



## **CITY OF MENIFEE**

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SUBJECT: Home2Suites Hotel

MEETING DATE: June 12, 2024

TO: Planning Commission

PREPARED BY: Russell Brown, Senior Planner

REVIEWED BY: Orlando Hernandez, Deputy Community Development Director

APPROVED BY: Cheryl Kitzerow, Community Development Director

APPLICANT: Joseph Holasek, NOAA Group

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### **RECOMMENDED ACTION**

1. Adopt a Resolution adopting a Negative Declaration and direct staff to file a Notice of Determination; and
2. Adopt a Resolution approving Plot Plan No. PLN23-0069 and Conditional Use Permit No. PLN23-0070 for Home2Suites located on Antelope Road, south of Newport Road and north of La Piedra Road.

### **PROJECT DESCRIPTION**

**Plot Plan (PP) No. PLN23-0069** proposes a 4-story, 65,463 square-foot hotel, consisting of 106 rooms behind (or to the south) of Living Spaces within the Menifee Town Center Shopping Center. The existing approximate 2-acre site has partial improvements consisting of an overflow parking lot and associated landscaping that serve the existing retail shopping center to the north. The Project proposes 106 parking spaces, 46 of which are located within the existing shopping center Project site via existing reciprocal parking. The Project site is part of the Menifee Village Specific Plan (SP No. 158).

**Conditional Use Permit (CUP) No. PLN23-0070** is a request to increase the maximum building height allowed by the specific plan from 35 feet (3-stories) to approximately 54'3" feet (4-stories). The maximum height limit may be increased per Section 18.34 of Ordinance No. 348 subject to the approval of a conditional use permit.

### **LOCATION**

The Project site is located east of Interstate 215, west of Antelope Road, south of Newport Road and north of La Piedra Road (APN: 364-010-015).

### ***Project Location***



## **GENERAL PLAN/ZONING**

### **General Plan**

The Project site is within SP No. 158. The Specific Plan provides land use and zoning for the property as well as design guidelines. The Specific Plan designates this property for commercial land uses, including hotels, restaurants and commercial offices. The Project is consistent with the Specific Plan and General Plan land use designations.

### **Zoning**

The Project site is zoned SP No. 158, Planning Area 2-7, which refers back to the Riverside County Ordinance No. 348 - Scenic Highway Commercial (C-P-S) zoning classification. The proposed use is allowed within the Specific Plan with the approval of a plot plan. The Project is consistent with the Specific Plan zoning requirements with the approval of a CUP for the increase in height. Outside the aforementioned CUP, the Project meets all applicable development standards such as, building setbacks, lot coverage, landscaping requirements, and design criteria established in the Specific Plan.

Surrounding properties are zoned SP No. 158, PA 2-7 (Commercial) to the north, SP No. 158, Planning Area 2-6 (Very High Residential Density, 14-20 du/ac) to the south and east, SP No.

158, PA 2-8 (Medium High Residential Density, 5-8 du/ac) to the northeast and I-215 to the west. The proposed land use is compatible with the surrounding land uses.

