be prohibited, except:
 - 1) National, state, local governmental, institutional or corporate flags should be allowed. Flag pole locations should be shown on the site plan for approval. Only one set of flags should be allowed on each site.

- 2) Holiday decorations in season, used for an aggregate of 45 days in any one calendar year, should be allowed.
- 3) Pennants, banners or flags used in conjunction with subdivision sales offices and tract entry points should be allowed during the initial sales period.

c. Retail Commercial Monument Signs

- Monument signs are the preferred signage type for the Specific Plan area.
- Monument signs should be set back a minimum of twenty feet from the face of curb (where no sidewalk is provided) and a minimum fifteen feet from the inboard edge of walk where a sidewalk or path is provided. Signs should be set back a minimum of fifteen feet from the property line and five feet from any driveway.
- Only one monument sign shall be allowed on each site.
- Monument signs should have a concrete or masonry base, and should be compatible with the building architecture.
- Double sided monument signs are allowed.
- Monument sign lighting is allowed but not internal lighting. External lighting is encouraged so long as the lighting source is well concealed and consistent with the plan area design objectives.

d. Building Mounted Signs: Retail Commercial Buildings

- Multi-tenant retail commercial buildings within areas zoned for commercial land use should have only one sign for each tenant.
- Tenant signage should be well integrated into the building design.
- Multi-tenant retail commercial facilities shall have a cohesive, well integrated signage program. The combined impact and interrelationship of all tenant signage shall be considered in signage program design, review and approval.
- All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- Can signs shall be prohibited.
- Internally illuminated channel letter signs are acceptable, but external, concealed and integrated lighting is preferred.
- As noted above, externally illuminated signage may be allowed when the lighting source is well concealed and signage design is consistent with plan area design criteria.

- The mounting of signs on projecting architectural elements shall be allowed when they are compatible with the building architecture and compatible with the plan area design objectives.

e. Multi-Tenant Building Signs

- Multi-tenant signage shall be coordinated with the building architecture occurring in a pattern on the building elevation.
- Multi-tenant signage should be subdued and more restrained than commercial retail signage. All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- Signs should be similar in design having the same size, shape and color.

f. Community Entry Monumentation

- Signage for community entry monumentation is highly encouraged.
- Design of such monumentation shall be coordinated with the street landscape and street furniture. Monumentation should inform the viewer, through written and symbolic graphics, that the planned community or development is being entered.
- Monuments should be compatible with the design theme of the *MENIFEE NORTH* Specific Plan and the developments or communities they identify.
- Entry monuments should establish the community or development design theme. Logo, logotype and color schemes shall be consistent throughout the area being identified.
- Entry monuments may be illuminated externally if they are consistent with the *MENIFEE NORTH* Specific Plan design theme; glare is controlled, and lighting sources concealed.
- Permanent, low maintenance materials, such as stone, brick, other masonry or stucco should be used.

g. Directional Signage

- Directional signage, to identify and direct vehicular and pedestrian traffic to various on-site destinations, shall be allowed.
- Directional signage should be of consistent design throughout the project. Signage should be fabricated from the same materials, with a consistent color palette and a common graphic theme.
- Directional signs shall be small scale and of consistent dimensions and mounting height.
- Directional signage should be compatible with the architectural design of the project and with the design theme of the plan area.

h. Temporary Signage

- Signage identifying uses or activities temporary in nature, such as real estate sales and leasing, subdivision signage, contractors, design firms and developer signage associated with development or construction of buildings are allowed if consistent with the plan area design character.
- Temporary signage shall be located on or in close proximity to uses identified.
- Concise standards for temporary signage, including dimensional requirements, materials of construction, mounting heights, colors and graphic format should be prepared as part of the implementation of the Specific Plan, such as through CC&Rs.
- The multitude of signs associated with development, design, construction and leasing should be combined into one design for each project.

7. LIGHTING

The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Menifee. Energy conservation, safety and security should be emphasized when designing lighting systems.

- It is recommended that all primary streets be adequately illuminated to provide for the safety and comfort of vehicular and pedestrian movement. Appropriate lighting will encourage night time use of community facilities.
- Landscape lighting may be used for accentuating the following conditions: shrub masses, focal elements, and trees (up-lights) if properly camouflaged from view and placed at ground level without attaching to plant materials.
- All lighting shall be designed and located in a manner which is compatible with scenic values and other public interests throughout the community.
- General lighting shall not cast any glare onto adjacent lots and streets in such a manner as to decrease the ambience of adjacent areas or the safety of pedestrian and vehicular movement.
- Indirect wall lighting and "wall washing" overhead down lighted or interior illumination which spills outside is encouraged.
- Pedestrian lighting shall provide area illumination for entry ways, courtyards and other such areas.
- Lighting fixtures shall be complimentary to the architectural concepts.

D. LANDSCAPE ARCHITECTURAL GUIDELINES AND STANDARDS

1. INTRODUCTION

The guidelines presented herein are not intended to discourage creative design or individuality. Rather, they are intended to assist in providing the continuity and desired image which will make *MENIFEE NORTH* a unique and special community.

2. MENIFEE NORTH PLANT MATERIAL PALETTE

It is the intent of the Design Guidelines to allow flexibility and diversity in planting design while defining an acceptable palette which reinforces the thematic identity of *MENIFEE NORTH*.

A limited selection of plant materials used in simple significant compositions is encouraged. Planting designs should be compatible with and complement adjacent plantings and should reinforce and enhance the individual architecture and design of each site. The materials on the plant lists have been selected for their contribution to the project theme, their adaptability to climate and soil conditions and with a concern for long-term cost effective maintenance.

MENIFEE NORTH Plant List

The plant palette for *MENIFEE NORTH* is proposed to be comprised of the following:

TREES - EVERGREEN

<u>Botanical Name</u>	<u>Common Name</u>
Acacia baileyana	Bailey Acacia
Arbutus menziesii	Madrone
Brachychiton populneus	Bottle Tree
Casuarina stricta	Mountain She-Oak
Cedrus deodara	Deodar Cedar
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus camaldulensis	Red Gum
Eucalyptus leucoxylon 'Rosea'	White Ironbark
Eucalyptus rudis	Desert Gum
Eucalyptus sideroxylon	Red Ironbark
Ficus rubiginosa	Rustyleaf Fig
Geijera Parviflora	Australian Willow
Melaleuca linarifolia	Flax Leaf Paperbark
Nerium oleander	Oleander Standard
Olea europaea 'Fruitless'	Fruitless Olive
Pinus edulis	Pinon Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Podocarpus gracilior	Fern Pine
Quercus agrifolia	Coast Live Oak
Quercus engelmannii	Mesa Oak
Quercus ilex	Holly Oak
Rhus lancea	African Sumac
Schinus Molle	California Pepper Tree

TREES - DECIDUOUS

<u>Botanical Name</u>	<u>Common Name</u>
Albizia julibrissin	Silk Tree
Alnus rhombifolia	White Alder
Bauhinia variegata	Purple Orchid Tree
Brachychiton acerifolius	Australian Flame Tree
Cercidium 'Desert Museum'	Desert Museum Palo Verde
Chilopsis linearis	Desert Willow
Fraxinus uhdeli	Evergreen Ash
Fraxinus velutina 'Modesto'	Modesto Ash
Ginkgo Biloba	Maidenhair Tree
Gledisia triacanthos	Honey locust

Koelreuteria bipinnata
 Koelreuteria paniculata
 Langerstemia indica
 Liquidambar styraciflua
 Liriodendron tulipifera
 Pistacia chinensis
 Plantanus occidentalis
 Platanus racemos
 Populus fremontii
 Populus nigra 'Italica'
 Prunus cerasifera 'Thundercloud'
 Pyrus calleryana 'Aristocrat'
 Pyrus calleryana 'Bradford'
 Pyrus kawakamii
 Quercus coccinea
 Robina ambigua idahoensis
 Sophora japonica

Chinese Flame Tree
 Goldenrain Tree
 Crape Myrtle
 American Sweet Gum
 Tulip Tree
 Chinese Pistache
 London Plane Tree
 California Sycamore
 Fremont Cottonwood
 Lombardy Poplar
 Purple Leaf Plum
 Ornamental Pear
 Ornamental Pear
 Evergreen Pear
 Scarlet Oak
 Idaho Locust
 Japanese Pagoda Tree

SHRUBS (LARGE TO MEDIUM)

Botanical Name

Abelia 'Edward Goucher'
 Acacia species
 Ceanothus species
 Cercis occidentalis
 Chaenomeles species
 Cistus species
 Cotoneaster species
 Dodonea viscosa
 Elaeagnus pungens
 Eriogonum giganteum
 Escallonia fradesil
 Euonymus japonica
 Grevillia 'Noelii'
 Fatsia japonica
 Feijoa sellowiana
 Forsythia intermedia
 Hesperaloe parviflora
 Heteromeles arbutifolia
 Ilex species
 Juniperus species
 Leptospermum scoparium
 Leucophyllum frutescens
 Lobelia laxiflora
 Ligustrum japonicum
 Magnolia soulangiana
 Mahonia aquifolium

Common Name

Edward Goucher Abelia
 No Common Name
 California Lilac
 Western Redbud
 Flowering Quince
 Rockrose
 Cotoneaster
 Hopseed Bush
 SilverBerry
 St. Catherine's Lace
 No Common Name
 Evergreen Euonymus
 Noell's Gravillea
 Japanese Aralia
 Pineapple Guava
 Forsythia
 Red Yucca
 Toyon
 Holly
 Juniper
 New Zealand Tea Tree
 Texas Ranger
 Mexican Bush Lobelia
 Japanese Privet
 Saucer Magnolia
 Oregon Grape

Nandina domestica
 Nerium oleander
 Osmanthus fragrans
 Phormium tenax
 Pittosporum tobira
 Plumbago auriculata
 Podocarpus macrophyllus
 Prunus caroliniana
 Pyracantha species
 Raphiolepis species
 Rhus ovata
 Ribes sanguineum
 Rosemary 'Tuscan Blue'
 Salvia apiana
 Tecomaria capensis
 Viburnum tinus 'Spring Bouquet'
 Xylosma congestum

Heavenly Bamboo
 Oleander
 Sweet Olive
 Flez
 Tobira
 Cape Plumbago
 Yew Pine
 Carolina Laurel Cherry
 Firethorn
 Indian Hawthorn
 Sugar Bush
 Pink Winter Currant
 Rosemary
 White Sage
 Cape Honeysuckle
 Laurustinus
 Xylosma

SHRUBS (SMALL)

Botanical Name

Agapanthus africanus
 Calliandra californica
 Ceanothus species
 Chrysactinia mexicana
 Cistanthe grandiflora
 Cistus x purpureus
 Clivia miniata
 Hemerocallis species
 Juniperus species
 Lantana 'Gold Mound'
 Lavandula angustifolia
 Liriope gigantea
 Lonicera japonica 'Halliana'
 Dietes Vegeta
 Mahonia aquifolium 'Compacta'
 Nandina domestica 'Compacta'
 Nandina domestica 'Nana Compacta'
 Nerium oleander 'Petite Pink'
 Pittosporum tobira 'Wheeler's Dwarf'
 Ribes viburnifolium
 Teucrium x lucidrys
 Tulbaghia violacea
 Xylosma congestum 'Compacta'

Common Name

Lily of the Nile
 Baja Fairy Duster
 California Lilac
 Diamantia
 Rock Purslane
 Purple Rockrose
 Clivia
 DayLily
 Juniper
 Gold Mound Sunset Lantana
 English Lavender
 Lily Turf
 Hall's Honeysuckle
 Fortnight Lily
 Compact Oregon Grape
 Compact Heavenly Bamboo
 Dwarf Heavenly Bamboo
 Dwarf Oleander
 Wheeler's Dwarf
 Catalina Perfume
 Wall Germander
 Society Garlic
 Compact Xylosma

VINES

Botanical Name

Cissus Anartica
Clytostoma callistegioides
Macfadyena unguis-cati
Gelsemium sempervirens
Jasminum mesnyi
Lonicera japonica
Parthenocissus tricuspidata
Wisteria floribunda

Common Name

Kangaroo Treebine
Violet Trumpet Vine
Cat's Claw Vine
Carolina Jessamine
Primrose Jasmine
Japanese Honeysuckle
Boston Ivy
Japanese Wisteria

GROUNDCOVERS

Botanical Name

Ajuga reptans
Baccharis pilularis 'Twin Peaks'
Campanula poscharskyana
Duchesnea indica
Gazania splendens 'Mitsuwa Yellow'
Hedera helix
Hypericum calycinum
Juniperus species
Lantana 'Spreading Sunset'
Lonicera japonica 'Halliana'
Myoporum parvifolium
Myoporum parvifolium 'White'
Pelargonium peltatum
Potentilla species
Senecio T. ssp. mandraliscae
Vinca minor

Common Name

Carpet Bugle
Coyote Bush
Serbian Bellflower
Indian Mock Strawberry
Gazania
English Ivy
Aaron's Beard
Juniper
Spreading Sunset Lantana
Hall's Honeysuckle
Myoporum
White Myoporum
Ivy Geranium
Cinquefoil
Blue Chalk Sticks
Dwarf Periwinkle

GRASSES

Botanical Name

Bouteloua 'Blonde Ambition'
Carex divulsa
Muhlenbergia dubia

Common Name

Blonde Ambition Grama Grass
Berkeley Sedge
Pine Muhly

SUCCULENTS

Botanical Name

Agave 'Blue Glow'
Agave Americana

Common Name

Blue Glow Agave
Century Plant

3. PLANTING TIME

The *MENIFEE NORTH* area experiences temperature extremes which can make it difficult for the installation of plant materials during the hot summer months (July - September) and the cold winter months (December - March). Container plants which have not been acclimated to the region may experience heat or frost damage resulting in partial or total loss of foliage, even if these materials will be perfectly suited to the temperature extremes once they are established. If construction schedules permit, the ideal planting time is in the spring or fall months.

4. LANDSCAPE INSTALLATION REQUIREMENTS

All areas required to be landscaped shall be planted with trees, shrubs, groundcover, vines or turf selected from the plant palette contained in these Design Guidelines.

Parcel developers should assess any existing landscaping adjacent to their property and whenever possible, reinforce and complement that established character. Detailed landscape plans are to be prepared by a licensed landscape architect for each individual project. Parcel Developers must submit landscape plans to proper agencies for approval prior to installation.

5. CLIMATIC CONSTRAINTS

- a. The plant materials for *MENIFEE NORTH* have been chosen for their ability to thrive within the site's exacting climate. The plants should grow to their full potential with a minimum amount of maintenance and replacement costs.

Precipitation, temperature, and wind are the limiting climatic factors affecting plant choice.

- b. Average annual rainfall in the area varies from nine to thirteen inches.
- c. The *MENIFEE NORTH* area's extreme temperatures range from 18 degrees in the winter to 115 degrees in the summer. The average daily temperature range is 40 to 65 degrees in the winter and 58 to 90 degrees in the summer.

6. HORTICULTURAL SOILS TEXT REQUIREMENTS

Due to the many varieties of soils within *MENIFEE NORTH*, all Parcel Developers shall be required to prepare a horticultural soils report to determine appropriate planting and maintenance requirements for specified plant materials. This soils report shall be prepared by a qualified agricultural laboratory supervised by a member of the American Soils Testing Laboratory and shall include a soils fertility and agricultural suitability analysis with pre-planting and post-planting recommendations to be included in the landscape working drawings.

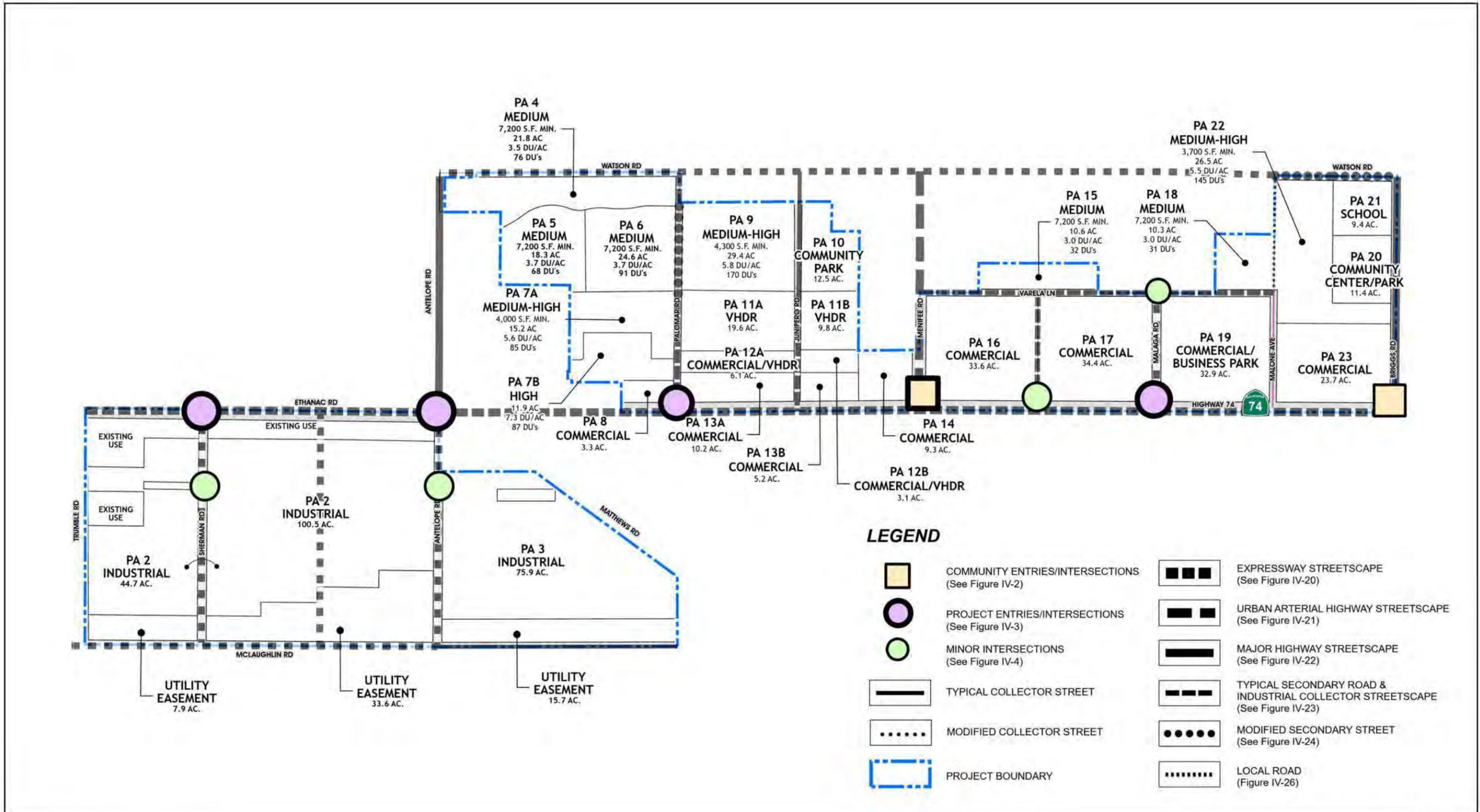
7. IRRIGATION

- a. All areas requiring landscaping shall include the installation of a permanent automatic irrigation system to ensure proper plant growth. The irrigation system shall be designed to separate turf areas from shrub areas so as not to irrigate shrubs, groundcover, and lawn simultaneously.
- b. Pop-up sprinklers adjacent to all walkways and areas of pedestrian or vehicular traffic shall be spring retractable types.
- c. Pop-up sprinklers shall have matched precipitation rates.
- d. All valves shall be wired independently.
- e. Irrigation backflow prevention devices and controllers shall be located and/or screened with appropriate plant material to minimize visibility.
- f. Detailed irrigation plans are to be prepared by a licensed landscape architect.
- g. Parcel Developers must submit irrigation plans to appropriate reviewing agencies for approval prior to installation.

8. LANDSCAPE MAINTENANCE

- a. The overall aesthetic effect of the landscape shall be an evergreen thriving plant community. Each owner shall provide continuous maintenance for all planted and hardscape areas within his/her site, keeping it free and clear of weeds, debris, rubbish, and in a neat and clean condition.
- b. All owners will be required to maintain plant materials in a thriving condition of growth by practicing proper agriculture techniques of pruning, pest control and fertilization. All palms shall be skinned periodically as necessary. Special attention must be given to preventing the installation of rootbound Eucalyptus species.
- c. From the completion of installation, landscaping shall be maintained in a sightly and well kept condition.
- d. Until maintenance responsibility is transferred to a Maintenance Organization, the Master Developer shall repair and maintain all landscaped parkways and medians. This maintenance shall include the replacement of landscaping, pavement, and lighting (if necessary), keeping the area free and clear of weeds, debris and rubbish, and in a well kept condition.
- e. No owner shall interface with the drainage of water from any site except in accordance with plans approved by all public agencies having jurisdiction.
- f. Landscaping and irrigation installed by the Master Developer or the Parcel Developer shall be maintained by them, in a healthy and operational condition until its transfer to public responsibility. All plant material failure shall be replaced with same materials that will match the size and height of adjacent material. Damaged or malfunctioning irrigation must be repaired or replaced to

match the original condition of the system, and irrigation overspray and excessive runoff shall be kept to a minimum.



Source(s): Esri, RCTLMA (2024)

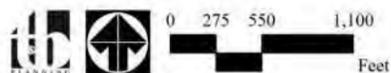
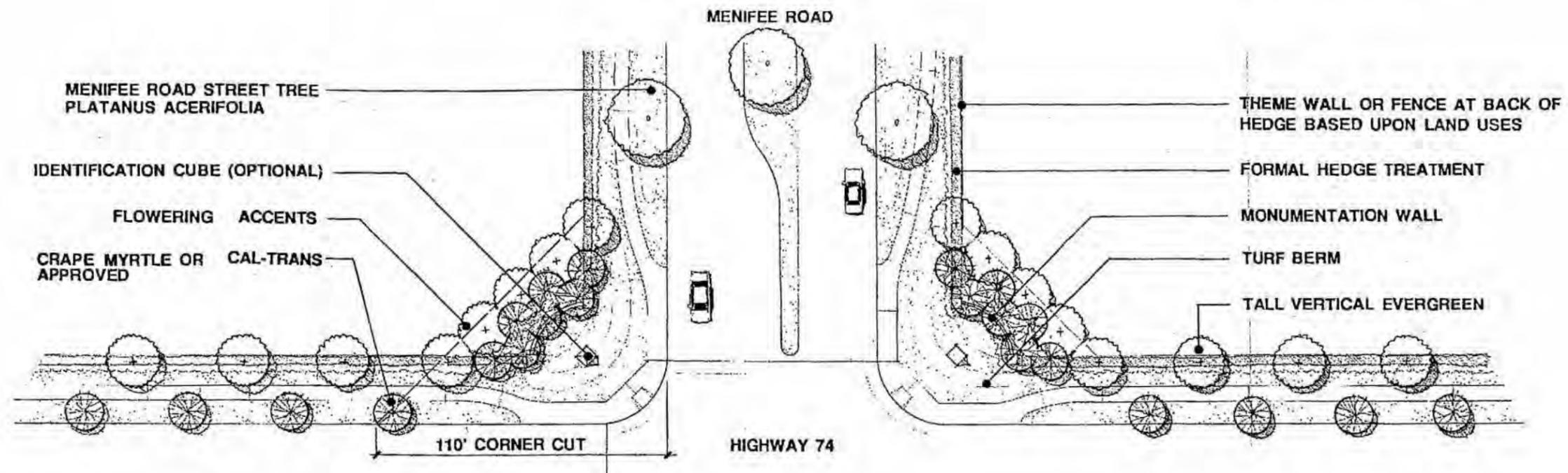


FIGURE - IV-1

CONCEPTUAL LANDSCAPE PLAN
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

COMMUNITY ENTRIES AND INTERSECTIONS



PLAN

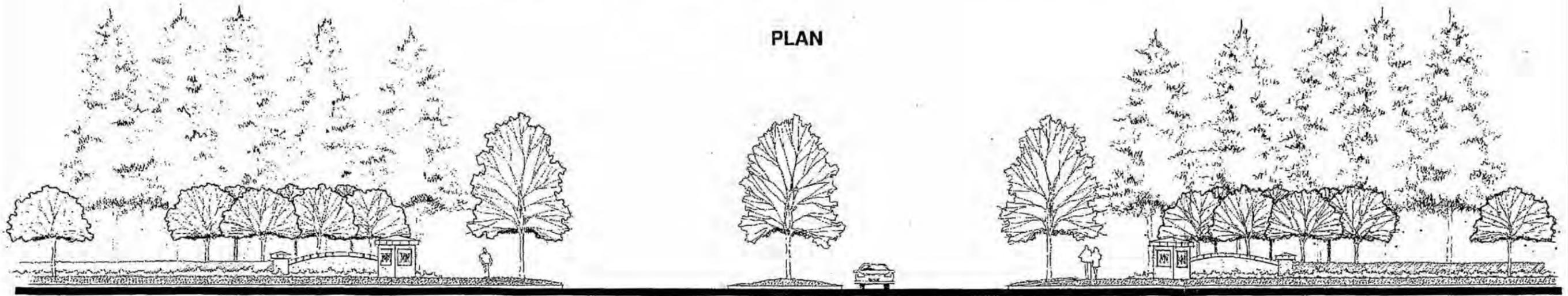


FIGURE - IV-2

Not to Scale

COMMUNITY ENTRIES AND INTERSECTIONS
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