***General Plan/Zoning Map***

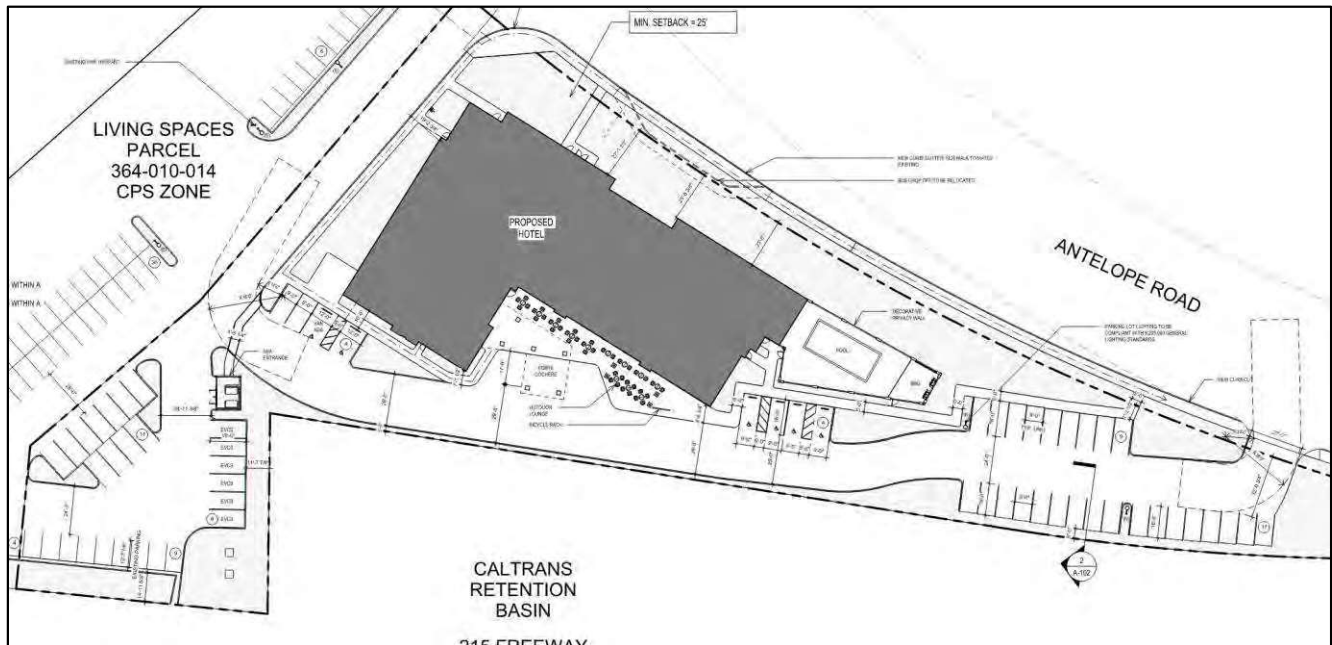


**DISCUSSION**

As discussed above, the Project includes a plot plan application for the proposal for a 4-story, 65,463 square-foot hotel, consisting of 106 rooms with an extended stay option located within the Menifee Town Center. The existing approximate 2-acre site has partial improvements consisting of a parking lot and associated landscaping that serve the existing retail shopping center to the north. Access to the Project site is via two driveways along Antelope Road; an existing shared driveway along the northern property line and a newly proposed driveway near the southern project boundary, which will be restricted to right-in/right-out only.

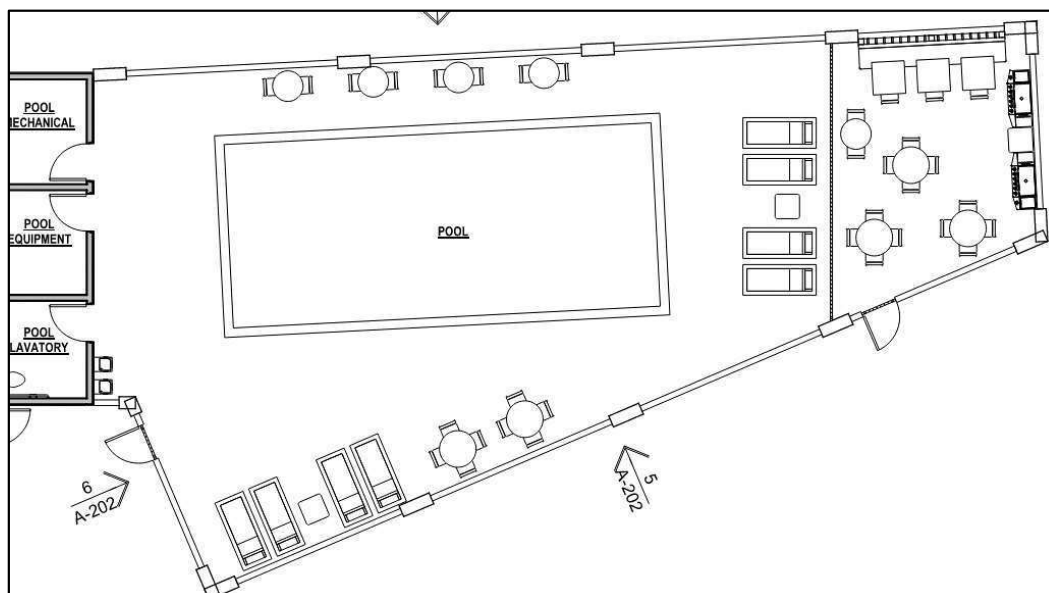
The Project requires 106 parking spaces, 60 of which are on-site and 46 of which are located adjacent within the existing shopping center. The applicant has provided the Operating and Easement Agreement (OED) for the existing commercial center which indicates that reciprocal parking and shared access is in place for all parcels within the shopping center. Furthermore, a parking analysis was completed by Rick Engineering (dated May 1, 2024), indicating that during peak times, adequate parking exists within the commercial center to support shared parking for the Project.