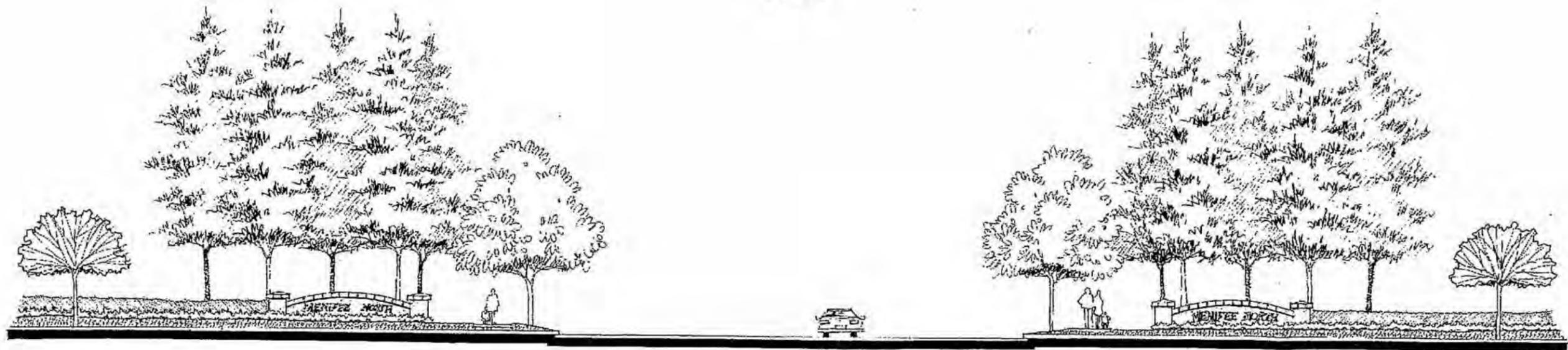
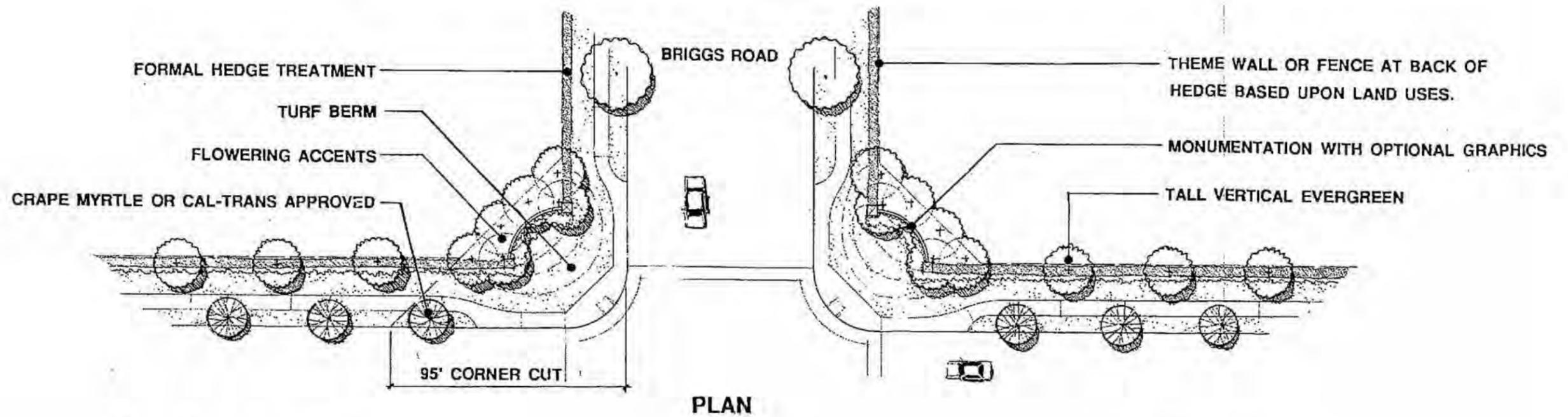
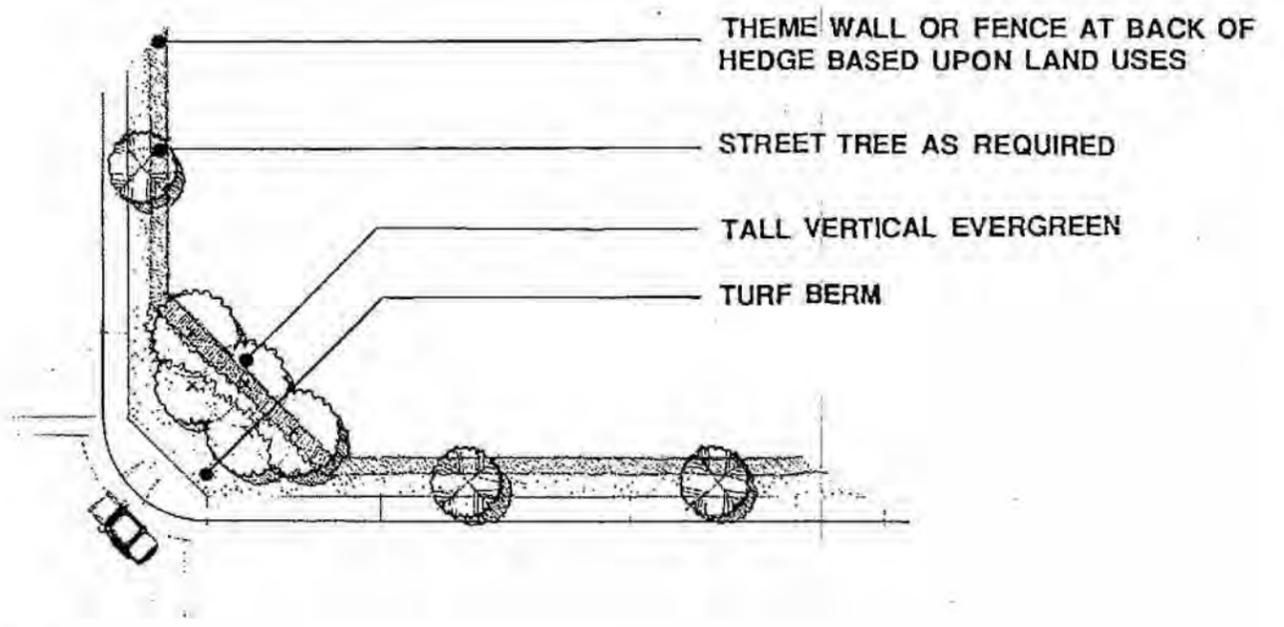
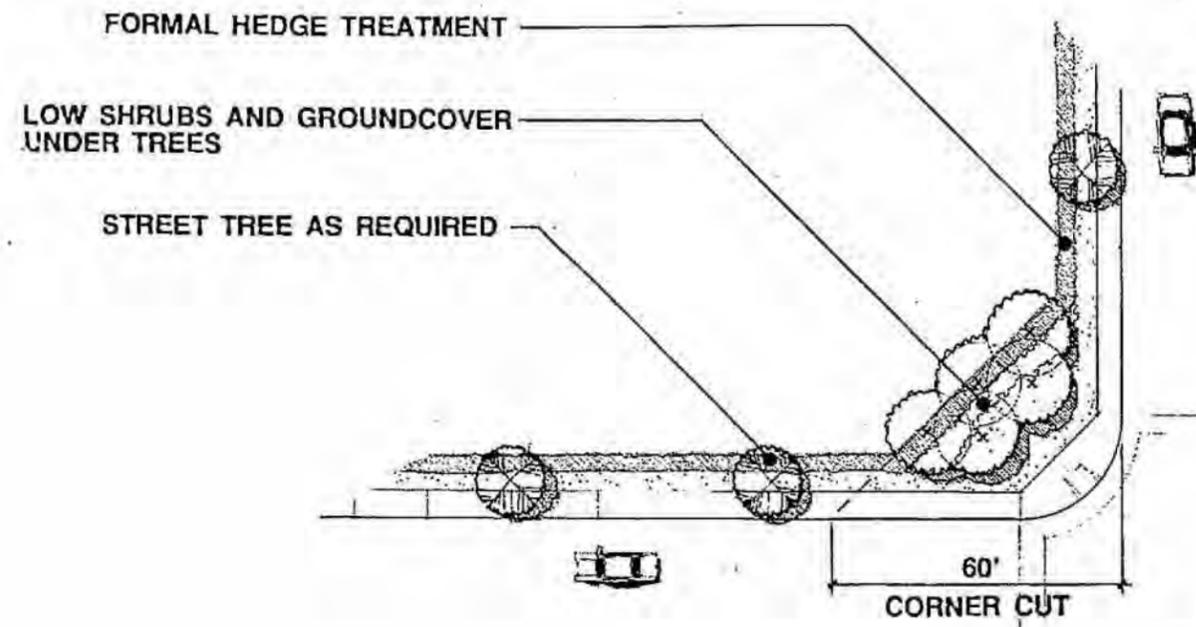


FIGURE - IV-3

Not to Scale

PROJECT ENTRIES AND INTERSECTIONS
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



PLAN

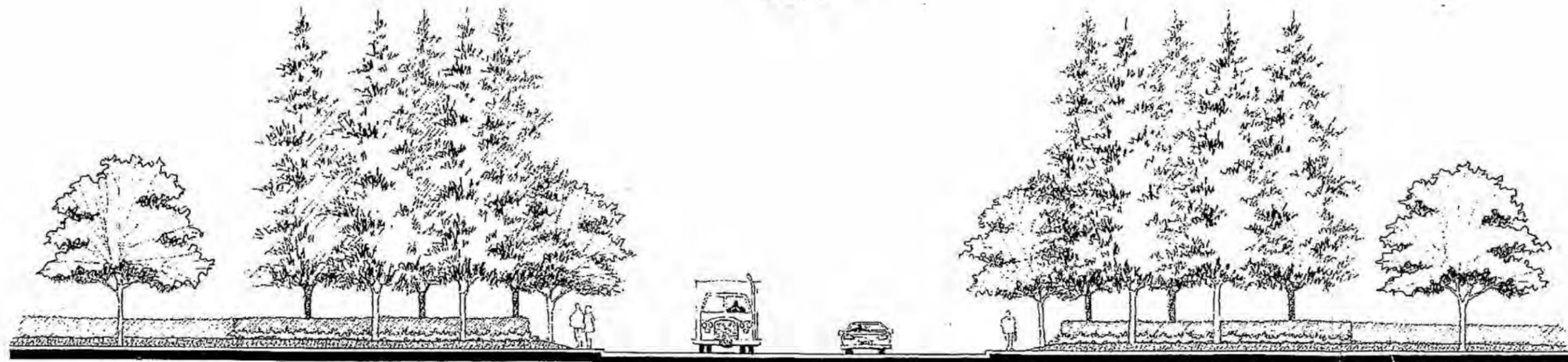
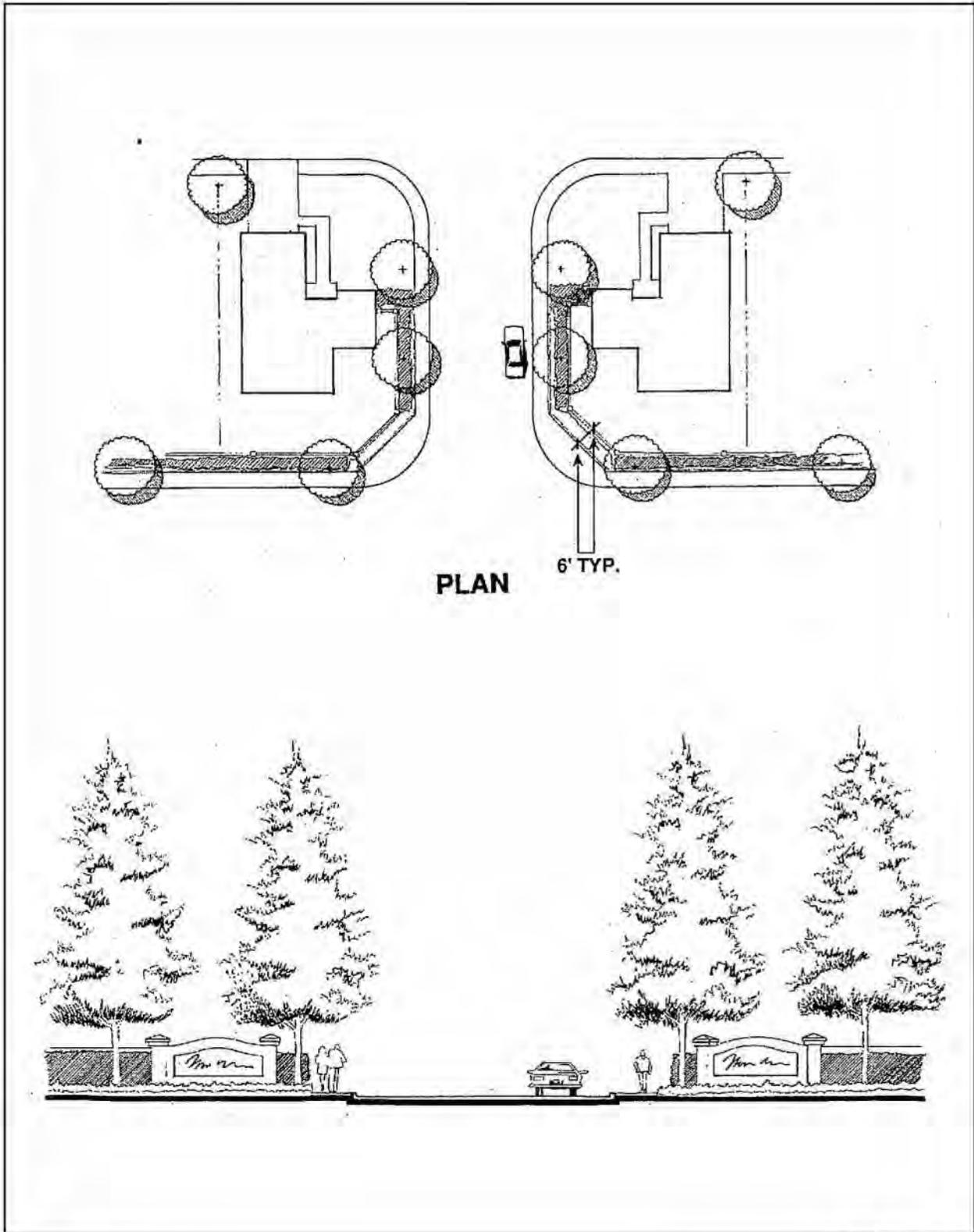


FIGURE - IV-4

MINOR INTERSECTIONS
IV. DESIGN GUIDELINES

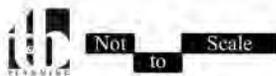
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



PLAN

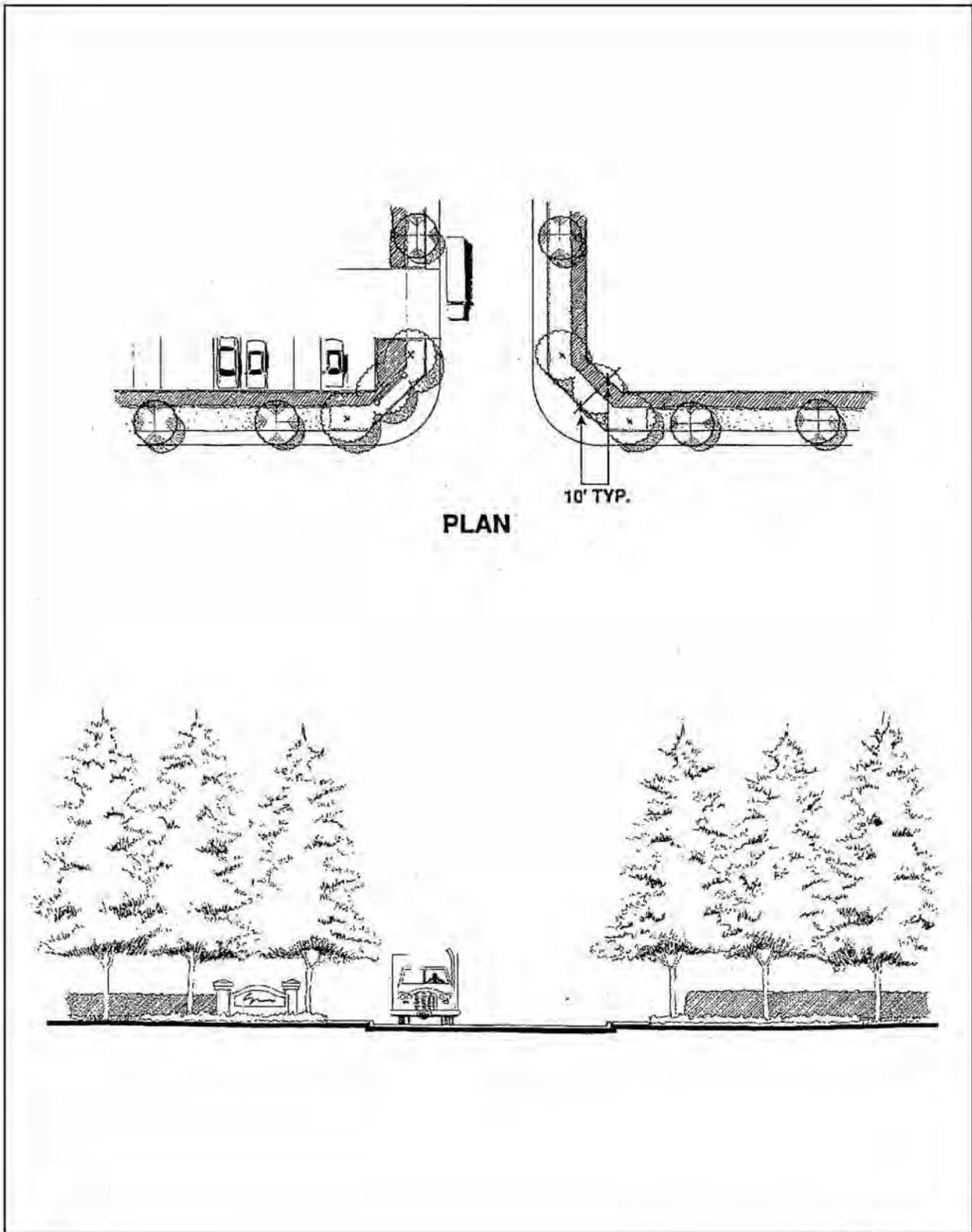
6' TYP.

FIGURE - IV-5



NEIGHBORHOOD ENTRIES
IV. DESIGN GUIDELINES

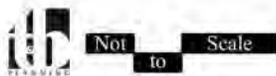
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



PLAN

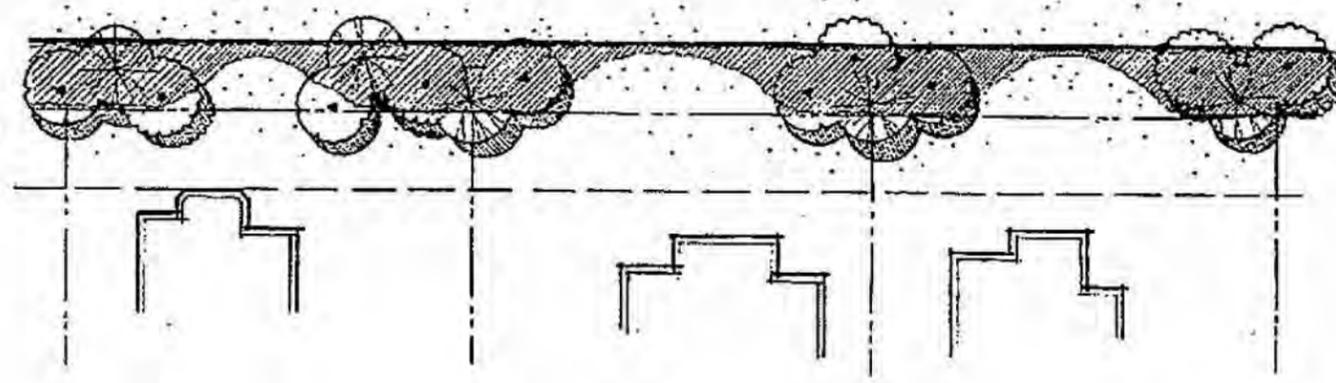
10' TYP.

FIGURE - IV-6



BUSINESS MONUMENT SIGNAGE
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



**PROPOSED SINGLE FAMILY
PLAN**

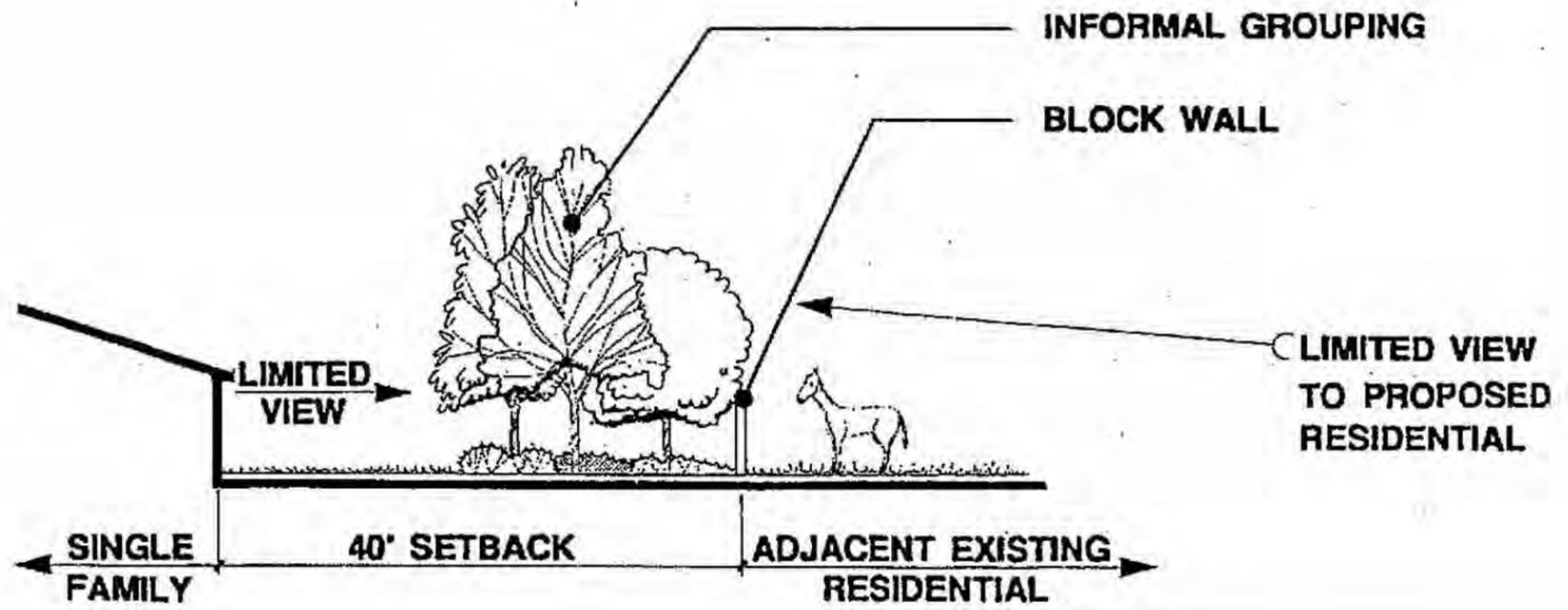
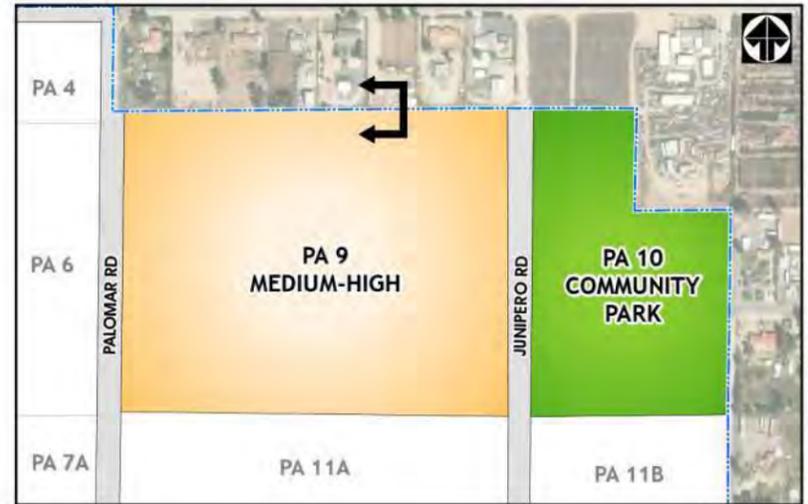


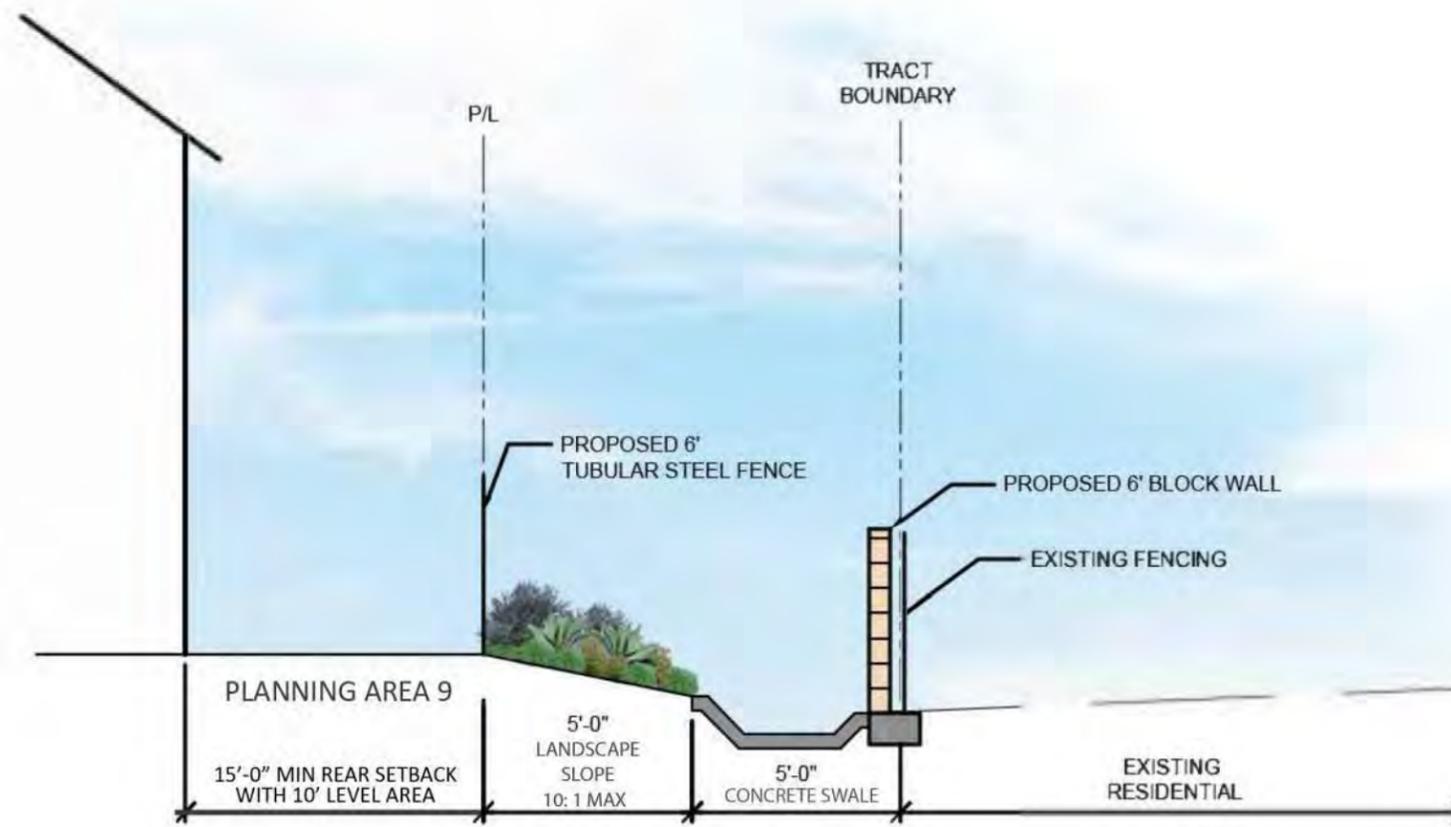
FIGURE - IV-7

 Not to Scale

ON-SITE RESIDENTIAL / ADJACENT EXISTING RESIDENTIAL INTERFACE
IV. DESIGN GUIDELINES
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



KEY MAP



Source(s): Brightview (09-13-2021)

FIGURE - IV-8

ib Not to Scale
PLANNING

RESIDENTIAL (PA 9)/ADJACENT EXISTING RESIDENTIAL INTERFACE
IV. DESIGN GUIDELINES
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

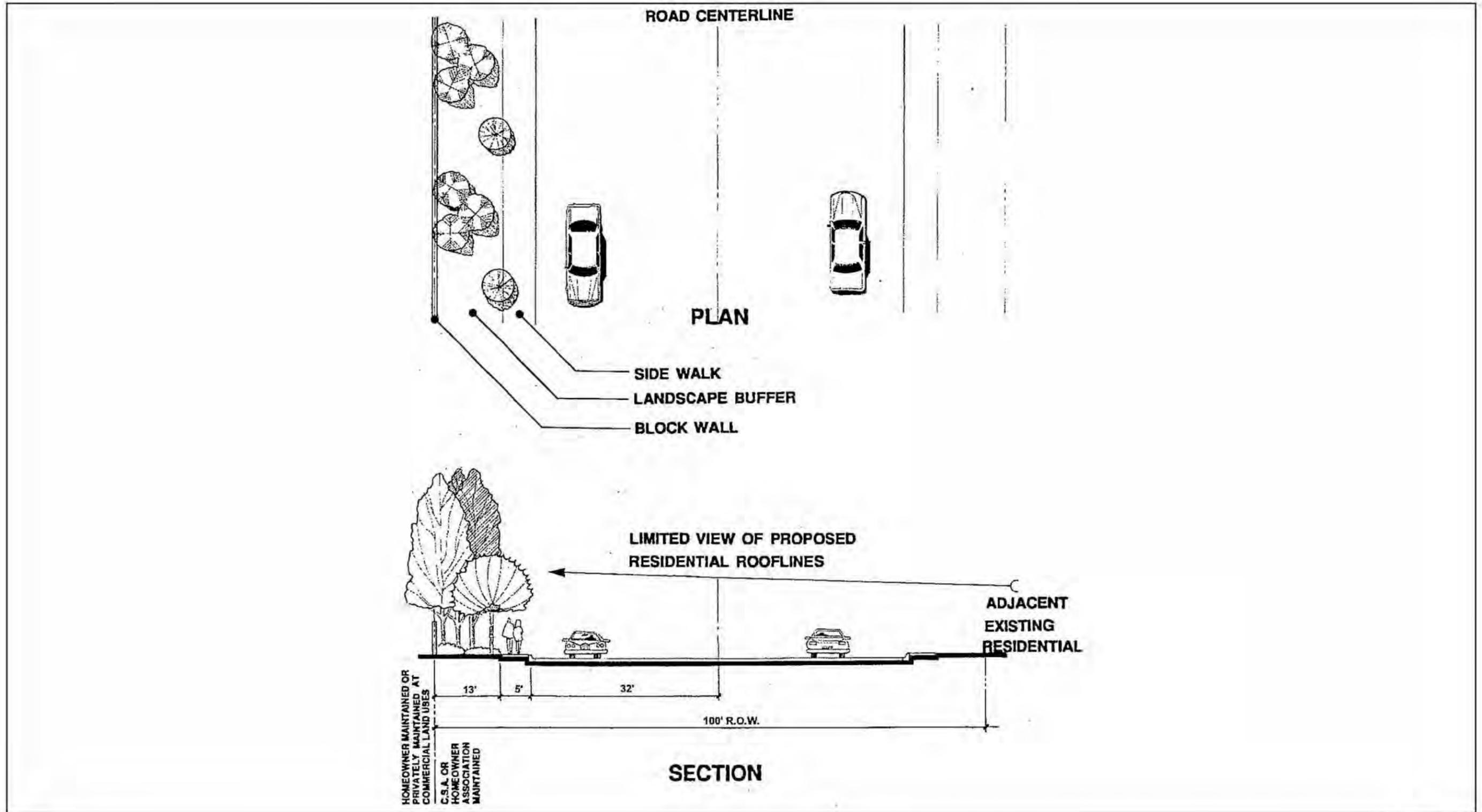


FIGURE - IV-9

Not to Scale

SCONDRARY ROAD STREETScape/ADJACENT EXISTING RESIDENTIAL INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

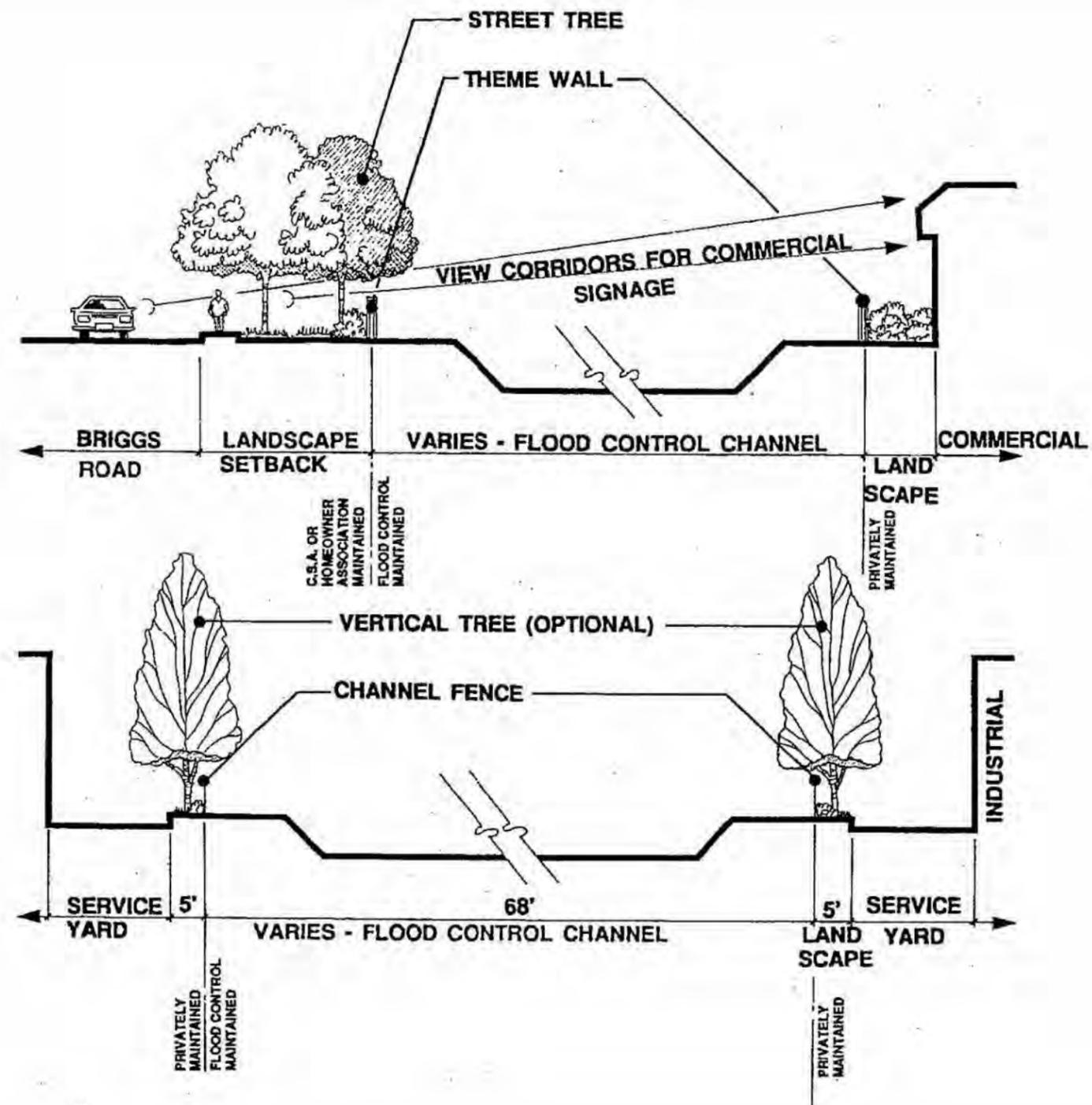


FIGURE - IV-10

Not to Scale

COMMERCIAL AND INDUSTRIAL/DRAINAGE CHANNEL INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

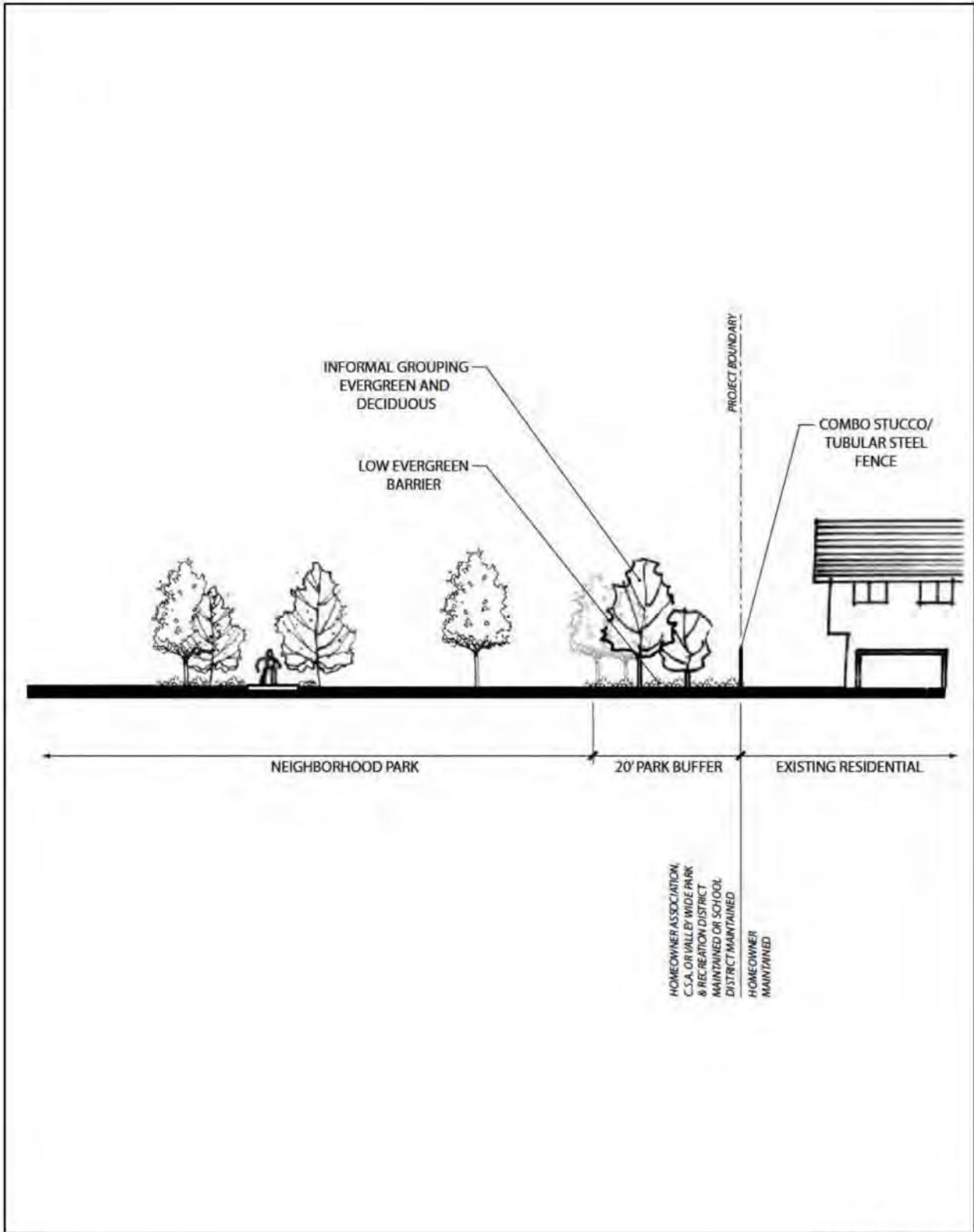
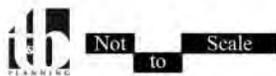


FIGURE - IV-11



EXISTING RESIDENTIAL/PARK (PA 10) INTERFACE

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

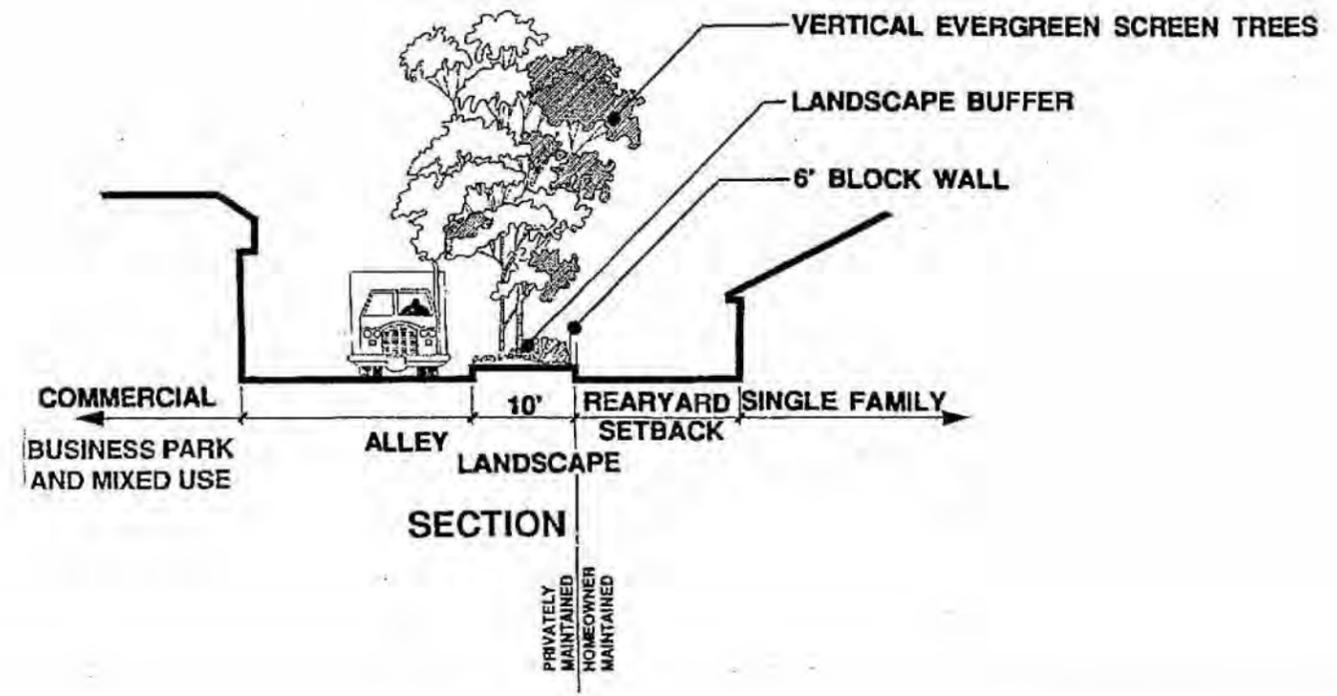
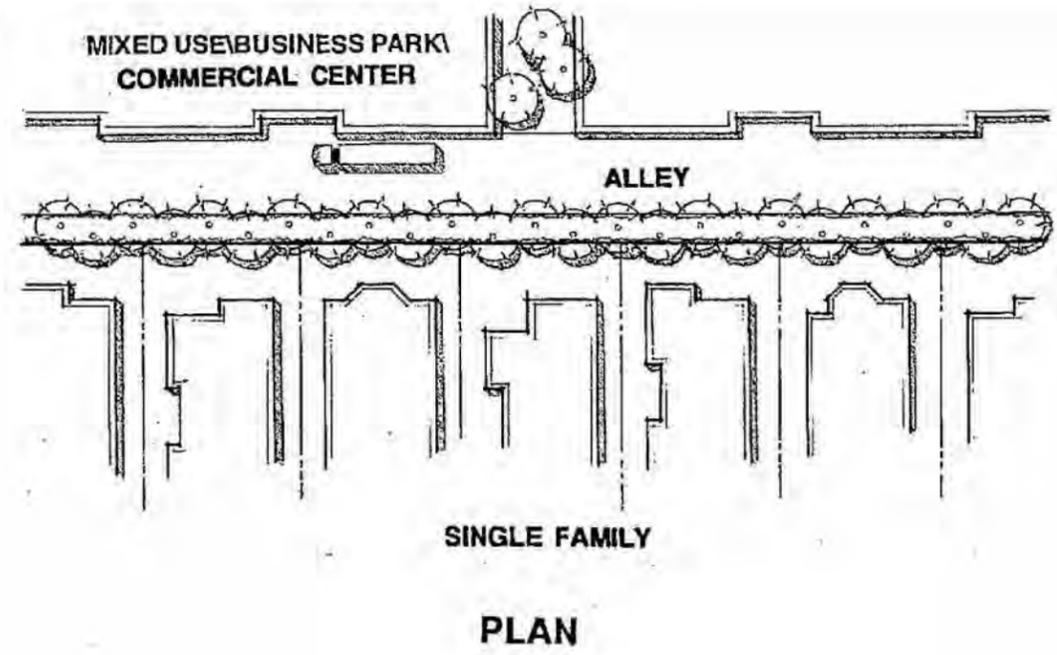
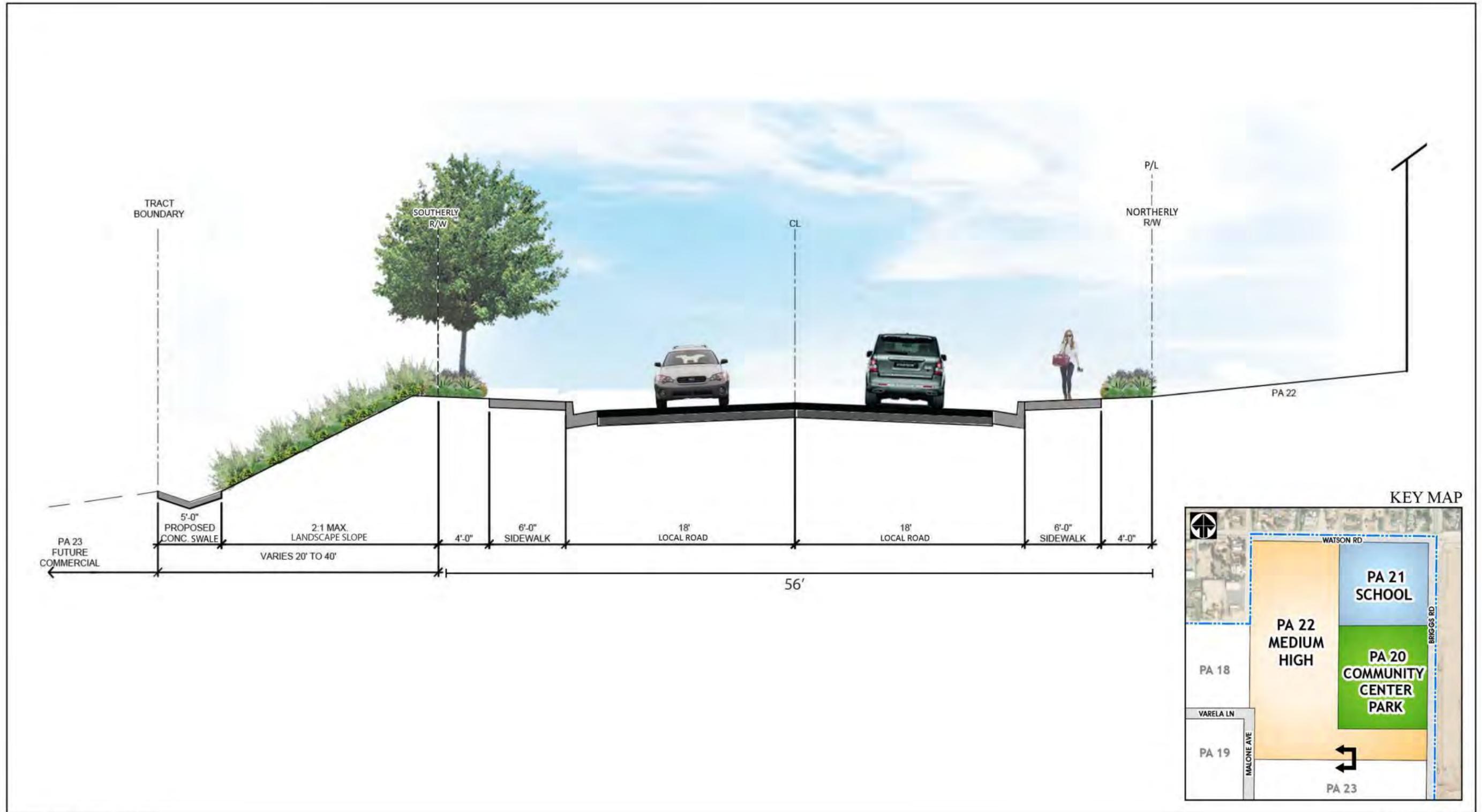


FIGURE - IV-12

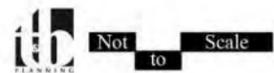
Not to Scale

RESIDENTIAL/BUSINESS PARK, MIXED USE AND COMMERCIAL INTERFACE
IV. DESIGN GUIDELINES
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

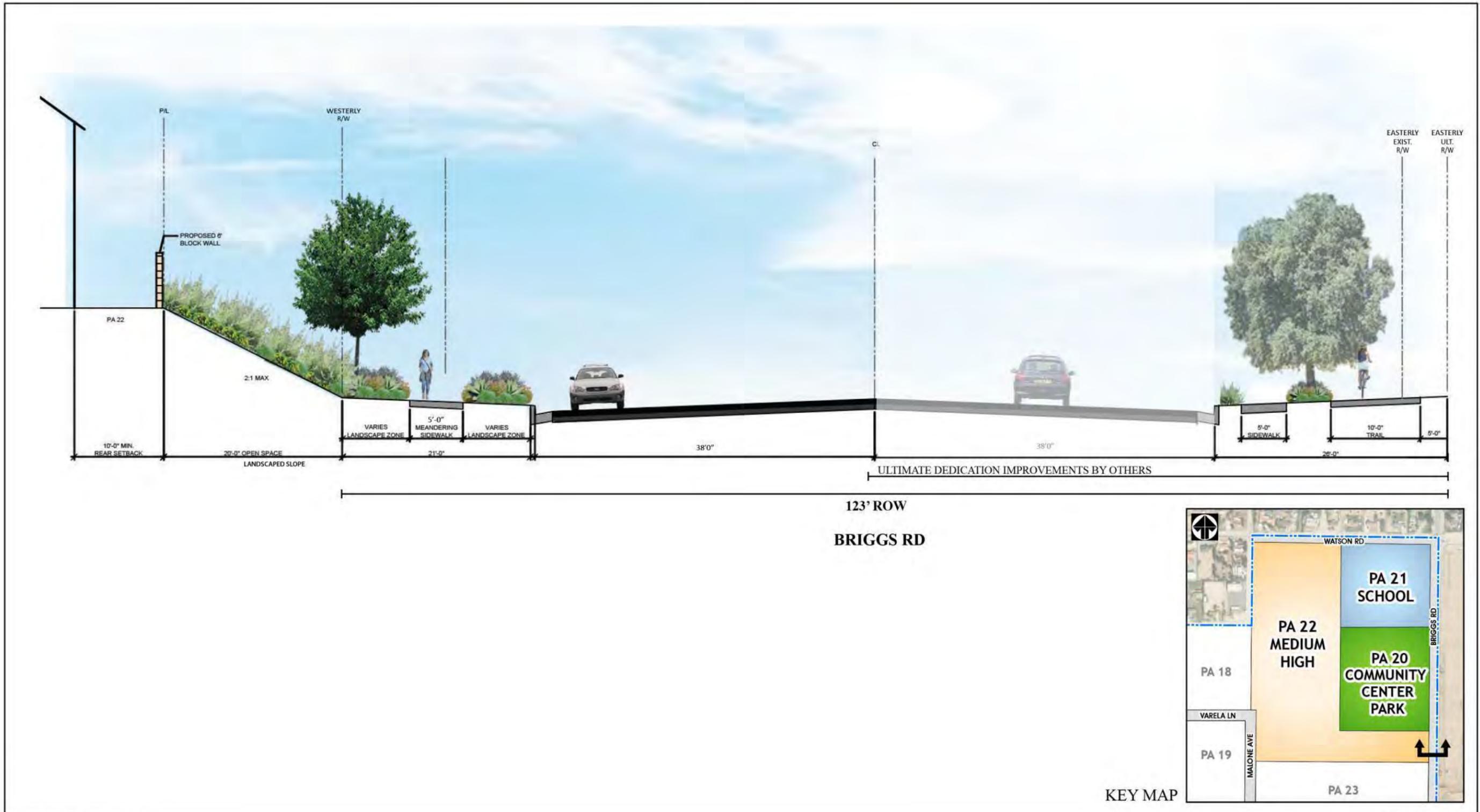


Source(s): Esri, Brightview (09-13-2021)

FIGURE - IV-13



RESIDENTIAL (PA 22)/ "E" STREET/COMMERCIAL (PA 23) INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): Esri, Brightview (09-13-2021)

FIGURE - IV-14

Not to Scale

RESIDENTIAL (PA 22)/BRIGGS ROAD INTERFACE
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

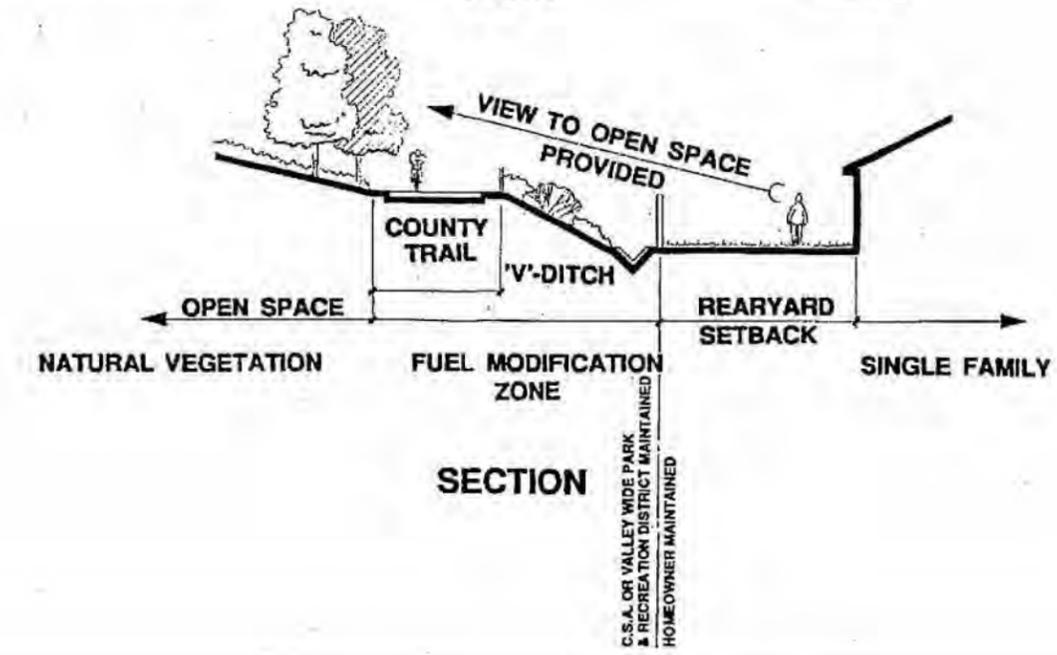
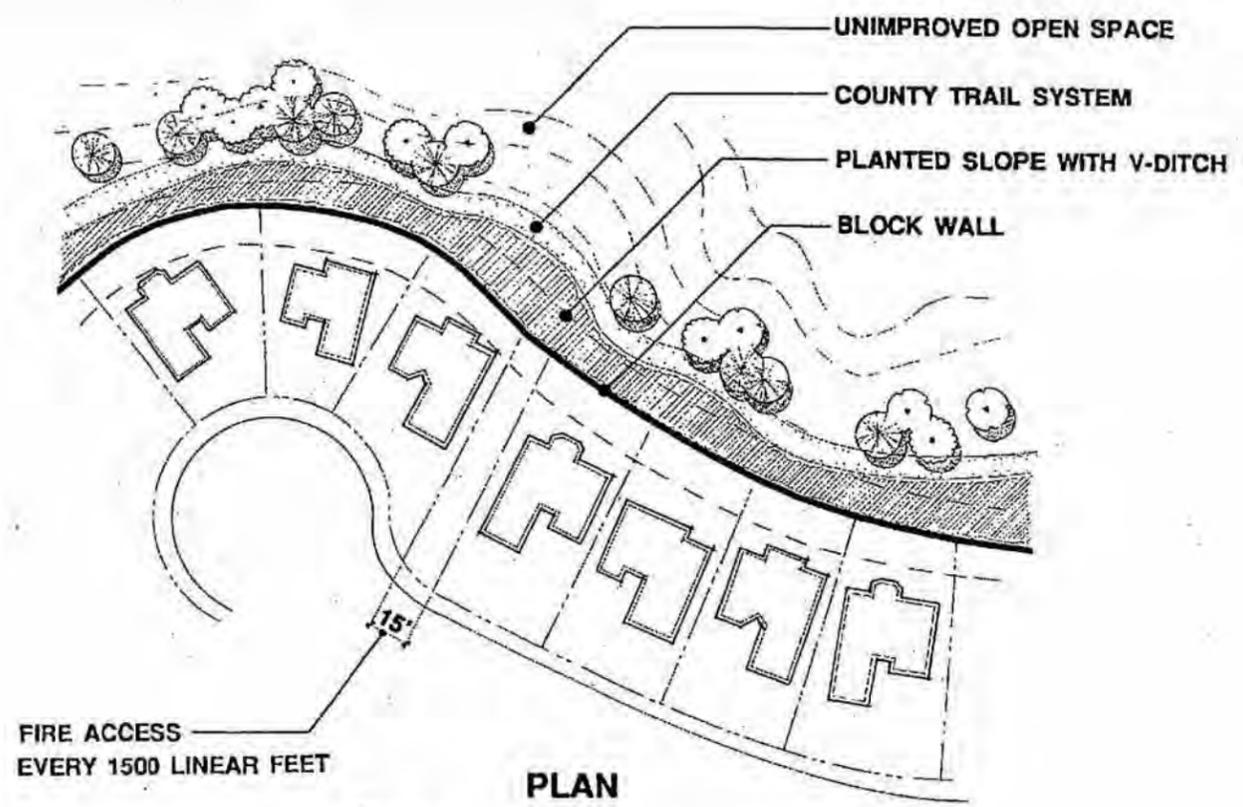