### Site Plan



### Floor Plan/Layout

As proposed, the first floor includes 16 hotel rooms and floors two through four include 30 hotel rooms per floor for a total of 106 rooms; each floor is approximately 16,000 square feet. The first floor includes a market, lobby, lounge area, and an approximate 1,200 square-foot conference room. The Project includes a private outdoor patio/BBQ and pool area of approximately 2,200 square feet, inclusive of a 550 square-foot pool.

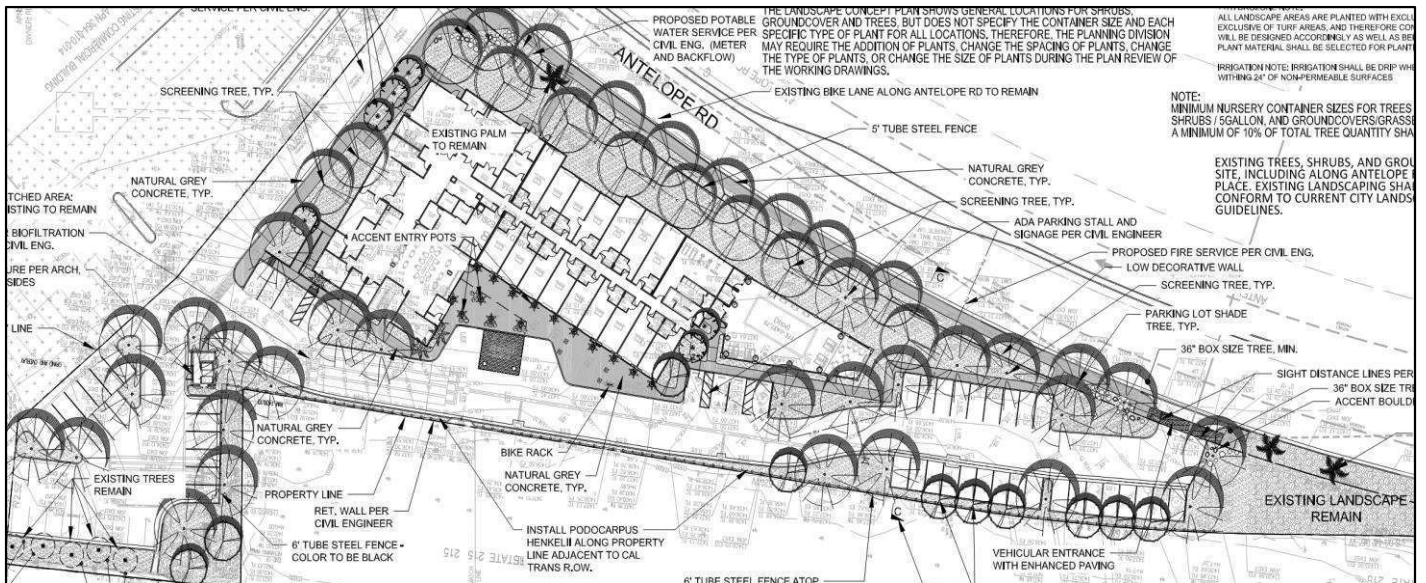




## Landscaping

The Project includes approximately 17,479 square feet of irrigated landscaped area or approximately 20 percent of the Project site. All parking lot areas will contain landscape screening in the form of trees and hedges. The parking lot will consist of planters and shade trees used to shade cars and pedestrian walkways, reduce glare, screen the building mass, and limit noise caused by vehicular traffic. A combination of vines and flowering shrubs will soften the visual appearance of the proposed masonry trash enclosure located near the western property line. Furthermore, a large Caltrans landscaped detention basin is to the southwest of the Project site and provides additional buffering between the freeway and the Project.

## ***Landscape Plan***



## Architecture

The Project was reviewed for compliance with the Specific Plan and City-wide Design Guidelines. The proposed Project is consistent with these guidelines and compatible with the architecture of the adjacent commercial sites. The proposed building is the latest franchise design model of (Hilton) “Home2Suites” and consists of modern architectural elements including, but not limited to, vertical metal siding, El Dorado simulated cladding stone, and a smooth exterior stucco finish. The roof lines are broken up to reduce the overall mass of the building and the four-sided tower elements provide additional depth and relief. All roof-top mechanical equipment is screened behind the parapet wall and will not be visible from the adjacent right-of-way.