FIGURE - IV-15

Not to Scale

RESIDENTIAL/REGIONAL TRAIL/OPEN SPACE INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

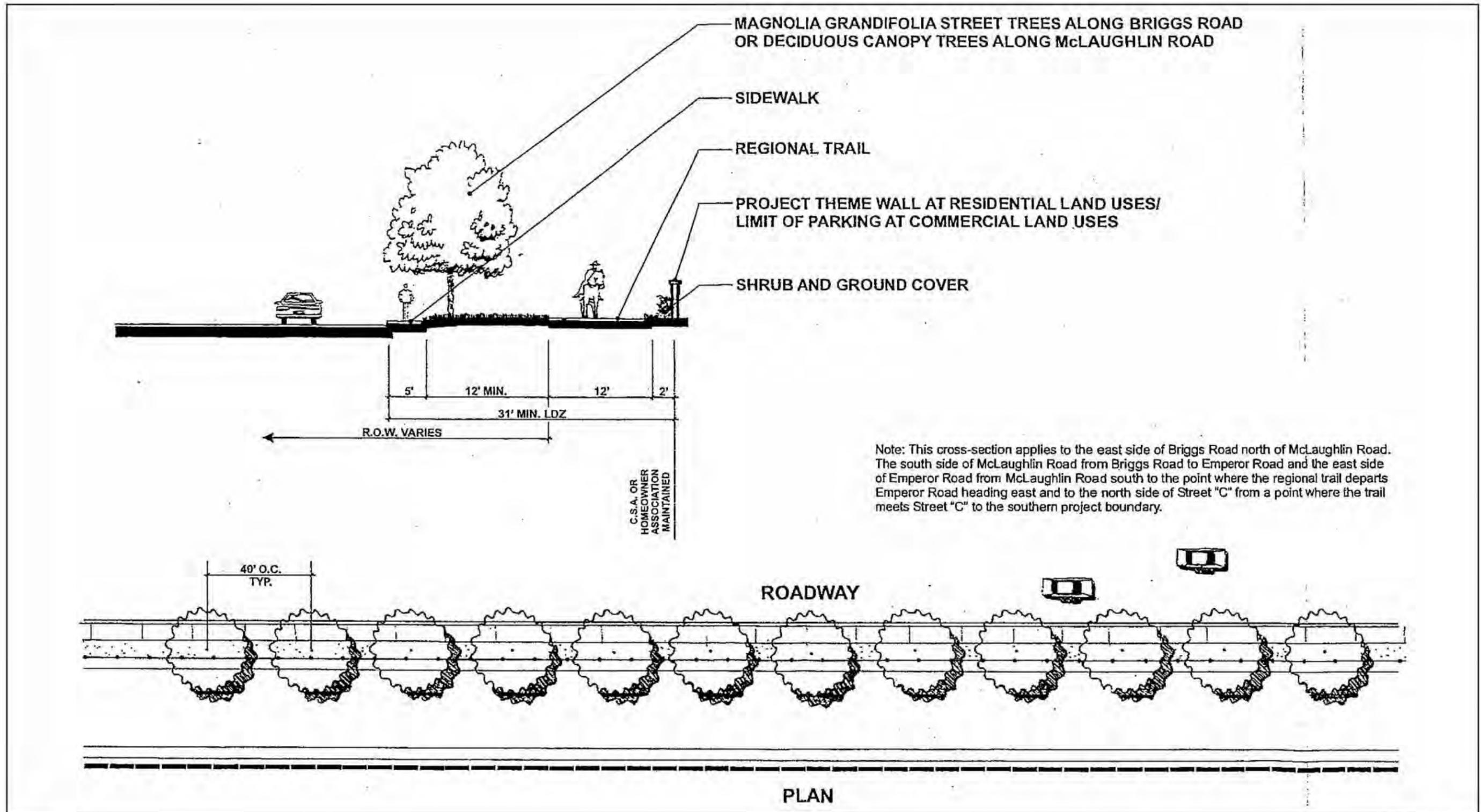
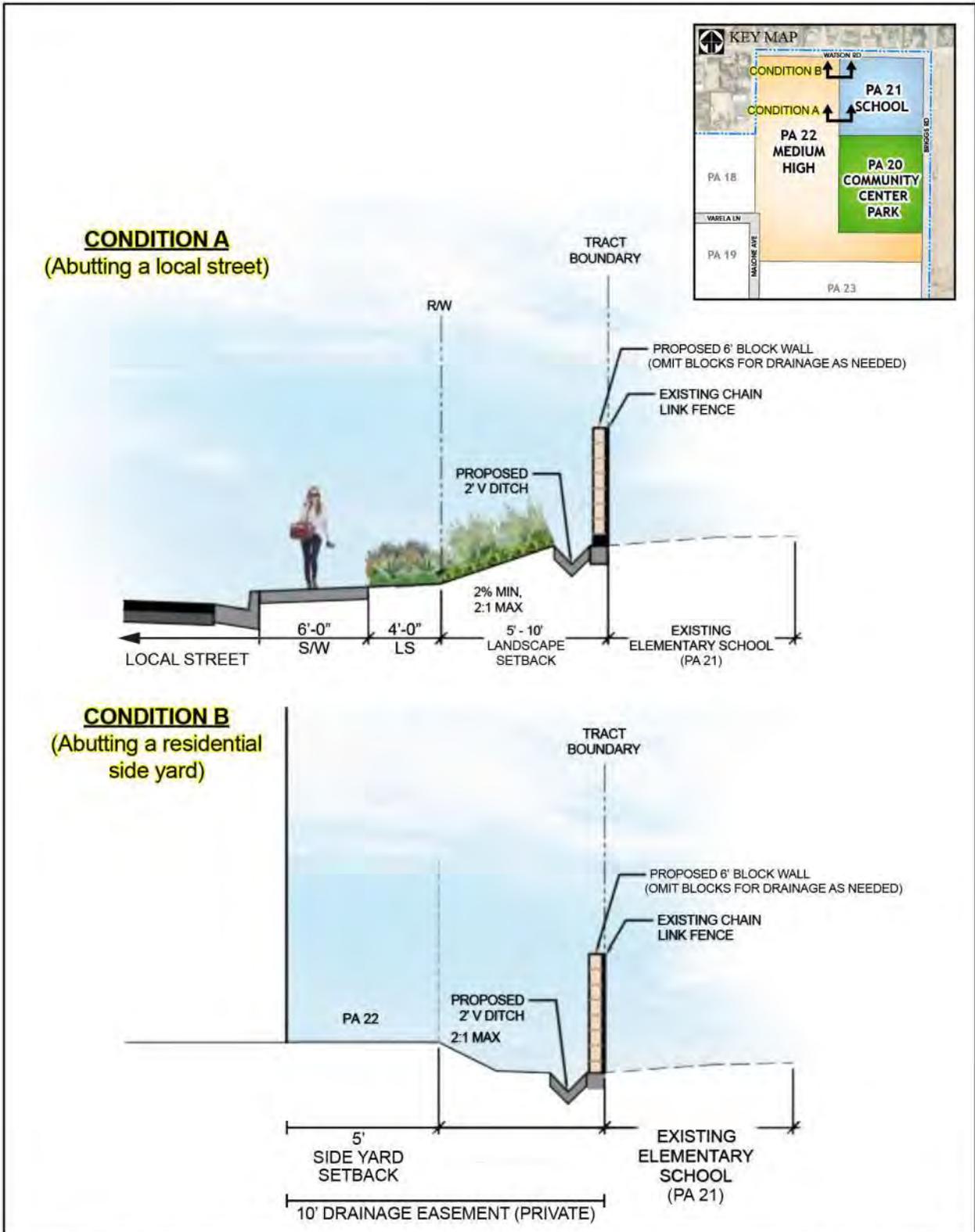


FIGURE - IV-16

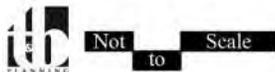
Not to Scale

REGIONAL TRAIL/ROADWAY/COMMERCIAL, BUSINESS PARK, AND RESIDENTIAL INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



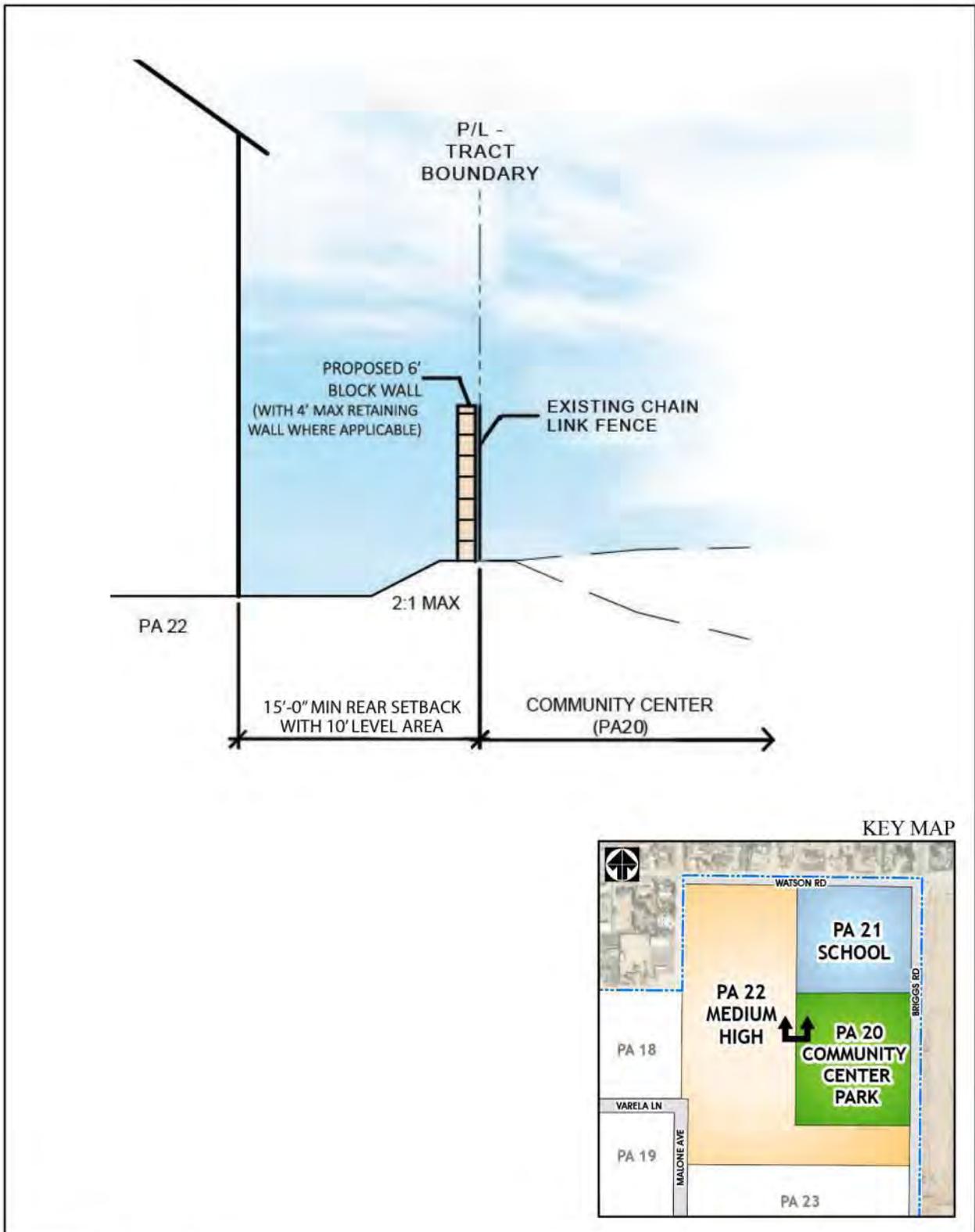
Source(s): Brightview (04-29-2022)

FIGURE - IV-17A



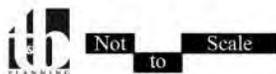
RESIDENTIAL (PA 22)/SCHOOL INTERFACE
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

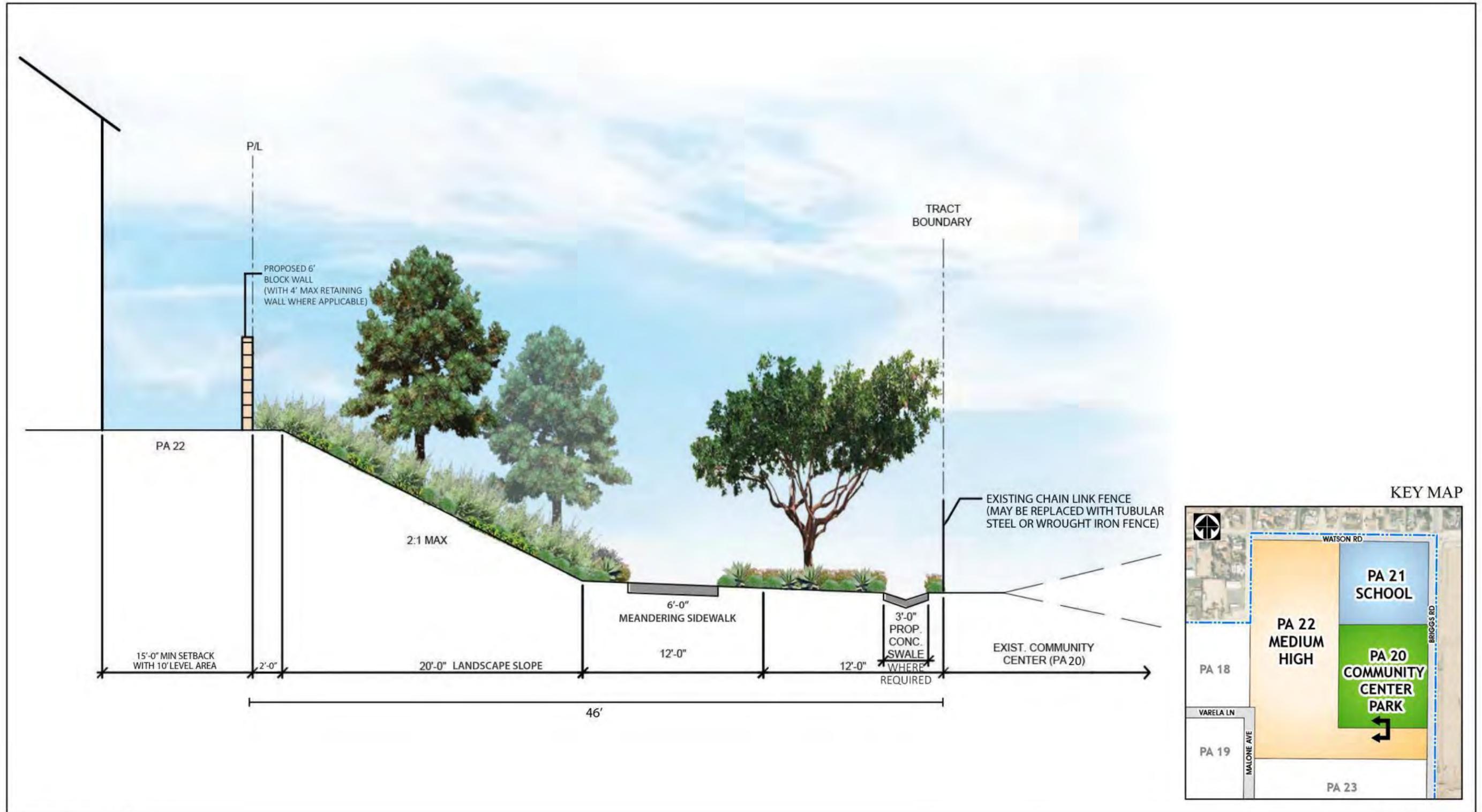


Source(s): Brightview (09-13-2021)

FIGURE - IV-17B

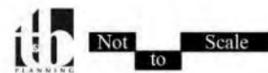


RESIDENTIAL (PA 22)/COMMUNITY CENTER (WEST) INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): Brightview (09-13-2021)