**North Elevation**



**South Elevation**



**East Elevation**



**West Elevation**



## **CUP**

The development standards are regulated by the Specific Plan. The maximum height allowed per the Specific Plan is 35 feet, although, the maximum height limit may be increased per Section 18.34 of Ordinance No. 348 with the approval of a CUP (although, the maximum building height may not exceed 75 feet). The current proposal includes a maximum height of approximately 54'3" feet (to tallest appurtenance), which is consistent with the maximum height of other 4-story hotels recently approved by the City (Hampton – 52' and Fairfield – 55'). The Hampton Inn and Suites was approved north of the LA Fitness gym north of Newport Road along the west side of Antelope Road and is also located within SP No. 158 and thus required a CUP for the increase in height. The increased height has been mitigated by enhanced architecture and variations in the roof plane for visual relief.

## **ENVIRONMENTAL DETERMINATION**

The City of Menifee Community Development Department has determined the above Project will not have a significant effect on the environment and has recommended adoption of the Initial Study Negative Declaration (IS/ND). The 20-day public review period for the IS/ND occurred from May 15, 2024, to June 3, 2024.

The IS/ND, as well as all its technical appendices, can be accessed for review on the City website: <https://www.cityofmenifee.us/325/Environmental-Notices-Documents>.

## **FINDINGS**

Findings for the IS/ND, PP and CUP are included in the attached Resolutions.

## **PUBLIC NOTICE**

A public hearing notice for the proposed Project was published in *The Press Enterprise* on May 15, 2024 for the June 12, 2024 Planning Commission hearing. All relevant public agencies, including all interested parties, were notified of the public hearing as were all property owners within a 700-foot radius of the Project site. On-site posting was also provided.

## **ATTACHMENTS**

1. Project Exhibits
2. Resolution - ND
3. Exhibit A - ND
4. Resolution – PP and CUP
5. Exhibit A – PP and CUP Conditions of Approval
6. Public Hearing Notice



N.A.



# HOME2SUITES MENIFEE

ANTELOPE RD.  
MENIFEE, CA 92584



REVISIONS		
NO.	DATE	DESCRIPTION
1	08/15/2018	ISSUED FOR PERMIT

COVER  
SHEET

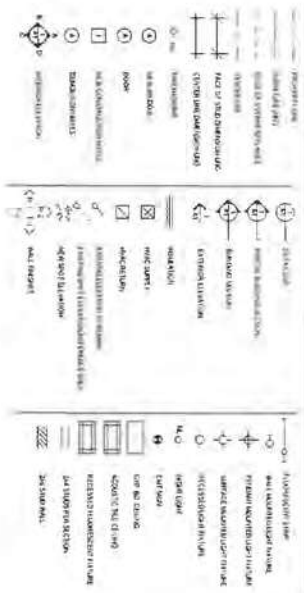


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6/3/2018 1:54:31 PM



### DRAWING SYMBOLS



### ABBREVIATIONS

2010	USA	Project A	Project A Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project A Outcome	Project A Impact	Project A Benefit	Project A Challenge	Project A Solution	Project A Lesson	Project A Note
2011	USA	Project B	Project B Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project B Outcome	Project B Impact	Project B Benefit	Project B Challenge	Project B Solution	Project B Lesson	Project B Note
2012	USA	Project C	Project C Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project C Outcome	Project C Impact	Project C Benefit	Project C Challenge	Project C Solution	Project C Lesson	Project C Note
2013	USA	Project D	Project D Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project D Outcome	Project D Impact	Project D Benefit	Project D Challenge	Project D Solution	Project D Lesson	Project D Note
2014	USA	Project E	Project E Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project E Outcome	Project E Impact	Project E Benefit	Project E Challenge	Project E Solution	Project E Lesson	Project E Note
2015	USA	Project F	Project F Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project F Outcome	Project F Impact	Project F Benefit	Project F Challenge	Project F Solution	Project F Lesson	Project F Note
2016	USA	Project G	Project G Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project G Outcome	Project G Impact	Project G Benefit	Project G Challenge	Project G Solution	Project G Lesson	Project G Note
2017	USA	Project H	Project H Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project H Outcome	Project H Impact	Project H Benefit	Project H Challenge	Project H Solution	Project H Lesson	Project H Note
2018	USA	Project I	Project I Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project I Outcome	Project I Impact	Project I Benefit	Project I Challenge	Project I Solution	Project I Lesson	Project I Note
2019	USA	Project J	Project J Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project J Outcome	Project J Impact	Project J Benefit	Project J Challenge	Project J Solution	Project J Lesson	Project J Note
2020	USA	Project K	Project K Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project K Outcome	Project K Impact	Project K Benefit	Project K Challenge	Project K Solution	Project K Lesson	Project K Note
2021	USA	Project L	Project L Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project L Outcome	Project L Impact	Project L Benefit	Project L Challenge	Project L Solution	Project L Lesson	Project L Note
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2026	USA	Project Q	Project Q Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project Q Outcome	Project Q Impact	Project Q Benefit	Project Q Challenge	Project Q Solution	Project Q Lesson	Project Q Note
2027	USA	Project R	Project R Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project R Outcome	Project R Impact	Project R Benefit	Project R Challenge	Project R Solution	Project R Lesson	Project R Note
2028	USA	Project S	Project S Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project S Outcome	Project S Impact	Project S Benefit	Project S Challenge	Project S Solution	Project S Lesson	Project S Note
2029	USA	Project T	Project T Description	In Progress	Infrastructure	Transportation	Highway Construction	Design	Project T Outcome	Project T Impact	Project T Benefit	Project T Challenge	Project T Solution	Project T Lesson	Project T Note
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2100	USA	Project MMMM	Project MMMM Description	Completed	Infrastructure	Transportation	Highway Construction	Design	Project MMMM Outcome	Project MMMM Impact	Project MMMM Benefit	Project MMMM Challenge	Project MMMM Solution	Project MMMM Lesson	Project MMMM Note