FIGURE - IV-18



RESIDENTIAL (PA 22)/OPEN SPACE/COMMUNITY CENTER SOUTH INTERFACE
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

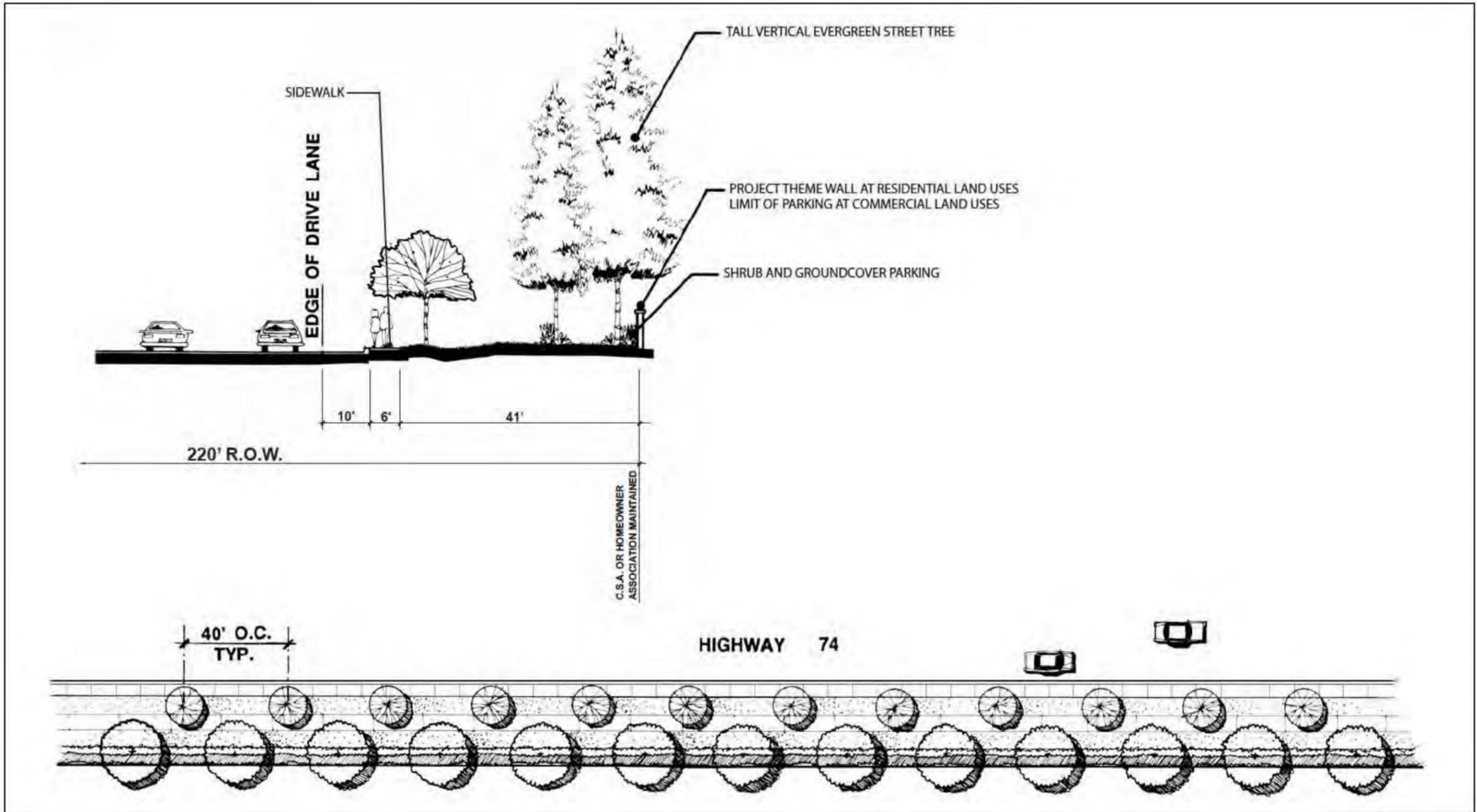


FIGURE - IV-19

Not to Scale

HIGHWAY 74/ETHANAC ROAD STREETScape

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

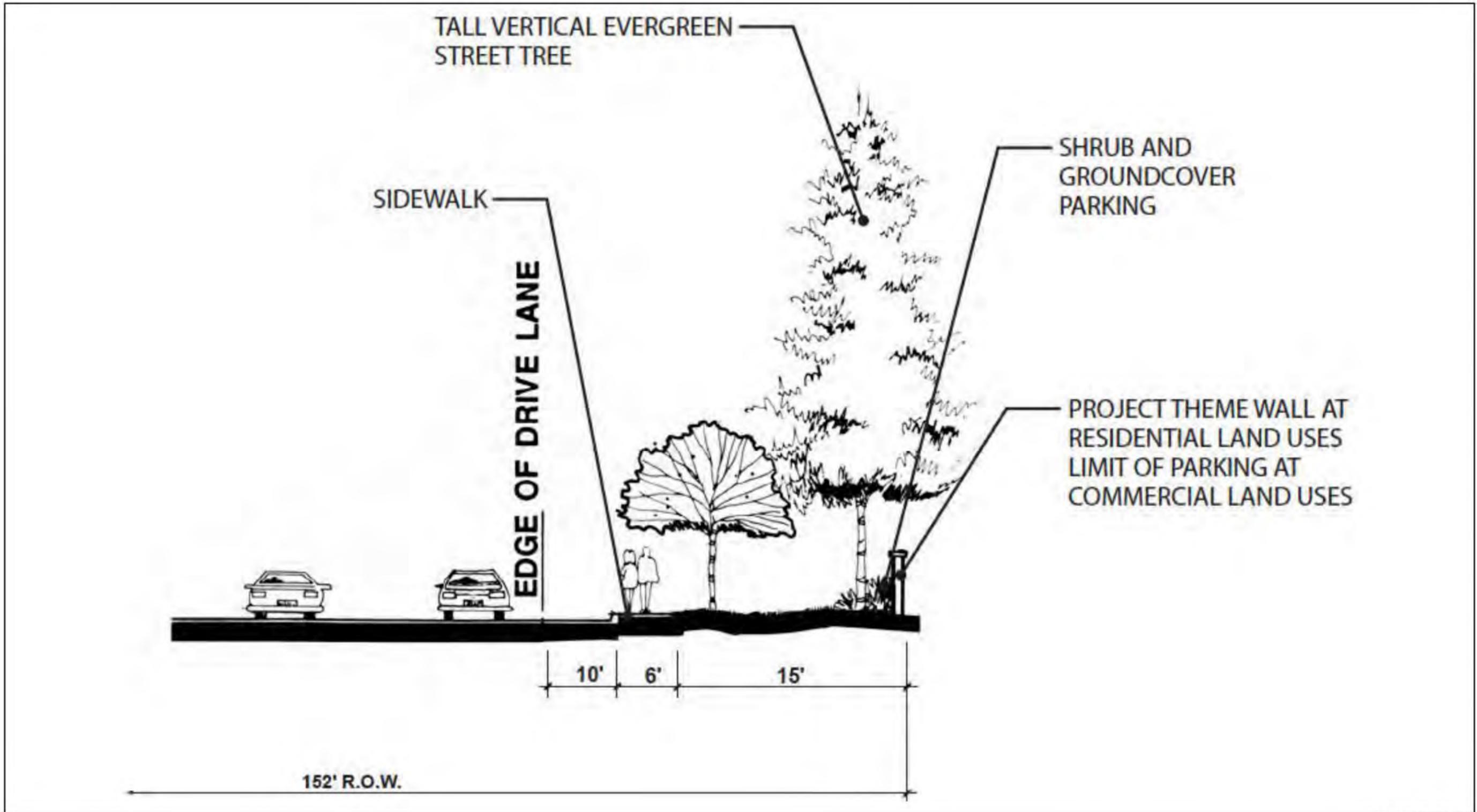


FIGURE - IV-20

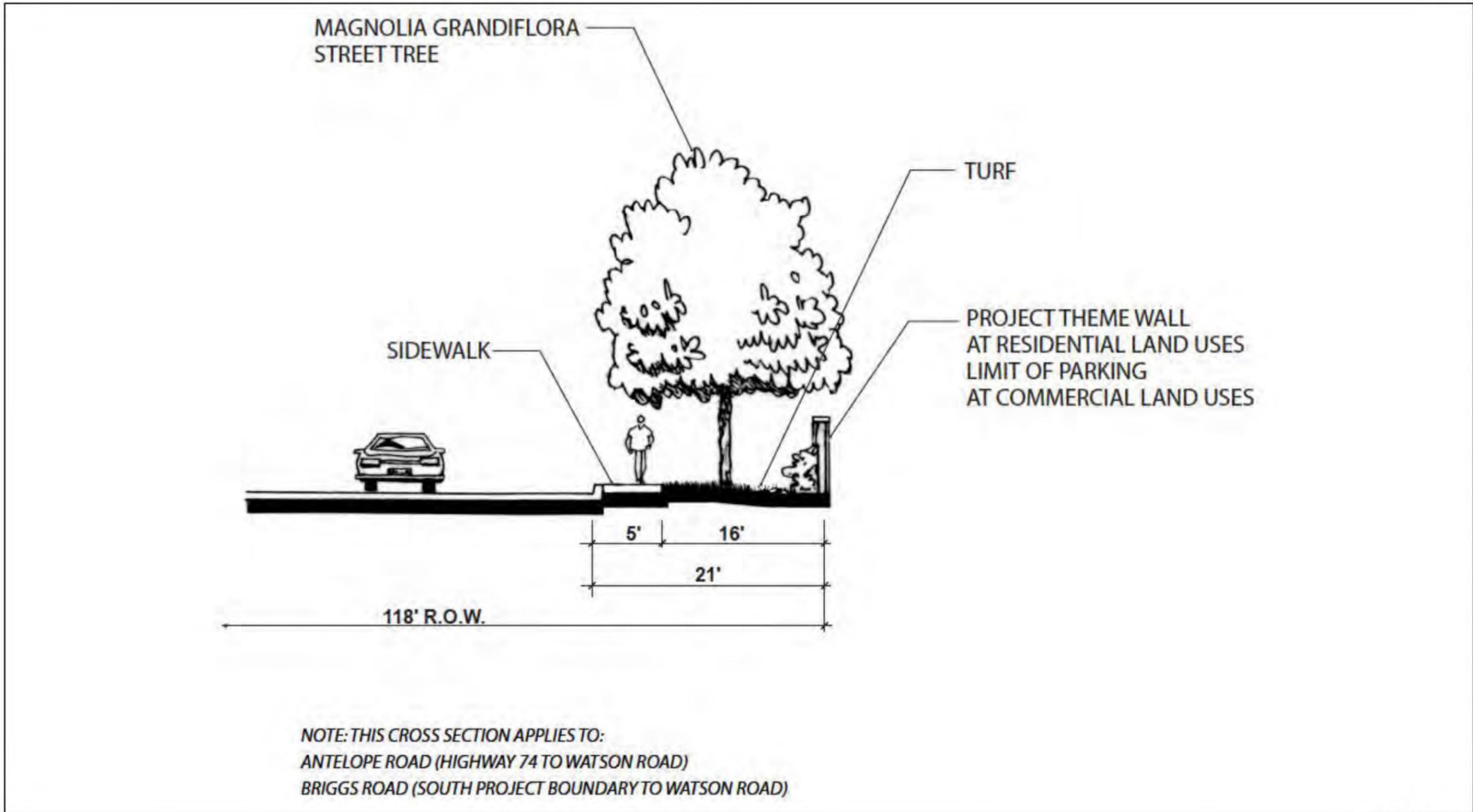
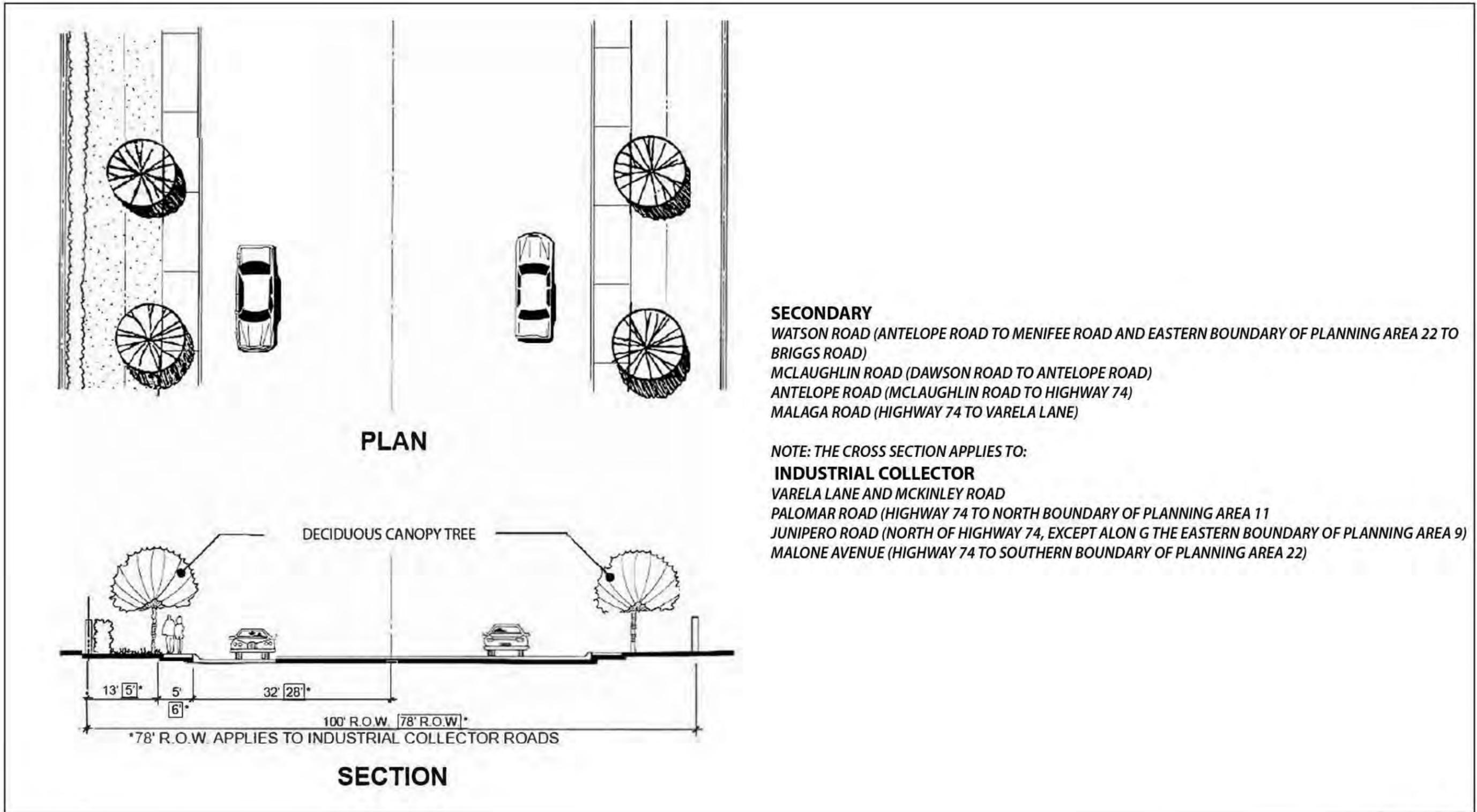


FIGURE - IV-21



SECONDARY

WATSON ROAD (ANTELOPE ROAD TO MENIFEE ROAD AND EASTERN BOUNDARY OF PLANNING AREA 22 TO BRIGGS ROAD)

MCLAUGHLIN ROAD (DAWSON ROAD TO ANTELOPE ROAD)

ANTELOPE ROAD (MCLAUGHLIN ROAD TO HIGHWAY 74)

MALAGA ROAD (HIGHWAY 74 TO VARELA LANE)

NOTE: THE CROSS SECTION APPLIES TO:

INDUSTRIAL COLLECTOR

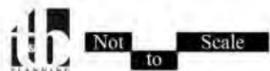
VARELA LANE AND MCKINLEY ROAD

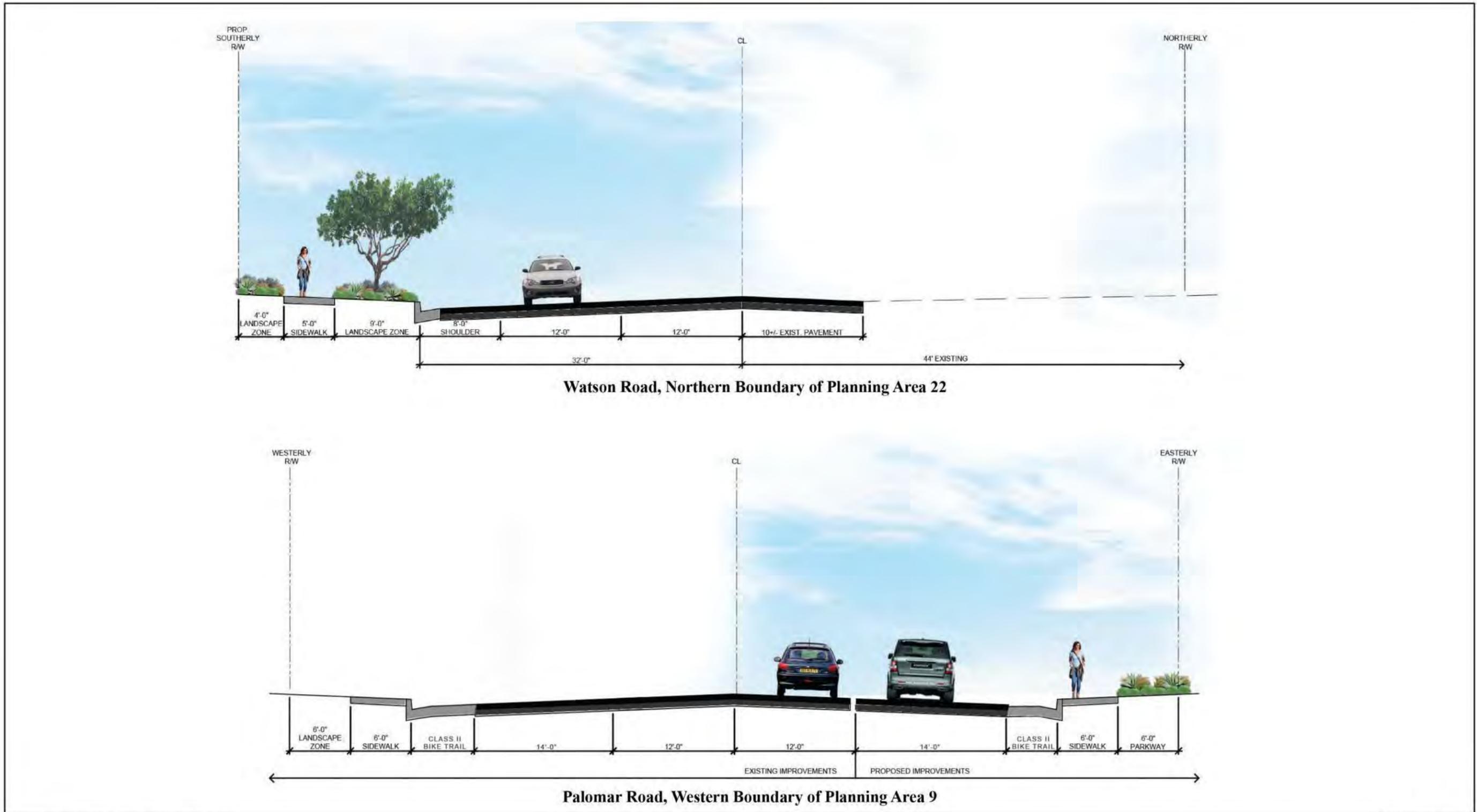
PALOMAR ROAD (HIGHWAY 74 TO NORTH BOUNDARY OF PLANNING AREA 11)

JUNIPERO ROAD (NORTH OF HIGHWAY 74, EXCEPT ALONG THE EASTERN BOUNDARY OF PLANNING AREA 9)

MALONE AVENUE (HIGHWAY 74 TO SOUTHERN BOUNDARY OF PLANNING AREA 22)

FIGURE - IV-22





Source(s): Brightview (09-07-2021), Brightview (09-13-2021)

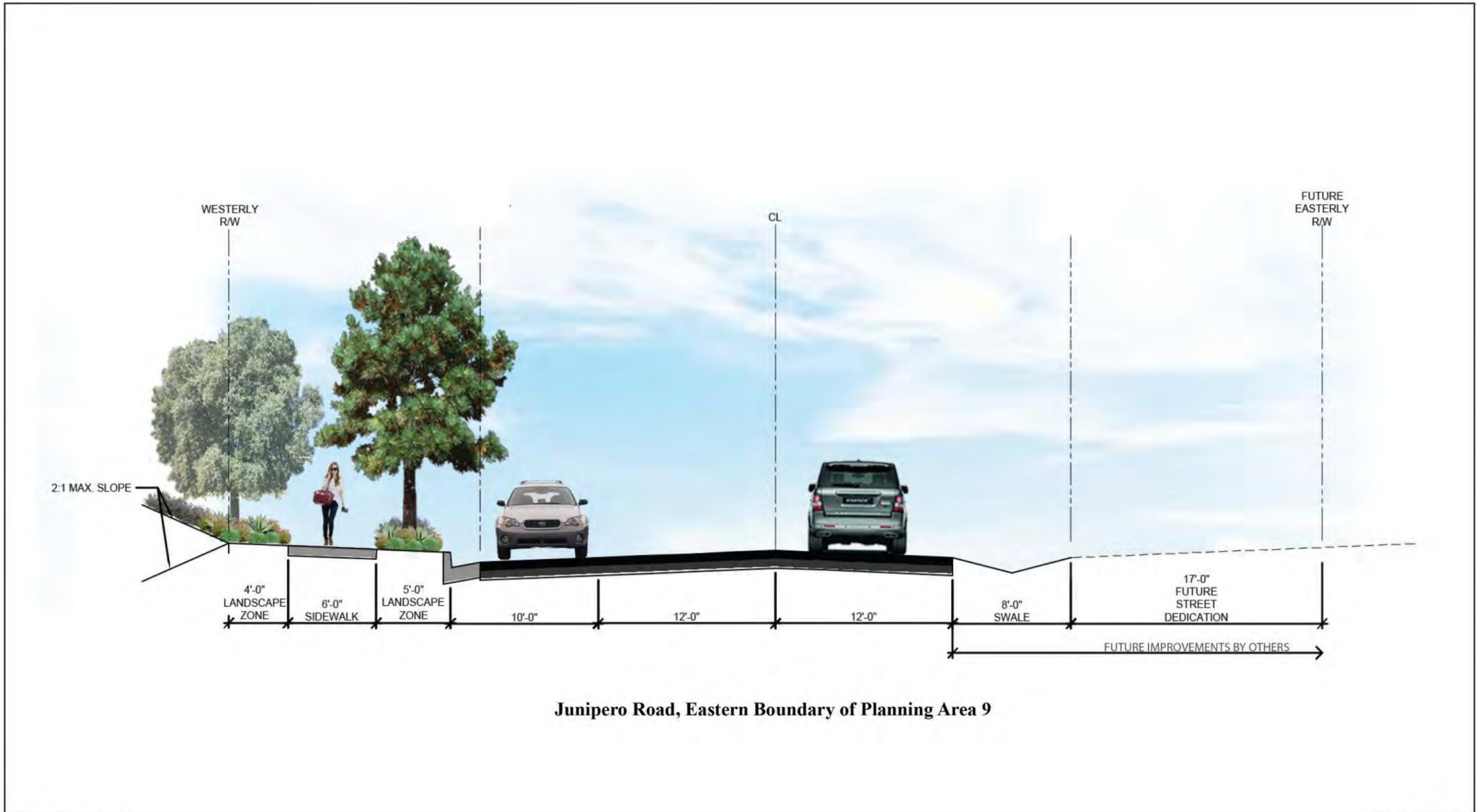
FIGURE - IV-23

Not to Scale

MODIFIED SECONDARY HIGHWAY STREETSCAPE - PALOMAR ROAD (PA 9) AND WATSON ROAD (PA 22)

IV. DESIGN GUIDELINES

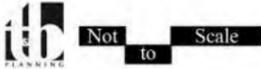
MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

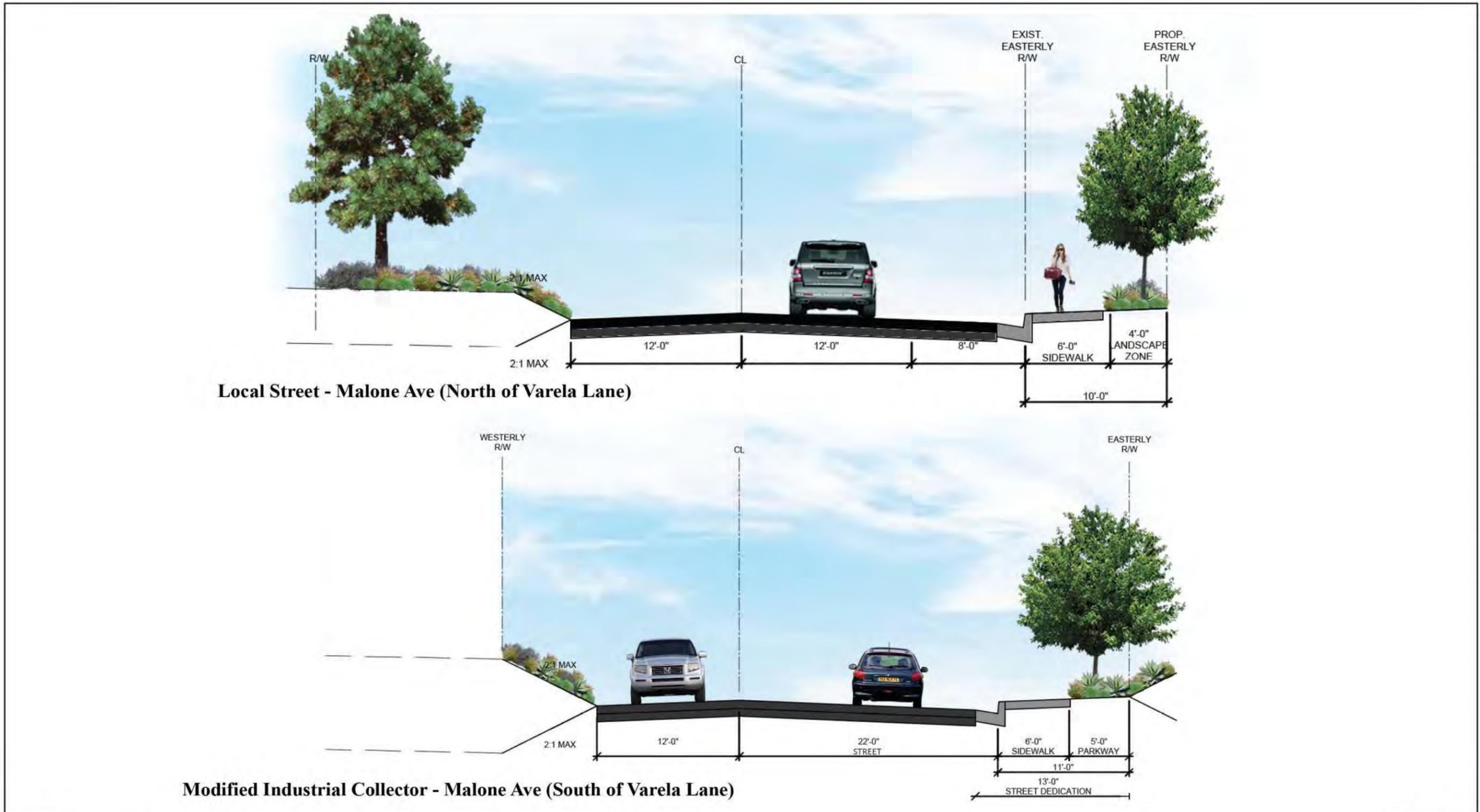


Junipero Road, Eastern Boundary of Planning Area 9

Source(s): Brightview (09-13-2021)

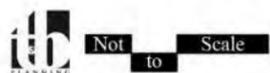
FIGURE - IV-24





Source(s): Brightview (09-07-2021), Brightview (09-13-2021)

FIGURE - IV-25



LOCAL ROAD/INDUSTRIAL COLLECTOR STREETScape - MALONE AVENUE (PA 22)
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



FIGURE - IV-26



COMMUNITY PARK/CENTER SITE PLAN CONCEPT (PA 20)

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



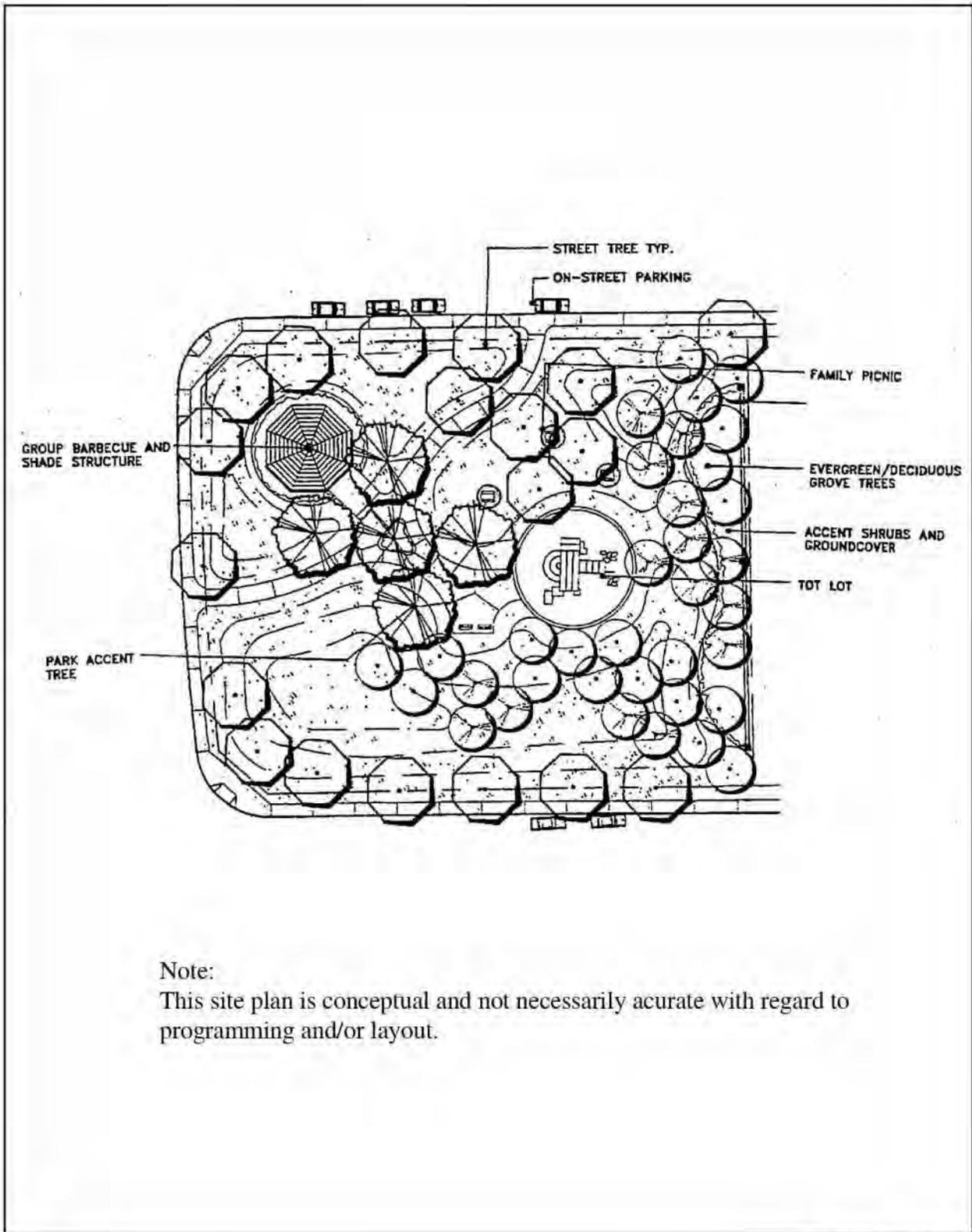
FIGURE - IV-27



COMMUNITY PARK SITE PLAN CONCEPT (PA 10)

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



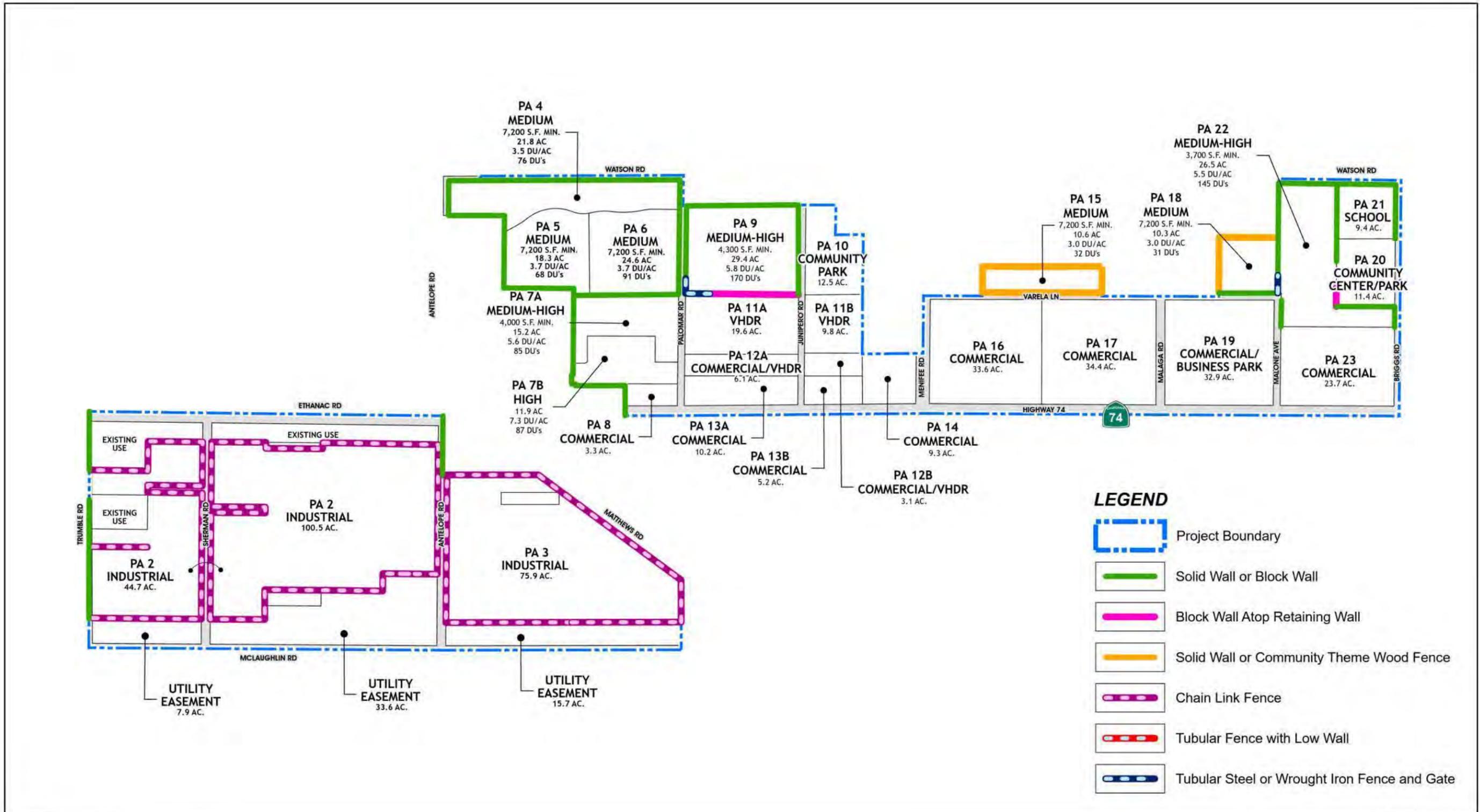
Note:
 This site plan is conceptual and not necessarily accurate with regard to programming and/or layout.

FIGURE - IV-28



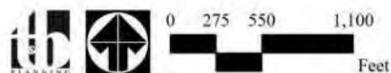
TYPICAL MINI-PARK
 IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): Esri, RCTLMA (2024)

FIGURE - IV-29



COMMUNITY WALLS AND FENCING PLAN
IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

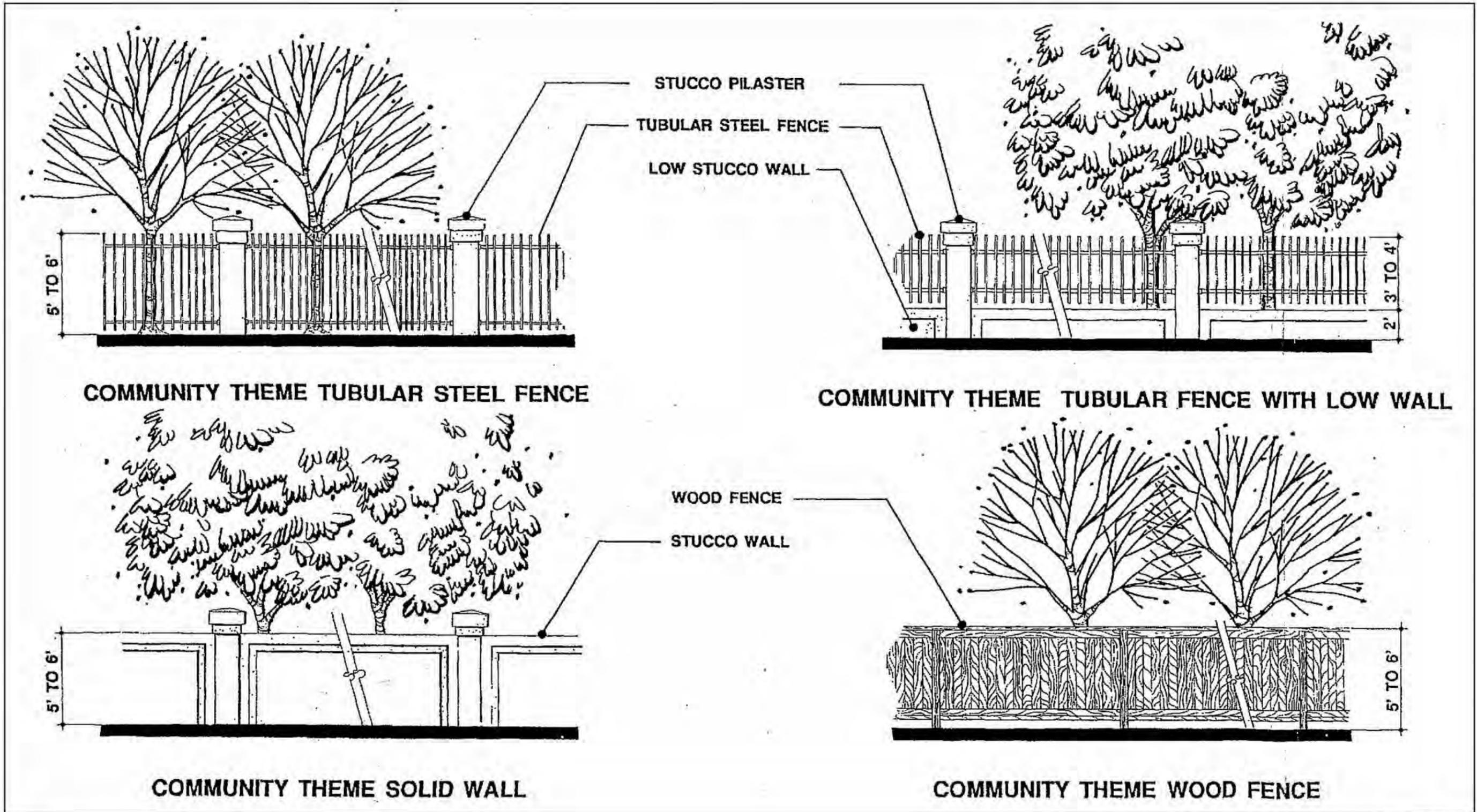


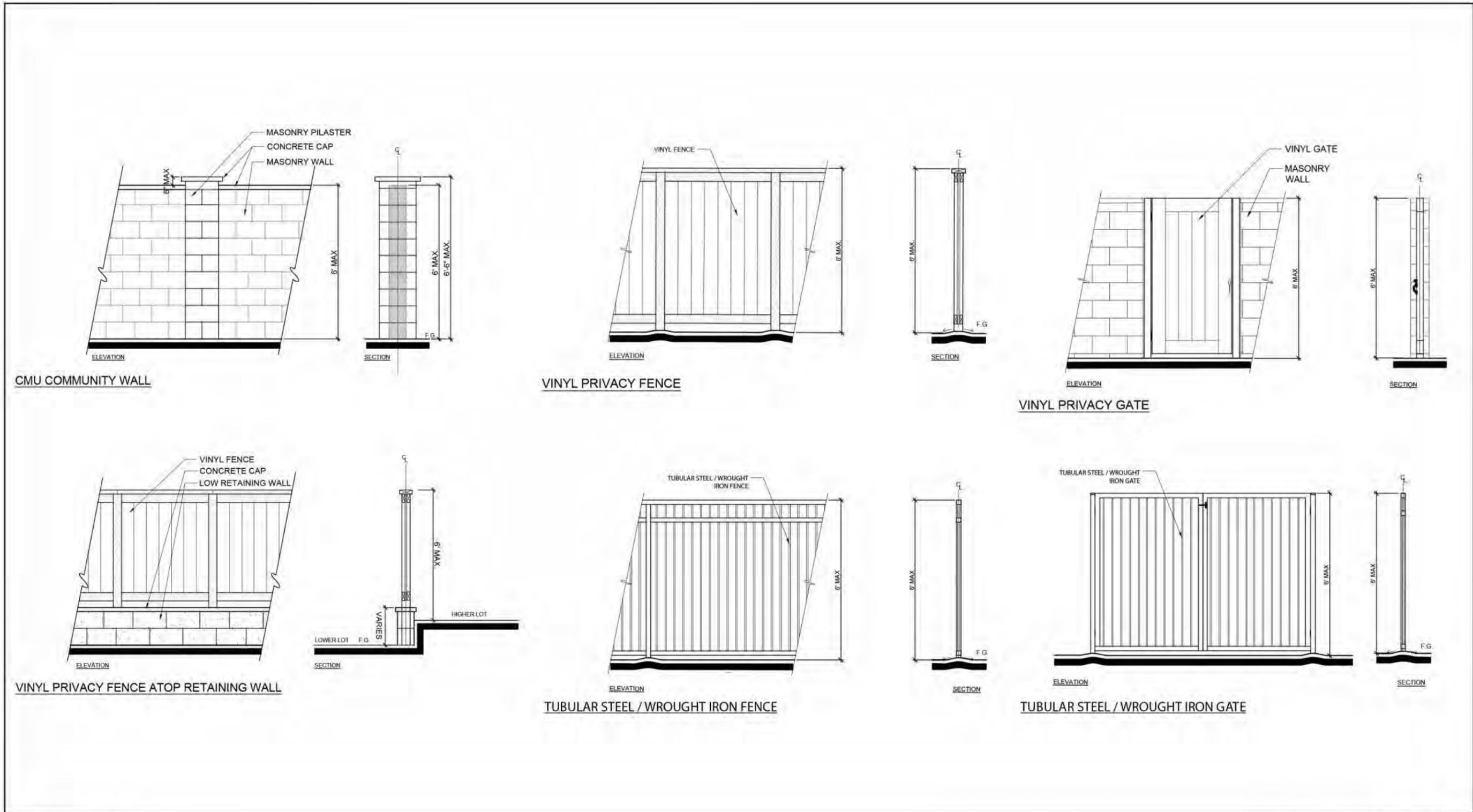
FIGURE - IV-30

Not to Scale

COMMUNITY WALLS AND FENCING DETAILS

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5



Source(s): Brightview (09-07-2021)

FIGURE - IV-31

Not to Scale

COMMUNITY WALLS AND FENCING DETAILS (PLANNING AREAS 9 AND 22)
 IV. DESIGN GUIDELINES
 MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 5

E. ARCHITECTURAL GUIDELINES

The architectural theme of *MENIFEE NORTH* is one of "oasis" and "comfortable shelter". The desire to reinforce the impression of coolness and a relaxed, country club atmosphere has led to a series of architectural ideas which have been deemed appropriate for dealing with the environment. The weather at *MENIFEE NORTH* is a result of the basically arid climate located in the City of Menifee. The summers are dry and hot, with temperatures frequently reaching 95± degrees. The high land elevation and dry climate cause a strong temperature swing downward once the sun sets, cooling the land masses and buildings. The winters can offer brisk winds and temperatures, making the warmth of a cozy hearth all that much more desirable. The buildings at *MENIFEE NORTH*, both residential and non-residential, will have to be flexible enough to cope with both the need to be cool, breezy, and open in the summer, and solid, warm, and stout in the winter.

Instead of transplanting a specific style to *MENIFEE NORTH* and attempting to define the community theme as a series of clichés, we have chosen instead to define the architecture as "appropriate". The word "appropriate" is further codified by a series of desirable details. The incorporation of these details into the fabric of each individual community will allow these communities to form their own identities and yet let them be recognized as part of the larger community.

The design elements for *MENIFEE NORTH* that will help form its distinctive character are:

- Simple, natural appearing materials.
- Soft, warm colors
- Horizontal massing emphasis.
- Integration of indoors and outdoors.
- Cool, protected entries.
- Private patios, protected courtyards.
- Roofs with low pitches, wide overhangs.
- Windows which are grouped and shaded.
- Entry doors with a solid appearance.
- Garage doors with setbacks and appropriate solidity.
- Summer porches and verandas.
- Covered, shaded balconies and decks.
- Loggias for shade and rain protection.
- Chimneys of stone, brick, or stucco to express their mass.
- Gutters and downspouts incorporated into the design, not added on.

Design elements to avoid at *MENIFEE NORTH* are:

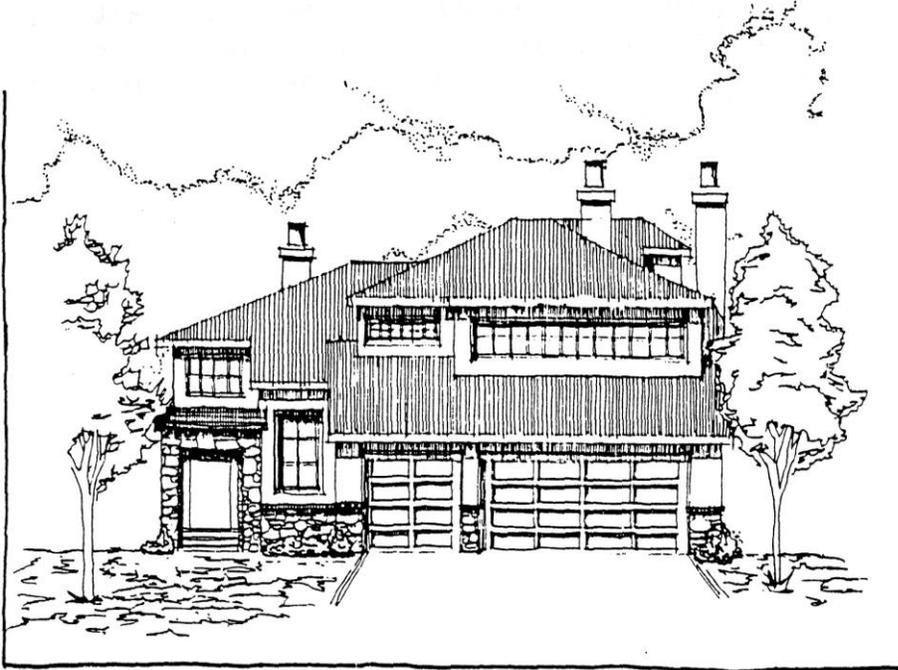
- Dark, moody colors or bright, flashy colors.
- Box-like architecture without detail or articulation.
- High pitched (steep) roofs.
- Silver window and door frames.
- Monotonous garage door elevations.
- Vertical massing.
- Flat, unarticulated entries.
- Exposed metal chimneys.
- Exposed mechanical equipment.

It is the intent of these guidelines to establish a consistent architectural expression in the character of *MENIFEE NORTH*. The illustrations shown below are conceptual in nature and are only intended to depict concepts, not actual design. Finalized floor plans and elevations will be determined at a later stage of development.

TYPICAL FRONT ELEVATION



TYPICAL FRONT ELEVATION



1. MATERIALS

The choice of materials is not highly limited at *MENIFEE NORTH*. Their use in appropriate locations and in realistic ways, however, is paramount. The need for all buildings to appear as though they spring from the earth is a demanding task for freshly built, modern structures. Judicious use and mixtures of materials will help the designer succeed in this effort. Because of the rural/desert nature of the project, shiny or flashing materials may be inappropriate. Also, the use of numerous different materials on one structure will tend to clutter the design. It is intended that the buildings at *MENIFEE NORTH* reflect a design idea that uses the materials as a way to express craftsmanship rather than a celebration of the material itself. Simplicity (not to be confused with plainness) will present very well, if the materials are used appropriately and consistently.

2. COLOR PALETTE

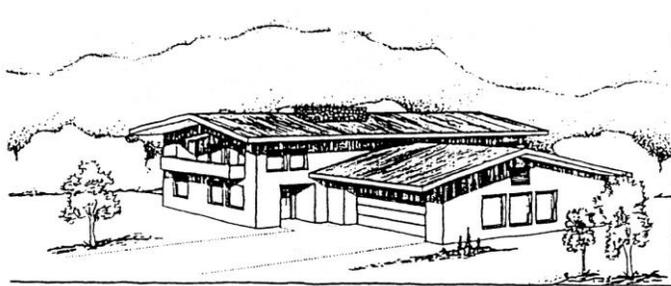
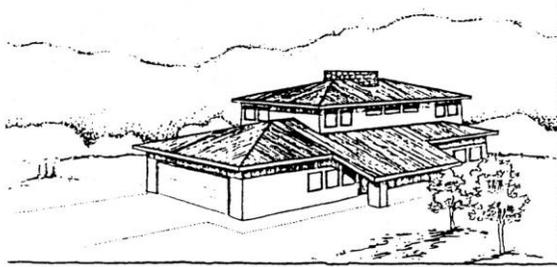
Colors at *MENIFEE NORTH* should be "calm" to reinforce the architectural theme of "oasis". Hot, vibrant colors with large amounts of chroma should be avoided, especially when considering large surfaces. The main body of the building should be colored soft enough to appear cool, but not dark and dreary or muddy. Pastels can be used, if they are subtle. Trim color should contrast with the body color enough to provide an accent.

3. BUILDING MASSING

The emphasis at *MENIFEE NORTH*, in the context of building massing, is on the horizontal line. Building elements which accentuate the horizontal are encouraged, including eave lines, balconies and rails, fenestration patterns, walls and trim lines.

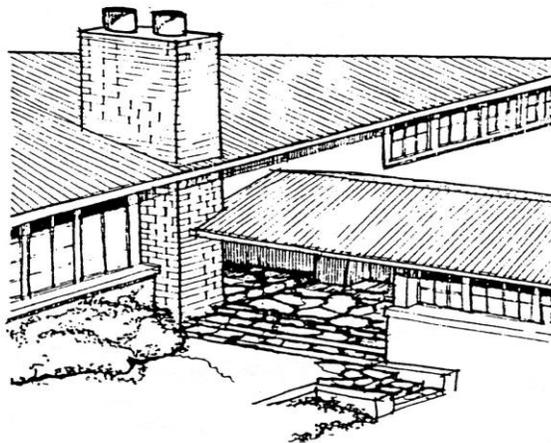
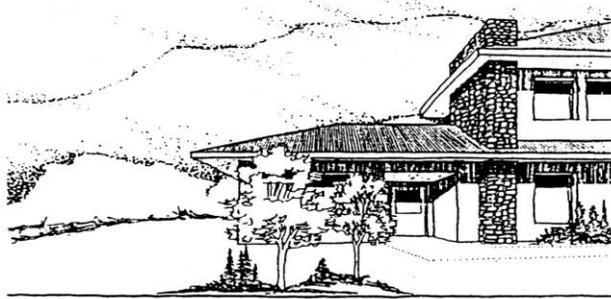
When planning two-story structures, setbacks of enough dimension between one story and that immediately below it are encouraged to disassociate the two vertical planes. Use of roof elements, dressage, and other overhead structures to provide a horizontal break in vertical planes are also encouraged. On small lots, where the narrow frontage may prevent steps on the sides of the units, a front to back break in elevation, as well as varied setbacks along the street, are encouraged.

On commercial projects, loggias, stairways, balconies and walkways are encouraged to provide visual interest as well as to provide pedestrian spaces. Creating elevations that do not vary in plan should be avoided. The transitions from parking areas to the commercial buildings should be logical and shaded if at all possible.



4. ENTRIES

The perception a person receives visually and emotionally from a house or building can set the whole tone for a visit to the space beyond. The creation of a feeling of protection, invitation, and openness all at the same time will allow the appropriate balance to exist between privacy and accessibility. Entries should be protected from the direct impact of the elements, but should not be so squeezed or constricted as to feel uninviting or claustrophobic.

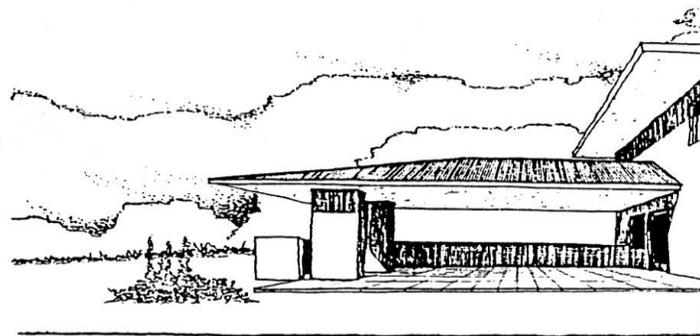
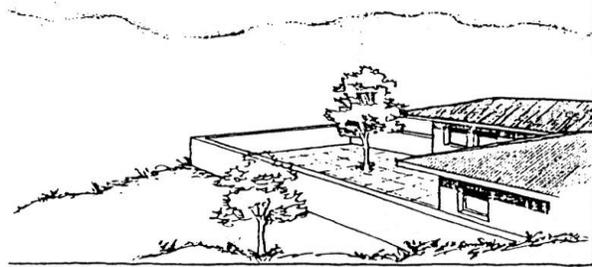


5. SCREENING

The definition between private and public spaces at *MENIFEE NORTH* will occur in a variety of ways. The use of setbacks, garden walls, fences, landscaping and even material changes to define the difference is highly encouraged.

Private courtyards will enhance the feeling of being able to move out of the house or building without moving completely into the public domain. They also can be used to provide a sheltered outdoor space to enjoy some quiet time.

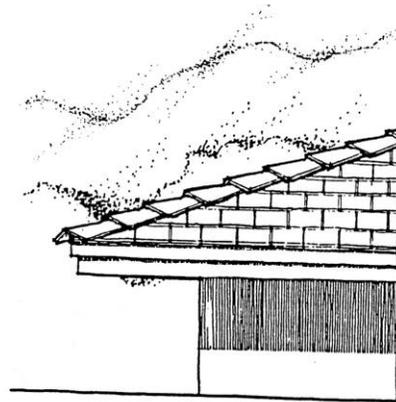
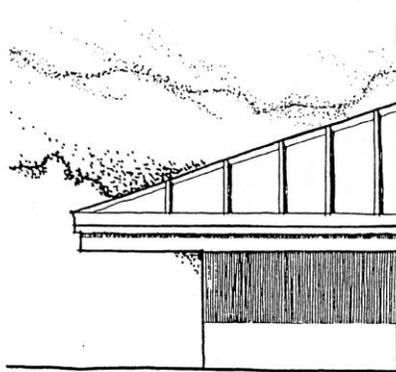
Walls and fences of private yards which are visible to the street or public spaces shall be consistent with the overall theme of the project in which they appear. They also must be architecturally integrated with the community of *MENIFEE NORTH* as a whole. Plastered masonry walls, with or without other elements such as steel tubing, shall align with the design of the project walls discussed in the Landscape Guidelines section of this Specific Plan.



6. ROOFS

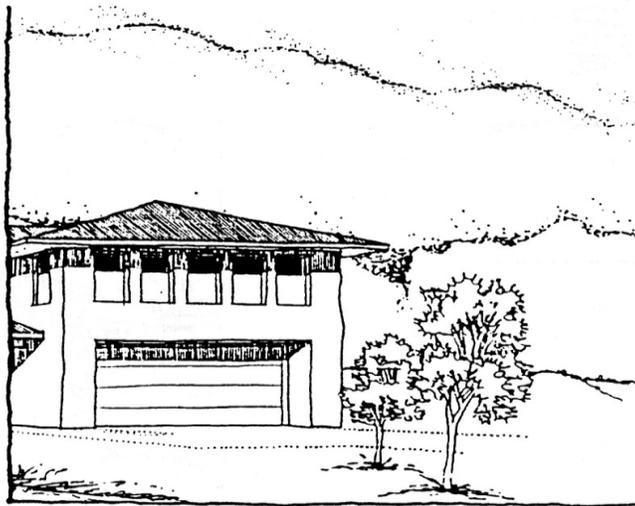
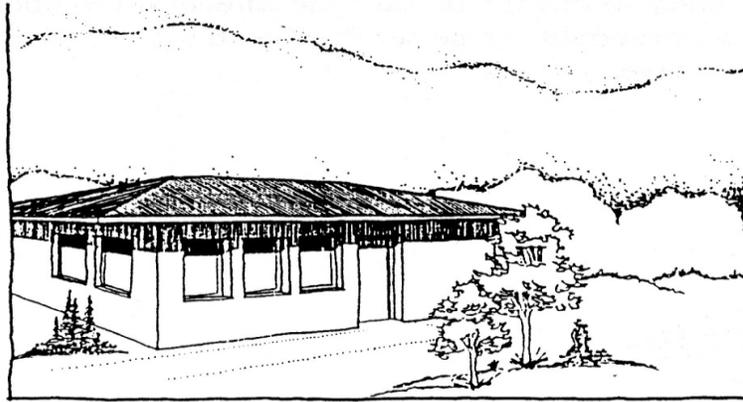
The roof form at *MENIFEE NORTH* is seen as one of the primary form-giving elements. It can be used to help emphasize the horizontal lines of a building, as well as provide shelter from the elements. Because the average annual rainfall is not the major concern of all the elements, the roofs should be low and wide, with slopes predominantly 5:12 or less. Some accent roof areas may be allowed to exceed this slope if they do not represent a large percentage of the total roof area. The overhangs should be a minimum of two feet, so that the shadows they create can be used to shade the walls and windows below them.

The visible roofs of all buildings should appear substantial, as though there is a definite layer between the elements and the protected spaces below. Roofing materials can be either flat clay/concrete tiles or barrel tiles. The tiles will provide a mass which will help slow down heat absorption by the building.



7. WINDOWS

Windows are another basic form-giver to the buildings of *MENIFEE NORTH*. While the primary purpose of windows is to provide light and ventilation, all windows should be protected from the negative impact of the elements, especially the sun. Windows should appear in groups or bands whenever possible, and the detailing of the windows should be consistent around the entire building. Metal windows should have some color to them other than mill finish or natural silver/gray. Views, whether short range, private or public should be exploited.

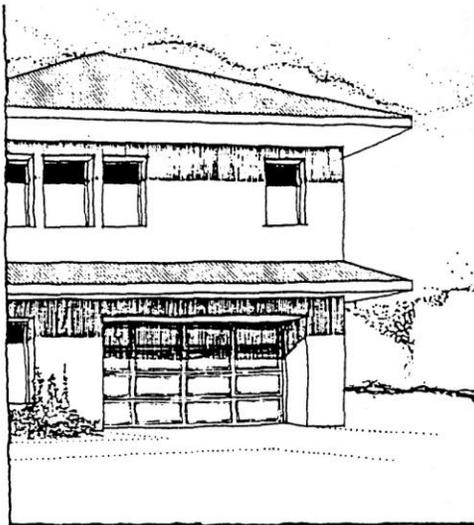


8. DOORS

Doors in the exterior walls of a building at *MENIFEE NORTH* should appear to fit with the style of the other detailing. Regardless of their composition, the coloring and detailing should be consistent. Metal skinned doors should be finished so they do not appear "shiny", unless all doors appear that way. All doors should be considered like windows, and the door's detailing should be reflective of the window detailing. Like windows, doors should be protected from the elements by overhangs, eaves or recesses.

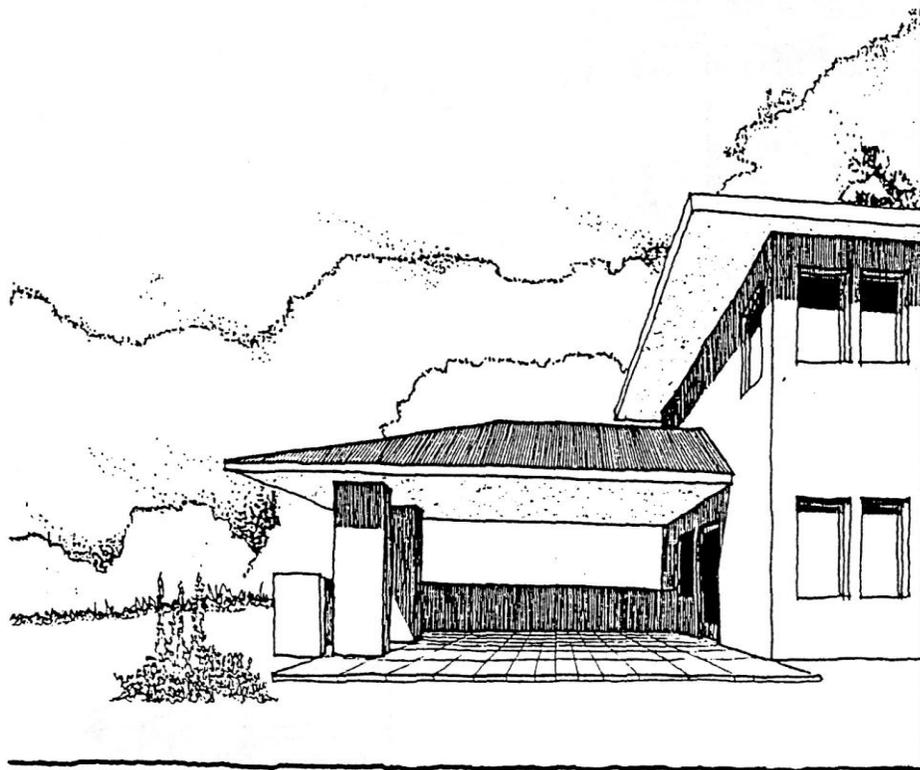
9. GARAGE DOORS

Because the garage on most houses presents a major face to the public, its appearance is very important. Any opportunity to change or vary the direction the door faces in relation to a street should be exploited. The doors should not be set flush with the wall they appear in, but rather should be recessed or shaded by an eave.



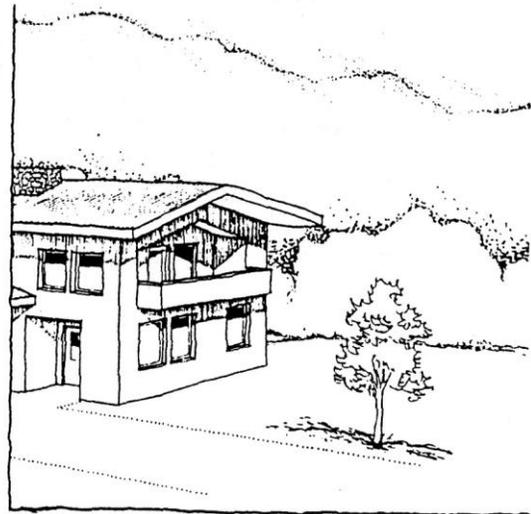
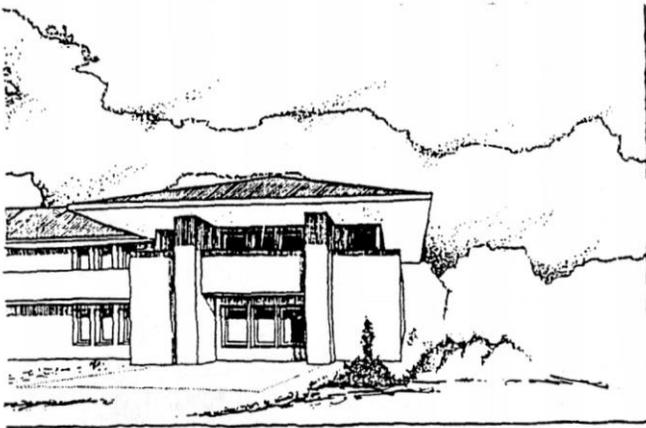
10. PORCHES

A porch, even a small one, can tremendously enhance the feeling of protection from the elements if it is covered or shaded. At *MENIFEE NORTH*, it is desired to have available to all persons some ability to move out of the building but not be out from under a protective covering. Whether it is a place to sit and read, or to set a potted plant, a porch will enhance the feeling of an "oasis".



11. BALCONIES

In second floor conditions, it may be desirable to allow someone to walk outside on a balcony, either to gain a view or to just relax in a secluded area. It is encouraged that the balcony be shaded, protected and in harmony with the entire building design. Details, such as handrails, windows, doors, planters and roofing should enhance and coordinate with the overall design.



12. LOGGIAS

The act of walking between two structures during harsh weather conditions can be enhanced dramatically by the use of a loggia. The covered walkway will reinforce the idea of "shelter" or "oasis", especially if used where a large number of people will congregate. A loggia can be used as a transition between privately owned structures (garage to house for example) or in buildings for public use such as commercial buildings, office buildings and industrial buildings.

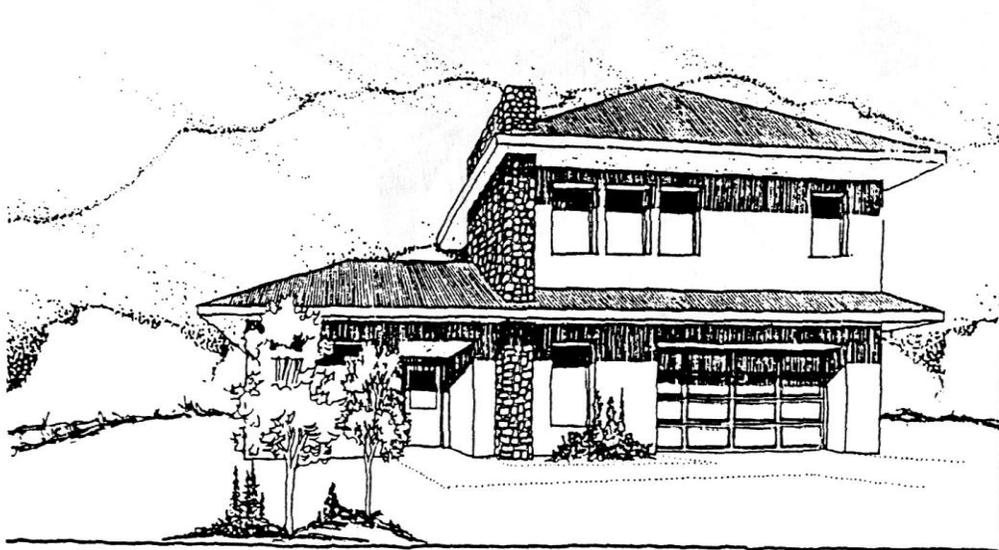


13. TOWERS

MENIFEE NORTH is attempting, even in the higher density parcels, to remain horizontal in overall impression. Towers, vertical billboards, tall signs and/or clock towers are not in keeping with that spirit, except when used in conjunction with landmarks in the community, such as the recreation centers, commercial centers, business parks and industrial parks.

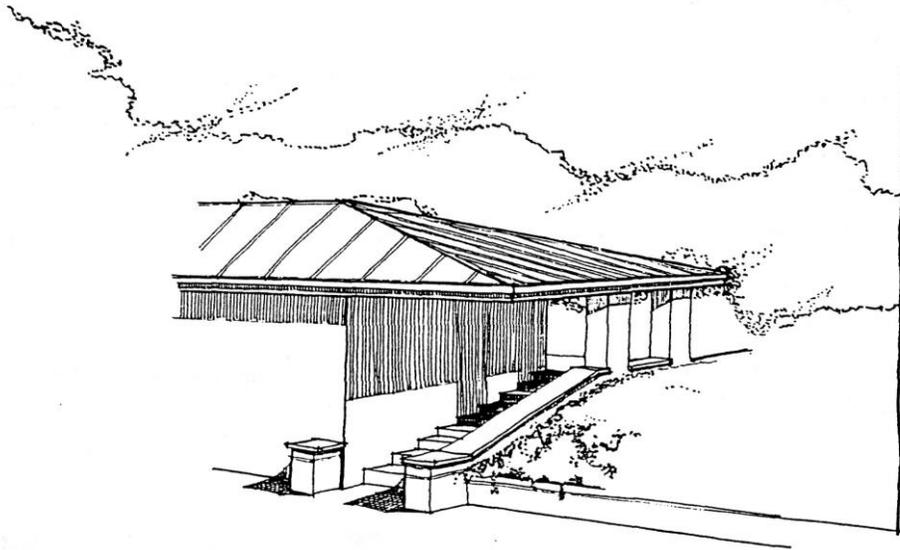
14. CHIMNEYS

The chimney, as the outward symbol of the hearth, should be the anchor for the house visually. To do so, it should appear massive. Indigenous materials are encouraged for use as veneers. Rock, adobe, brick or stone will emphasize the connection to the land, as well as supplying the necessary heft. Plastered boxes containing metal flues are a minimum requirement and they must have detailing applied to enhance them. (While not specifically encouraged, wood clad chimneys may be acceptable if they are coordinated with other architectural elements of the dwelling. They would be reviewed on a case by case basis.) Exposed metal flues or wood trimmed flues are not appropriate.



15. EXTERIOR STAIRS AND STEPS

Changes in elevation at *MENIFEE NORTH* should be handled as subtly as possible. Stairs and ramps should have changes in direction and frequent breaks in rise to soften the impression of overall rise. Steps cast on grade are encouraged to have kneewalls to allow the earth to berm against them. Where appropriate, and if possible, it is recommended that stairs have coverings/roofs to make them appear as part of the building as opposed to an attachment.



16. GUTTERS AND DOWNSPOUTS

It is encouraged that roofs, sloped or "flat", be guttered to collect rainwater at *MENIFEE NORTH*. Where gutters are not used, roof overhangs should be of adequate dimension to minimize dripping of rainwater on the exterior of the dwelling. Rainwater should not fall onto paved areas where people will be walking.

17. SKYLIGHTS AND CLERESTORIES

Skylights and clerestories are encouraged to be used at *MENIFEE NORTH*. They can provide additional light and ventilation for the occupants, as well as add visual interest to the exteriors. Clerestories are preferred over skylights because they can be designed to control heat gain more readily. Skylights, if used, should be as flat as possible in profile, with clear or gray glazing. If they occur on flat roof sections, it is encouraged they be screened from view from public streets.

18. FLASHING AND VENTS

The roof surfaces at *MENIFEE NORTH* are important to the overall design character and should be left as uncluttered as possible. All flashing and vent stacks must be colored to match the surrounding surfaces. Vents should be placed in the roofs where they will provide the least intrusion of the roofscape.

19. MAILBOXES

Installation of cast iron, cast aluminum, brick, or, slumpstone-encased curbside mailboxes are encouraged. Each mailbox installation shall conform to current United States Postal Service standards.

20. UTILITY METERS

At *MENIFEE NORTH*, gas and electric meters should be located so that they are hidden from direct view from the street. They may be placed in "rooms" behind exterior access doors or screening, or they may be hidden by location away from main sight lines.

21. MECHANICAL EQUIPMENT

All mechanical equipment, roof mounted or ground mounted, will be screened by architectural elements as part of the design at *MENIFEE NORTH*. Sound attenuation of mechanical noise also will be necessary, both from neighbors and from within the structure being served by the mechanical equipment. Solar panels of any type must be incorporated into the design of the building on which they are placed. Coloring, materials, and bulk must be coordinated with the overall theme of the *MENIFEE NORTH* community.

22. COMMERCIAL, BUSINESS PARK AND INDUSTRIAL CRITERIA

The non-residential buildings of *MENIFEE NORTH* are expected to blend with the overall community in regard to the design guidelines discussed thus far. However, because of their size and varied uses, they should appear distinct from the houses.

When considering massing, the buildings should be stepped, both horizontally and vertically, when possible. Trim lines, detailing and color accents should complement the horizontal nature of the project in general.

The use of loggias, balconies, stairways and other details outlined elsewhere in this document, are encouraged to provide variety in the building massing. Towers or other vertical elements can be used as a focal point.

Mechanical equipment must be screened, and the screening or building parapets used to do this must be an integral design with the main building mass. This screening will be required wherever the mechanical equipment could be seen from adjacent roads, highways, residential areas, and/or adjacent pedestrian areas. Flat roofs are acceptable, but pitched roofs for all or a portion of the buildings are also acceptable.

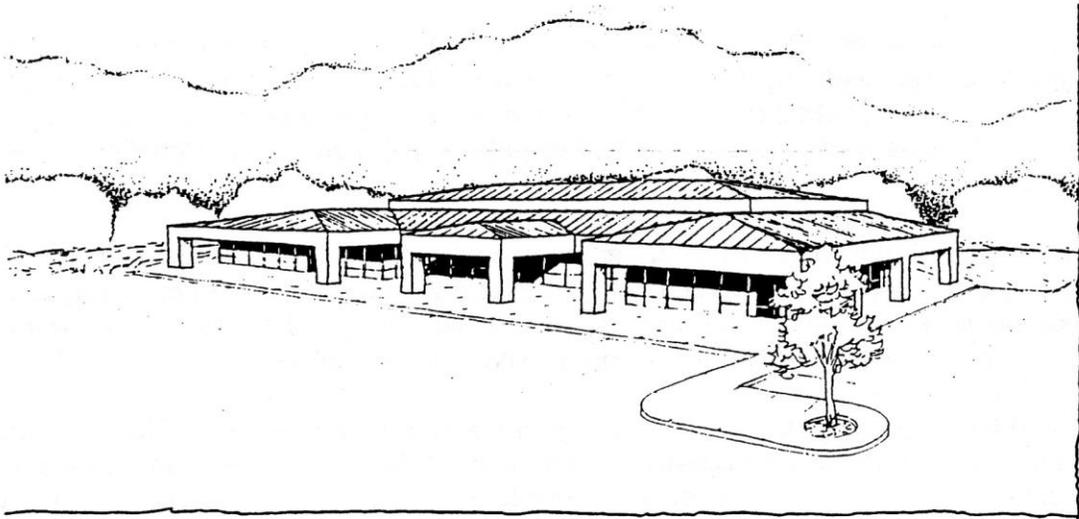
Signage and lighting must be consistently integrated with the building facade, and should be of uniform shape and materials. Retail commercial building exterior design should anticipate signage location, size and coloration so the eventual tenants can provide adequately sized as well as integrated signage. Multi-tenant projects should develop comprehensive sign programs.

There should be adequate separation between parking and the buildings to allow pedestrian flow to be comfortable. Sheltered/shaded pedestrian paths and entries are encouraged. Loading zones should avoid visual exposure to adjacent streets and residential zones. Walls and landscaping can be used to facilitate this screening.

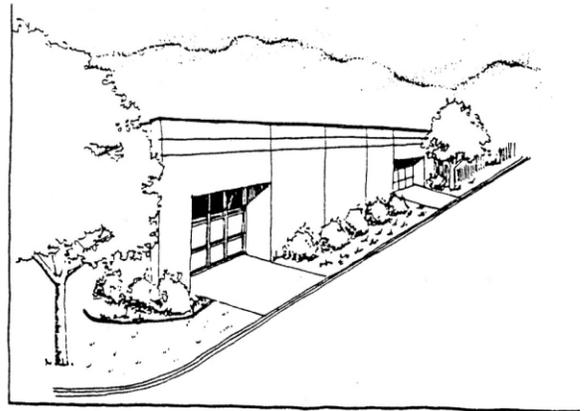
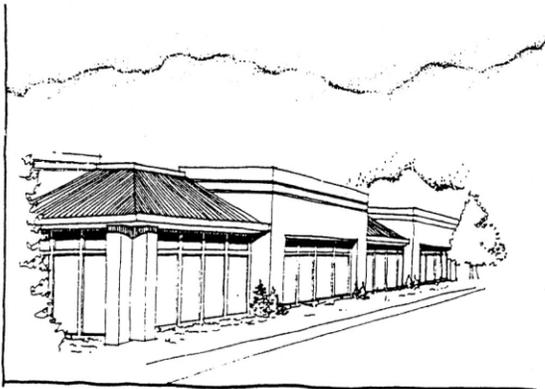
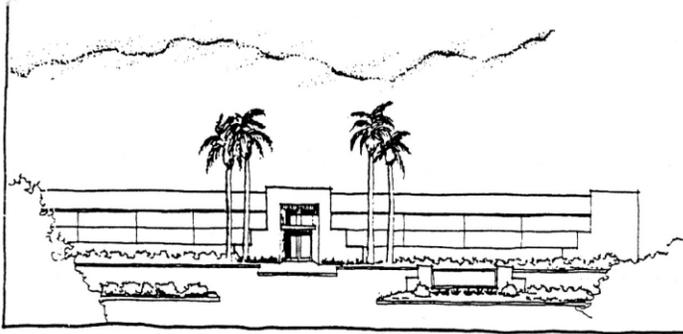
Parking areas should be landscaped, with shading a major consideration. See the landscape guidelines section of this Specific Plan for further requirements. Where it is possible, it is encouraged that service and delivery circulation be separated from the public parking areas.

Reflective glass skins or non-residential buildings should not be used where it will adversely impact the adjacent buildings, especially if the adjacent buildings are residential. In general, large amounts of reflective glass are not in keeping with the overall tone the community is attempting to maintain.

TYPICAL COMMERCIAL/BUSINESS PARK ELEVATIONS



TYPICAL COMMERCIAL/BUSINESS PARK ELEVATION



F. PLANNING AREAS 11 AND 12 (VERY HIGH DENSITY RESIDENTIAL) Architectural Design Objectives and Guidelines

The multi-family residential developments in Planning Areas 11 and 12 are designed to be neighborhood style communities that offer well designed living units with on-site amenities such as multi purpose rooms, pool and spa areas, open spaces and well defined parking areas offering a mix of covered and uncovered parking spaces.

This section contains Design Objectives and Guidelines that augment the building standards within the Planning Areas. The Objectives are not just the typical goals and minimum expectations for development, but a method to meet and balance the needs of both the City and the developer having an end result in promoting high quality design with flexibility on how to implement the design. However, flexibility shall not mean going to the lowest common denominator that dilutes quality and character.

The Design Objectives present the basis for compliance and the Design Guidelines provide options and examples of how to meet the Objectives. The Design Guideline images used to illustrate the Objectives should be reviewed in reference to the specific topic with which the image is associated and not with all of the guidelines in the document. The intent is for the user to focus on the portions of each photo highlighted with the caption and associated text. While an image may only illustrate a portion of the guideline with which it is associated, the intent of the entire guideline should be met. Although the Design Guidelines include some typical means for successful design, they are not intended to preclude alternative strategies that meet the overall intent and purpose related to a particular concept or feature. Applying the Design Guidelines will allow the design review process to emphasize not just meeting the minimum standards of zoning, but to create high quality places and spaces.

Objectives and Guidelines which include the word 'should' are intended to be applied as stated. Alternative measures may be considered if they meet or exceed the intent of the guideline. If the Objective or Guideline contains the words 'shall' or 'will', they are mandatory and must be included in the project's design. Objectives and Guidelines using the words 'encouraged' or 'discouraged' are desirable but not mandatory.

F1 – General Objectives, Colors and Materials

- F1a. The living units will be a blend of one, two and three story buildings offering a mix of bedroom/bathroom count and varying square footage. Units will have a private outdoor space such as a patio or deck.
- F1b. Strategic orientation and configuration of buildings and shading elements shall be used to passively heat and cool spaces. Careful placement of the shade structures will allow for the creation of shade within the open courtyards and not interfere with the open sky placement of the trees.
- F1c. Quality materials and imaginative design shall establish the theme of the architecture for each project. The character of the buildings shall be residential and not urban.
- F1d. Four-sided architecture shall be provided for all buildings. Designs shall demonstrate a consistent use of colors, materials, and detailing throughout all elevations of the building.
- F1e. Buildings can have a mix of sloping and flat roofs. Sloping roofs should be concrete or clay tile.
- F1f. Horizontal and vertical building offsets and articulations shall be used to create visual relief and promote the residential scale of the project.
- F1g. The residential buildings should be designed with a variety of elements which will help keep a pedestrian scale to the buildings. Building ends and corners should include elements that soften and lower the building, such as stairs and decks.
- F1h. Wall materials, base materials, and accent materials for both buildings and site elements will be a combination of: stucco, textured masonry, wood or composite siding, with accents of stone, tile, and metals.
- F1i. The use of bold plaster masses with articulated openings, accented entryways, and deeper overhangs is encouraged.
- F1j. As one of the unifying materials, plaster will be used on building walls and site walls. It can be both the dominant wall material and an accent material. While a variety of textures may be used on the project, they will not be mixed on a single layer of a building facade.
- F1k. Architectural detailing, plaster, siding, and deep colors shall be included at key places on the buildings and site features.
- F1l. Walls with masonry, stone or tile accents shall be proposed for some of the building finishes. Combinations of textures and colors will be used. Typical locations for these materials will be entries and bases of the buildings.
- F1m. Accent elements such as trellis and shade structures, eyebrows and awnings should be painted steel and other durable material for longevity and ease of maintenance.
- F1n. The colors shall be blended, and should offer subtle definition of neighborhood areas. Choose colors consistent with the chosen design theme. Avoid “trendy” colors which become quickly outdated. Low-key and earthy colors work best for primary colors; use of more vibrant colors should be limited to accents.
- F1o. Care should be taken to not utilize too many materials or colors on the same building
- F1p. Plaster walls and details should be integral color or painted with deeper tones to minimize the reflective glare and provide a more luxurious ambience

F2 – Main Project Entry

F2a. Site planning shall be designed to offer a strong entry statement, leading to clear and direct internal circulation.



F2b There should be strong project identification with thematic architectural elements, project signage and distinctive landscape.



F2c. A project map shall be integrated into the signage and directories adjacent to the vehicle entry point.



F2d. Visitors/prospective tenants shall have a clear destination upon entering the project.



Direct Visual Access to the Leasing Office

F2e. Entries shall be delineated with pavers or other decorative pavement.



F3 – Entry Security

F3a. Site security is important and needs to be an integral part of the site design.

F3b. Perimeter fencing shall be decorative and located to allow visitors to access the leasing office before passing through vehicle or pedestrian security gates.



Prominent Leasing Office Entry

F3c. Resident parking areas should be behind a gated vehicular access. Landlords are encouraged to provide access control that is easily modified for adding and removing entry credentials



Gated Vehicular Access

F3d. Some guest parking should be provided prior to passing thru secured gates.



F3e. Secondary resident only entries shall have the same security and aesthetic enhancements as the primary Gated Vehicular Access.



Secondary Entry

F3f. Main Entry design should include a courtesy turnaround prior to the secured gate.



F4 – Leasing Office and Clubhouses

F4a. Leasing offices and clubhouses shall be located so that they can be easily accessed by visitors as well as incorporated into the site plan as a view amenity.



The Leasing Office with direct visual access to the visitor.

F4b. The architectural design of the Leasing Office entry should be a prominent element on the facade.



F4c. The visitor should be able to access to The Leasing Office outside of the Security Fencing.



F4d. The common facilities should have a central location so that the management services are available easily to residents as well as outside visitors.



F4e. If the clubhouse and leasing offices are adjoining, the design should carefully separate the two uses to discourage non-residents from accessing the amenities.



F4e. The clubhouse design should be stylish, and functional providing gathering places for the residents and their guests.



Comfortable Gathering Places



Stylish Decor

F5 – Circulation and Parking

F5a. The multi-family residential developments in Planning Areas 11 and 12 shall provide well defined parking areas offering a mix of covered and uncovered parking spaces.

F5b. Site planning shall be designed to offer a strong entry statement, clear and direct internal circulation and grouping of units and parking in an effort to avoid large expanses of open parking



F5c. Parking lots shall be fully landscaped utilizing a combination of shrubs to screen cars and trees to shade the pavement and vehicles. Plant placement should not inhibit the opening of vehicle doors.



F5d. Coordinate location of lighting fixtures to allow for good illumination at night for safety of both vehicles and pedestrians. Light fixtures shall be decorative and placed clear of trees.



F5e. Decorative signage is encouraged for the labeling of visitor parking and any reserved spaces.



F5f. Trash enclosures should be designed as an integral part of garage buildings to avoid random detached structures within parking areas.

F5g. Defined pedestrian pathways should be planned into the parking lot design to allow for safe and easy passage from parking spaces to unit entry points.



F6 – Covered Parking – General

F6a. Garages may be a part of the residential building (tuck under parking), or in free standing locations within the parking areas.



F6b. Freestanding garage buildings shall be designed in the same architectural style and features as the residential buildings.



F6c. Covered parking spaces should be equitably distributed throughout the project. Both garages and carports should be available.



Flat roofs of carports must have solar panels installed. All other carports shall have sloping roofs in a material that matches the roof of the residences.

F7 – Residential Buildings – Garages & Carports

F7a. Garages designed as part of the residential building should be integrated into the overall design with the site planning providing for easy access and adequate turning spaces.



F7b. Horizontal offsets should be used to break down the height of the buildings.



F7c. Carports in front of a residential building should have a minimalist design as to not detract from the building beyond



F7d. Where space permits, planter areas incorporated adjacent to the garage doors to allow for vertical plantings or accent vine plantings are encouraged.



F7e. The design of some attached garages with direct access to the unit is encouraged.



F7f. Carport vertical supports shall be placed to not interfere with the opening of vehicle doors. Below is an example of the post in the wrong location.



F8 – Residential Buildings – Scale

F8a. The character of the buildings shall be residential and not urban.



F8b. Horizontal and vertical building offsets shall be used to create visual relief and promote the residential scale of the project. Site elements such as patio walls as well as building walls can help achieve this.



F8c. The residential buildings should be designed with a variety of elements which will help keep a pedestrian scale to the buildings.



F8d. Building ends and corners may include elements that soften and lower the building, such as stairs and decks.



F8e. The use of bold plaster masses with articulated openings, accented entryways, and deeper overhangs will all help control the perceived scale of the building.



F8f. Color changes are encouraged to help manage the scale of a building. Random locations of color changes shall be avoided.



F9 – Residential Buildings – Fenestration

Fenestration – the arrangement, proportioning, and design of windows and doors in a building.

F9a. Details on windows and doors such as trim or canopies should be included on visible facades. The detailing should be consistent per building, and thematic per project.



F9b. Fenestration shall be simple and organized. The use of numerous types and styles of openings which causes visual clutter, shall be avoided.



Too many types and styles of openings on a single wall.

F9c. Vertical circulation should be identified visually by vertically scaled openings.



F9d. Visual interest can be created by using strong horizontal or vertical openings



F9f. If arches are used, only a single style should be incorporated. If flat arches are the chosen style, widths should be consistent to avoid too many varying shapes.



F9g. The creation of shade on building facades can be achieved through combinations of recessed opening, deep overhangs, and applied accent features such as awning and eyebrows.



F10 – Residential Buildings – Greenbelts

F10a. The site plan design should include greenbelts throughout the project. These greenbelts buffer the pedestrians from vehicle traffic and noise and provide scenic links between project elements, such as courtyards and recreation areas.



F10b. The entry to the individual units should be oriented towards green belts whenever possible. This encourages the neighborhood style of living



F10c. Perimeter units should have an increased landscape buffer between the front door and the parking lot or vehicular way.



F10d. Courts can be landscape, hardscape or a combination. They should be linked together to create a pedestrian base circulation system through the project that is separated from the vehicles.



F11 – Clubhouse Amenities

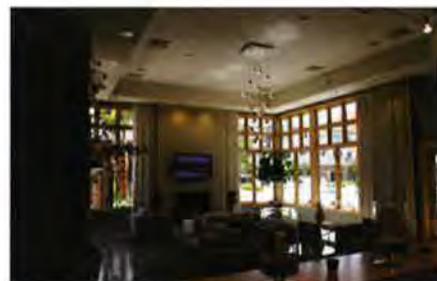
F11a. Amenities such as a clubhouse, firepit/fireplace, pool, spa, work-out facilities, half court basketball court, passive exercise courses, or other similar uses shall be provided as determined on a needs assessment. The needs assessment will use the following criteria:

- Size and shape of recreation areas
- Location and placement of buildings
- Diversity of amenities needed based upon anticipated resident demographic and economic mix
- Number of units, lot size and size mixture of units.

F11b. Clubhouses may include additional amenities such as clubhouse kitchen, private dining rooms, common living rooms, patio areas with fire pits, outdoor fireplaces, bar-b-que areas and tot lots.



Shaded Outdoor Living Room



Common Living Room



Firepits



Outdoor BBQ and Dining Area



Clubhouse Kitchen

F12 – Exercise Amenities

F12a. Amenities that encourage an active lifestyle, such as exercise rooms, sport courts, tot lots, and pools large enough for swimming laps are encouraged.



Sports Activity Areas



Tot Lot



Jr. Olympic sized pool



Lounge with Games

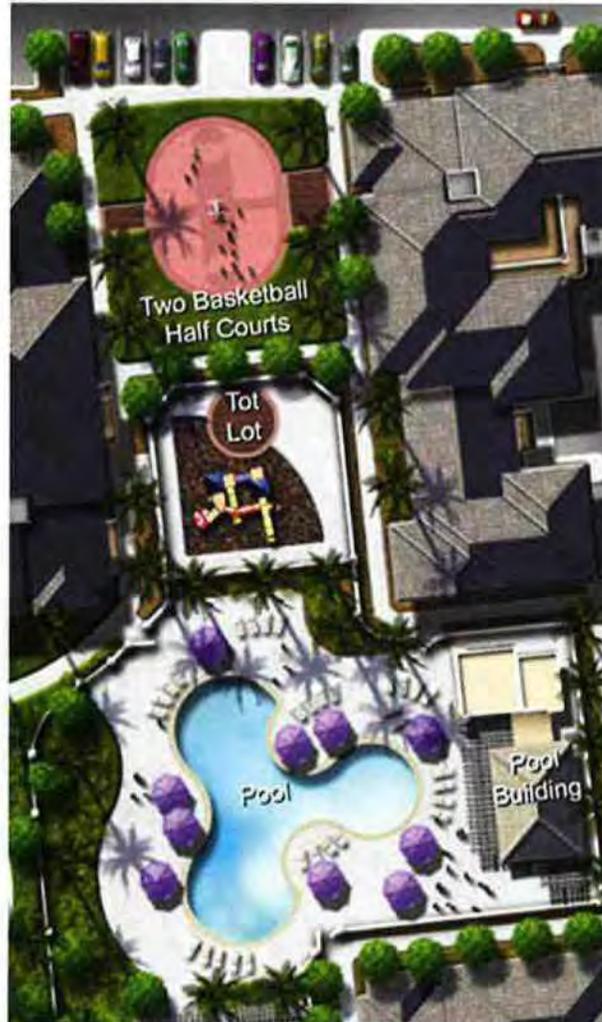


Game Room



Pool Seating

F12b. Based on the site plan, the Sports Activity Areas can be located together or distributed throughout the site.



F12c. Workout Equipment rooms should be of adequate size to provide a nice mix of equipment that encourages residents to utilize the facility.



F13 – Pools and Spas

F13a. Pools and spas are encouraged to be the main exterior amenity. Proper planning and design can make a resort like visual amenity instead of of just a pool area.



F13b. Pools and pool decks shall be of adequate size based upon the project density and total number of pools.



Numerous Smaller Pools

F13c. Pool decks shall provide shaded seating areas, areas for sunning and a variety of seating types.



Variety of Seating

F13d. It is encouraged to design pools that function for both exercise style swimming and water play.



F13e. Centrally located pools shall be designed as a visual focal point.



F13f. Bathrooms and outdoor showers should be provided at main pool facilities.



G. PLANNING AREAS 13 and 12 (COMMERCIAL)

Architectural Design Objectives and Guidelines

The retail commercial centers within Planning Areas 12 and 13 shall be designed to be flexible, able to accommodate tenants from a supermarket to small local tenants, restaurants, and service uses such as daycare and gas stations.

This section contains Design Objectives and Guidelines that augment the building standards within the Planning Areas. The Objectives are not just the typical goals and minimum expectations for development, but a method to meet and balance the needs of both the City and the developer having an end result in promoting high quality design with flexibility on how to implement the design. However, flexibility shall not mean going to the lowest common denominator that dilutes quality and character.

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G1 – General Objectives

- G1a. The buildings shall maintain a theme carried out by quality materials and imaginative design consistent with these Design Guidelines
- G1b. Building design shall be simple buildings with few or no sloping roofs. These guidelines offer solutions that include overhangs, colonnades and added eyebrow type overhangs to the visible facades while allowing for typical flat roofs on the buildings.
- G1c. Four-sided architecture shall be provided for all buildings. Designs shall demonstrate a consistent use of colors, materials, and detailing throughout all elevations of the building. The rear elevations of the main in-line shop buildings shall have the same finish materials as the rest of the building.
- G1d. Signage locations shall be integrated into the building design and the site elements offering visible signage for all tenants regardless of location. Signage design shall be creative and artistic, promoting the festive atmosphere of a retail center. A sign program is required.
- G1e. Site and building elements can have common detailing to articulate a path of travel and unify the design.
- G1f. Thematic elements per the Ethanac Corridor Planning Group may be incorporated in the landscape and hardscape elements.
- G1g. Main parking lots shall be located in front of the retail buildings so that the parking is visible to the visitor upon entry onto the site, and to minimize car and pedestrian noise on adjacent residential units.
- G1h. Pad buildings should be located close to the front property line, spaced from each other to provide view cones into the major tenants. This location allows entering vehicles to not have to make a turning maneuver until after passing the pad building, helping to alleviate traffic flow into and off of the site. This layout will provide proper stacking distance for exiting vehicles.
- G1i. Major retail buildings and inline tenant buildings shall be oriented towards the highway south of the site. Proper driveways, delivery areas and employee parking shall be provided at the rear of the buildings. Truck delivery areas shall be located to minimize maneuvering and the associated noise adjacent to the residential properties behind the retail center.
- G1j. Onsite vehicle circulation shall include major cross aisles (east-west) located just in front of the major retail buildings and the inline tenants. Any driveways from the highway shall have a direct connection to the cross aisle. Where possible, the cross aisle shall be curved enough to help maintain slow on site speeds, and not curved enough to hamper safe viewing of pedestrians or other maneuvering vehicles. Major intersections shall have enhanced paving and clearly marked cross walks for pedestrian circulation.
- G1k. On site traffic shall be controlled by stop signs at major intersections. The on site vehicle circulation signage shall be designed as a part of the Sign Program for the site. The design package shall include wayfinding signage, signage at all accessible parking spaces, vehicle control signage, and code required signage at each entry. The criteria shall describe the supporting posts, the sign, color and finish of the front sides and rear of the signs, and proper lighting where required.

G2 – Building Massing

G2a. The silhouette of the buildings should be varied, with interplay between flat and curved elements.



Curves create a Soft Silhouette

G2b. The use of bold plaster masses with deep punched openings, accented entryways, and sun control elements is encouraged to control the perceived mass of the buildings.



Deep Set Openings

G2c. Horizontal and vertical building offsets, and curved wall and roof elements to create articulated breaks, visual relief and promote pedestrian circulation shall be included in the design.



Vertical and Horizontal Planes

G2d. Variation in roof lines shall be used to add interest, and reduce the massive scale of the large commercial buildings. Parapet walls, green screens, and roof screens shall be treated as an integral part of the structural design.

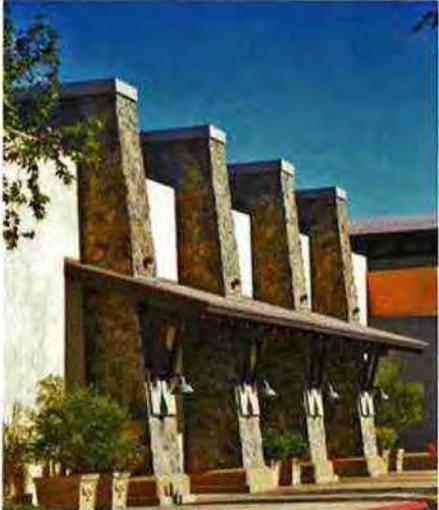


Green Wall Panels

G2e. Light and dark building elements can be combined to break down the overall mass of the building.



G2f. Sloping roofs are discouraged, and should be used as small accent roofs only. Sloping roofs shall be metal, such as standing seam roofs.

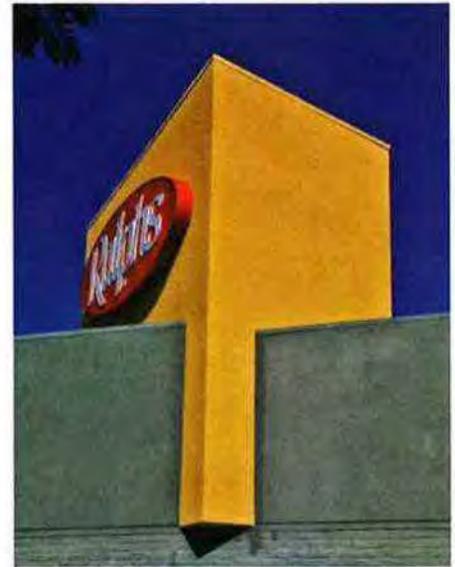


G3 – Vertical Elements

G3a. The base buildings should be simple buildings punctuated with vertical elements such as entry towers and sign pedestals.



Entry Towers



Interplay of Solid Forms

G3b. All roof mounted mechanical equipment shall be screened with building elements such as parapet walls, or within recessed roof wells.



Facade materials blended for walls and roof screens

G3c. Rhythmic elements that wrap back onto the structure give added depth to the facades.



G3d. All buildings should blend stepped vertical parapets and layered building elements to achieve interest through color changes and shadows.



G4 – Facade Colors

G4a. Subtle color changes on the staggered building faces increase the virtual depth of the elevations. While variation in color and texture is encouraged, care should be taken to not incorporate too many materials, colors or details on a single wall or building. Diversity should be achieved in scale with the base building.



G4b. The colors shall be blended, typically with deep tones.



Layering Enhanced by Color

G5 – Interlocking Building Elements

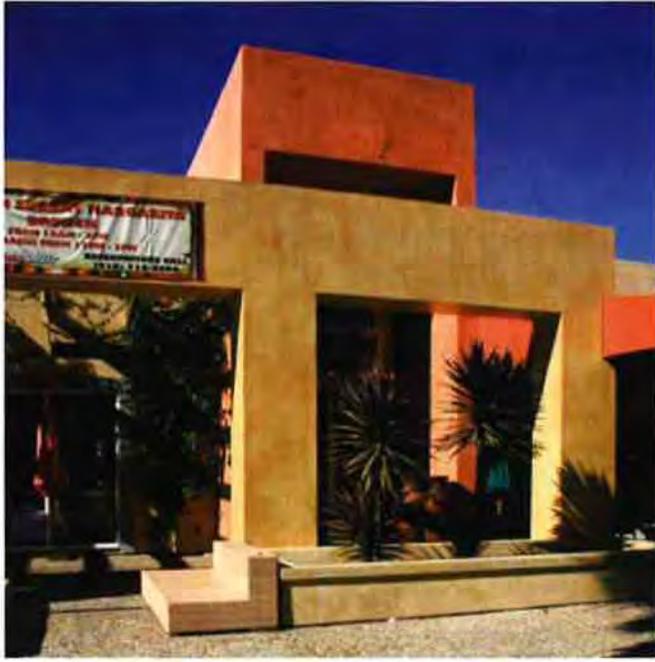
G5a. Large pieces of the building should be interlocked. Interlocking creates strong geometric forms adding to the depth and variety of the façade.



Center Accent



G5b. Articulation of the base, middle and top of the buildings will create visual interest and is encouraged.



G6 – Layering

G6a. Layering the building elements gives individuality to tenants and adds to the visual interest of the overall building. Soft curves in walls or roofs can add to the interest in the building mass. Layering as a way to create sign placement locations should be studied.

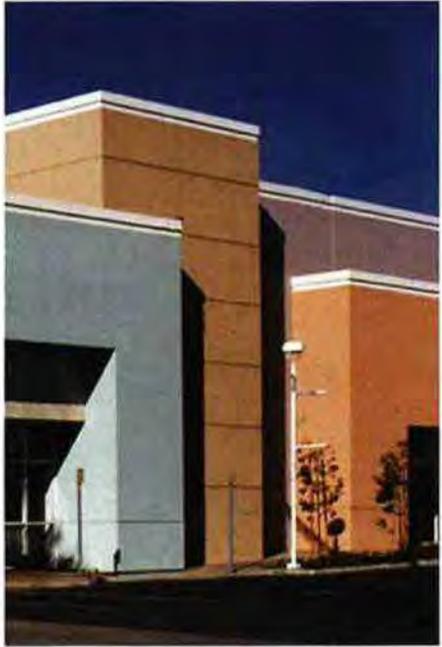


Curved Interlocking Forms

G6b. The use of sign panels, or transparent panels such as green wall, is encouraged to add depth while linking different elements together.



G6c. Variation in roof lines shall be used to add interest, and reduce the massive scale of large commercial buildings. Parapet walls and roof screens shall be treated as an integral part of the structural design.



G7 – Building Entries

G7a. The design solution shall provide a strong architectural element that allows easy visibility as well as an ample sign band for each tenant to have separate identity within the center.



Three Dimensional Stepping



Material Accents

G7b. Building entries shall be protected from the elements and articulated by the use of canopies, recesses or arcades.



Subtle Elegance



Glass Awning for Accent



Deep Recessed Entry

G8 – Entry Elements

G8a. The option of vertical glass entries should be considered, giving presence to the main entry. An intermediate metal canopy can provide weather cover for the doors and in some cases a colorful sign band.



Strong Graphics and Bold Colors



Understated with Elegant Materials



Signage/Entry Element
Combination

G8b. The entry to the buildings should be punctuated by the use of canopies and structured eyebrows. Entry canopies should be bold in design, readily identifying the entry way. They can be additive to the building or an integral part of the architecture.



Vertical Elements with Strong, Structured Horizontal Accent

G9 – Entry Overhangs

G9a. Overhangs at the entry create a pronounced opening for the entry as well as providing large shaded areas for the pedestrians. Weather and solar protection at the entry points should be included in the design.



Large Overhangs to Create Accent Shadows



Interlocking Color Panels



Overlapping Adjacent Elements
With Strong Horizontal Overhang



Three Dimensional Forms



Metal Accents

G10 – Pad Buildings

G10a. Pad buildings require four-sided architecture. Site planning should express the buildings entry. Style may reflect the tenants standard branding and imaging, however there should be a tie into the center architecture through materials and colors.



Corner tower for entry accent



Four sided design



Building details similar to in-line buildings



Corporate identity with tie to colors and materials used in the center. Instead of the corporate white and blue metal canopy, the stucco and soft colors of the center were utilized.



Architectural and Color Accents



Blend of Textures and Colors

G11 – Sun Control

G11a. Awnings, overhangs, colonnades, and recessed entries all serve to control the sun. This site will have buildings facing predominantly south, so mid-day to later afternoon sun control will be required. A consistent vocabulary of elements should be used, but varied to provide individual tenant identity.

G11b. Combinations of wood and metal should be used for trellis members and eyebrows. Fabric and metal are encouraged for awnings. For all, consistent maintenance is required to keep the center looking fresh.

G11c. Strategic orientation and configuration of buildings and shading elements shall be used to passively heat and cool spaces. Careful placement of a shade structure will allow for the creation of shade within the open courtyard and not interfere with the open sky placement of the trees. The site plan should address this energy saving aspect of the design.



Steel Eyebrow



Steel Trellis



Combination of Metal and Wood



Contemporary Metal Sunshade



Accent Shade Structures

G12 – Trellis Structures

G12a. Trellis overhangs should provide shade and shadow. The shade should be located to benefit the pedestrians while the shadow should be used to enhance and accent architectural features of the building.



Decorative Wood Trellis



Metal Shade Elements Supporting Lighting



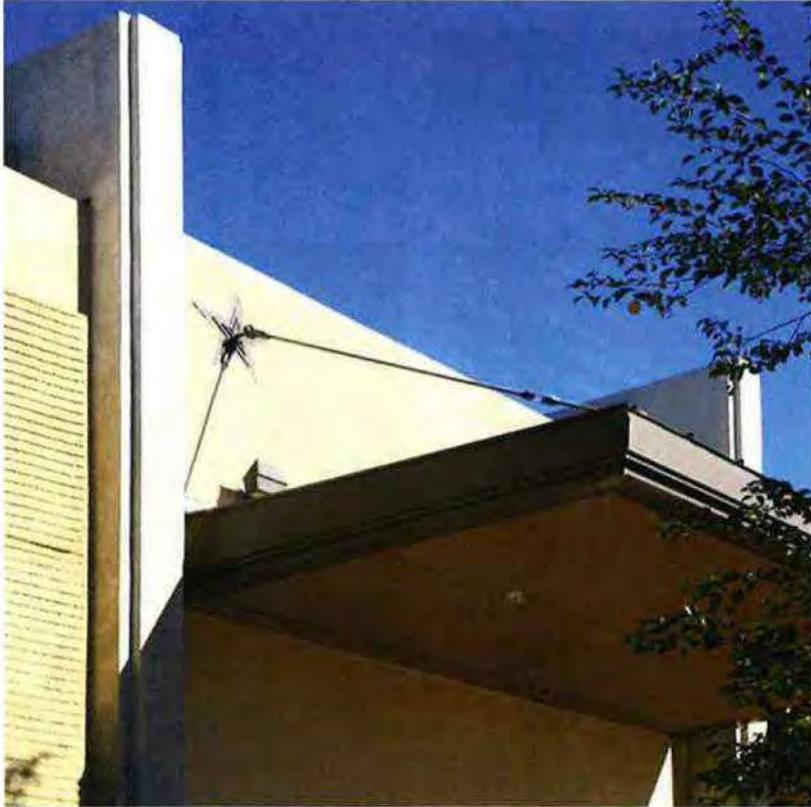
Shallow Trellis Members as an Accent on An Otherwise Blank Wall



Metal Trellis

G13 – Overhangs

G13a. Eyebrow overhangs can add a level of detail to the building as well as color. A limited vocabulary of styles and materials should be used throughout the center.



Deep Overhangs Create Accent Shading



Accent Shade Canopy



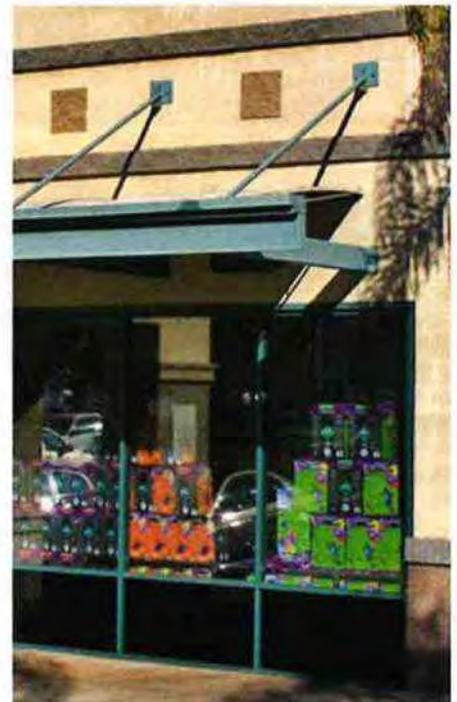
Architectural Overhang



Bold Mix of Vertical and Curves



Curved Forms



Metal Awning Brings Color

G14 – Dramatic Overhangs and Colonnades

G14a. At major tenants, deep, dramatic overhangs should be utilized to accent entries and shade large portions of the façade.



Monumental Columns and Overhang

G14b. Colonnades provide linear shade to the building as well as a covered walkway for pedestrians. Placement of colonnades for pedestrian links throughout the center should be included in the site plan.



Simple Colonnade



Linear Solid Overhangs



Visually Light Structure



Solid Overhangs



Bold Contemporary Forms

G15 – Sun Control Structures and Awnings

G15a. Independent structures within the parking lots or at building corners can offer way finding cues as well as vertical visual interest. Careful placement of these elements is encouraged to identify main nodes.

G15b. Traditional window awnings can be in fabric or metal. The shape, color and style should match the thematic style of the center.

G15c. The creation of shade along the walkways as well as along the building facades will be accomplished with combinations of:

- Recessed openings
- Awnings
- Trellis structures
- Free standing shade structures
- Deep overhangs
- Eyebrows
- Landscape



Accent Awnings



Inset Awnings with Signage



Corner Accent Shade Structure



Architectural Elements



Steel and Glass Shading



Curved Metal Arbor

G16 – Architectural Metals

G16a. Metal as an accent material should be one of the primary architectural materials. It offers durability and has numerous uses. Metal siding, typically galvanized finish, is a strong counterpoint to smooth plaster walls. Additionally metal detailing in sign bands, green screens and screening shades adds color and detail to the building.

G16b. Metal should be utilized not only as a siding material, but a detail material for eyebrows and awnings, and as the structural members for trellis and shade structures.

G16c. Accent elements such as shade structures will be painted steel and other metals.



Decorative sign band



Horizontal metal siding



Full height accent panels



Metal siding with accent screen panels



Vertical metal siding

G17 – Wall Surfaces

G17a. As one of the unifying materials, plaster (stucco) will be used on building walls and site walls. It can be both the dominant wall material and an accent material. While a variety of textures may be used on the project, they will not be mixed on a single layer of a building facade. Metal, brick and screening should be integrated into the design.

G17b. Plaster walls and details will be integral color or painted with deeper tones to minimize the reflective glare and provide a more luxurious ambience



Interlocking horizontal metal panels



Accent shade screens



Horizontal banding in plaster



Canted and curved wall with vertical metal siding



Greenscreen against a tilt up concrete wall



Brick and Metal Siding with screen accents

G18 – Building Colors

G18a. A variety of colors emphasizes the different building elements and their layers. The project should employ a thoughtful use of color, assisting in tenant branding, a festive atmosphere and visual interest.



Metal and glass accents



Subtle colors enhance the pop out surfaces



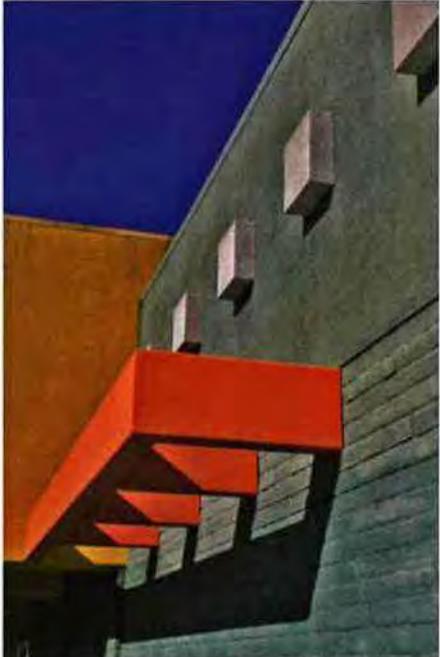
Each surface colorized to add depth



Continuity of the fascia color



Combination of plaster colors



Bold color accents

G19 – Wall Materials

G19a. Different wall materials should be selected, allowing for variance in textures and colors.

G19b. The materials proposed should offer a contrast from smooth to textured. Wall materials, base materials, and accent materials for both buildings and site elements should be a combination of: smooth and textured concrete, textured masonry, plaster, metal and composite siding, with accents of stone, tile, and metals.



Horizontal raked finish stucco



Painted tilt up concrete panels



Horizontal siding with stucco



Porcelain tile



Exposed integral color concrete



Precision block, fluted block and split faced block column

G20 – Base and Accent Materials

G20a. Natural materials and finishes for accent walls and base materials are encouraged.

G20b. Walls with masonry, natural stone and tile accents should be proposed for some of the building finishes. Combinations of textures and colors should be used. Typical locations for these materials will be entries to buildings, bases and walls of major building elements.

G20c. Architectural detailing utilizing plaster, metal siding, and strong colors shall be included at key places on the buildings and site features.



Stone accent wall



Cantera stone base



Brick walls with standing seam metal roof



Slate tile accent at base



Shot blasted precision concrete block

127G21 – Site Furniture

G21a. Outdoor seating areas shall be provided at various locations on the site. Typical locations would be adjacent to major tenants and at corners between two buildings. The spaces should be designed with safety in mind allowing open viewing and be lighted.

G21 b. Benches, planters and trash receptacles should be architectural grade and compatible with the colors and style of the architecture and hardscape. The same style furniture should be consistently used throughout the common areas of the site. Private areas such as dining patios may vary from the standard.



Benches, planters and trash receptacles should be architectural grade and compatible with the colors and style of the architecture and hardscape.



Color Bowl Accents



Hanging Plants



Decorative Pots



Coordinated Site Furnishings

G22 – Landscape

G22a. The landscape design shall be a bold design utilizing plant materials to define the spaces, connect the spaces, and enclose the edges. Required street tree patterns along Highway 74 will be continued and enhanced. Setbacks and edges will have a consistent design palette that includes trees, shrubs, contoured berms, and monumentation for both the entire project and the tenants. Landscape shall conform to the City Adopted Landscape Guidelines.

G22b. Within the Retail Center, the design will encourage pedestrian activity and include shade protection from both structures and landscape.



Integrated Hardscape Elements



Large, Lacy Shade Trees

G22c. Wayfinding will be aided by the use of accent plantings at entry points and thematic plantings along routes. Hardscape elements such as curbs, low walls, seat walls, planters and pilasters will compliment the softscape. These elements will incorporate the building materials, provide seating, and create a foreground for the buildings in some locations.

G22d. Landscaped and lighted passageways through the parking areas will connect to the streetside pad buildings. Pathways will be marked with bold rows of trees, visually linking the street and pad buildings with the main courts and plazas.

G22e. Wayfinding from plaza to plaza will also be enhanced with a landscape edge.

G22f. Edges will include thematic street plantings, shrubs, berms and low walls to screen parking areas, and accent plantings at the major points of access, both vehicle and pedestrian per details within the Specific Plan.

G22g. Transition from landscape to hardscape will be defined with curbs, low walls and pilasters. The landscape will have numerous vertical layers, offering variety in texture and color.



Accent Shadows on the Buildings



Combination of Bold Textures

G23 – Parking Lot Landscape

G23a. The linear promenades through the parking lots will have vertical elements to give prominence and easy visibility while offering a shaded pathway through the use of both structured shade devices and trees.

G23b. Vehicle circulation routes on site shall provide clear and direct paths of travel. Thematic landscape may be used to accent the main circulation aisles.

G23c. Major entries shall include enhanced landscaping at the sides and within any medians.

G23d. The planting within the parking lot will provide shade and offer a canopy that will soften the view over the cars without blocking the signs or views into the buildings.

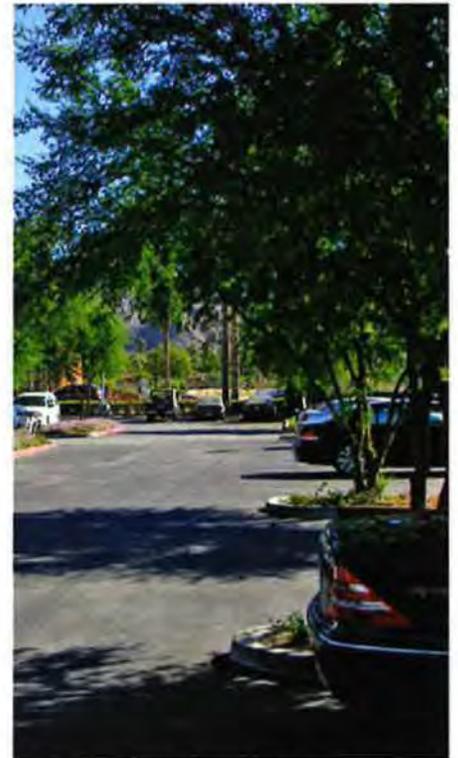
G23e. Landscape islands will have shrubs and groundcover that is appropriate for the environment, and will enhance the edges of the main driveways.



Trees Surrounding the Signage



End Island Accent Plantings



Shading the Cars and Pavement

G24 – Hardscape

G24a. Hardscape along the storefronts shall be a combination of quality paving, benches, architectural pottery and landscaping. ADA path of travel shall be maintained throughout the site.

G24b. The pedestrian spaces should be enhanced by well designed pavement. The colors, textures and materials of the hardscape will convey direction and quality. The palette may include pavers, colored concrete, natural stone and tile.

G24c. Provide convenient pedestrian circulation between buildings, remote building pads and parking areas.

G24d. Pedestrian circulation and wayfinding shall utilize a strong palette of hardscape and landscape elements and materials.

G24e. Paving details will reflect the use of curves to compliment the architecture. The subtle use of texture as well as the bold use of shape will offer paving variety.

G24f. Architectural pottery should be used to accent building entries, define spaces, separate seating areas, and add color through both the pot and the plantings.



Pavers Provide Texture and Color



Deeper Colors Reflect Less Light



Color, Texture and Pattern

G25 – Lighting

G25a. Lighting fixtures should be decorative, in a style compatible with the architecture. Where applicable, the same family of fixtures should be used for pole and post top locations as well as wall mounting.

G23b. The lighting guidelines listed below are consistent with the City of Menifee and the Mt. Palomar Ordinance. When incorporated into the development they will eliminate sources of light pollution and aesthetic disturbance within the City.

G25c. Exterior lighting will be located and fully shielded so as to direct light away from adjoining lots, buildings, and streets (public or private).

G25d. Any architectural, landscape, or accent lighting (lighting used for decorative effects) will be turned off from one hour after closing until sunrise in order to protect Palomar Observatory from light pollution. This requirement shall exclude outdoor lighting used for illuminating walkways, or other outdoor security lighting as permitted.

G25e. Architectural lighting will include wall mounted decorative fixtures, ground mounted fixtures and in conjunction with architectural details neon and LED lighting may be used. Glare free type opaque fixtures for general task lighting shall be provided. Path lighting shall be accomplished with concealed source post-top fixtures, bollard fixtures and surface mounted building fixtures.

G25f. Parking lot lighting shall be accomplished with pole lighting with a maximum height of 25' or lower depending on a photometric study. Fixtures shall be decorative in a style matching the buildings. Parking lot light fixture locations shall be coordinated with the tree planting plan to avoid conflicts.



Pedestrian Scaled Lighting



Wall Mounted Accent Lights



Pathway Poletops



Wall Mounted and Pole Top Version of Same Fixture for Continuity



Decorative Wall Sconce

G26 – Service Areas (Trash Enclosures / Loading Facilities)

G26a. All trash and recycle bins shall be in permanent enclosures as approved by the City. The architectural design of the enclosure, the gates, and the cover if required shall be consistent with the thematic style of the overall center.

G26b. The location of trash enclosures shall provide convenient access for each tenant and be located in discrete areas while still maintaining clear truck access. Loading and trash facilities shall be located and concealed from public view by a combination of walls and landscape.

G26c. Within pedestrian areas all trash receptacles selected shall be in conformity with existing color schemes, materials and site furniture styles.