## CODE REFERENCES

Allyl is a small molecule, which has been used as a crosslinker for the synthesis of hydrogels [20,21]. In this study, allyl was used as a crosslinker for the synthesis of hydrogels. The hydrogels were synthesized by the reaction of allyl with the hydroxyl groups of the poly(ethylene glycol) (PEG) chains. The hydrogels were characterized by their high water content and their ability to swell in water. The hydrogels were used for the encapsulation and release of the drug. The results showed that the hydrogels were able to encapsulate the drug and release it in a controlled manner. The hydrogels were also able to swell in water, which allowed them to release the drug in a controlled manner. The hydrogels were used for the encapsulation and release of the drug. The results showed that the hydrogels were able to encapsulate the drug and release it in a controlled manner. The hydrogels were also able to swell in water, which allowed them to release the drug in a controlled manner.

## BUILDING INFORMATION

[illegible]

## DESIGN INFORMATION

[illegible]

## SHEET INDEX

Year	Number of cases	Number of deaths
1990	100	10
1991	110	11
1992	120	12
1993	130	13
1994	140	14
1995	150	15
1996	160	16
1997	170	17
1998	180	18
1999	190	19
2000	200	20
2001	210	21
2002	220	22
2003	230	23
2004	240	24
2005	250	25
2006	260	26
2007	270	27
2008	280	28
2009	290	29
2010	300	30
2011	310	31
2012	320	32
2013	330	33
2014	340	34
2015	350	35
2016	360	36
2017	370	37
2018	380	38
2019	390	39
2020	400	40

HOME2SUITES MENIFEE  
ANTELOPE RD.  
MENIFEE, CA 92584

ANTELOPE RD.  
MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024

## VICINITY MAP



## COVER SHEET

Revision Record	
Rev	Description
1	Initial Design
2	Design Change
3	Design Change

A-001

6/16/2024 1:54:21 PM

[illegible][illegible]

QUESTIONS	ANSWERS
1. What is the purpose of the audit?	To determine if the company is in compliance with the law and to identify any areas of non-compliance.
2. What are the steps in the audit process?	1. Planning 2. Fieldwork 3. Reporting 4. Follow-up
3. What are the different types of audits?	Financial, Tax, Compliance, Operational, Environmental, Information Systems, etc.
4. What are the responsibilities of the auditor?	To provide an independent opinion on the financial statements and to identify any areas of non-compliance.
5. What are the different types of audit evidence?	Physical, Documentary, Oral, Written, etc.
6. What are the different types of audit procedures?	Inspection, Inquiry, Observation, Confirmation, etc.
7. What are the different types of audit reports?	Unqualified, Qualified, Adverse, Disclaimer, etc.
8. What are the different types of audit engagements?	Compulsory, Voluntary, etc.
9. What are the different types of audit fees?	Fixed fee, Hourly rate, etc.
10. What are the different types of audit risks?	Sampling risk, Non-sampling risk, etc.
11. What are the different types of audit controls?	Internal control, External control, etc.
12. What are the different types of audit standards?	ISA, ICA, etc.
13. What are the different types of audit organizations?	Public accountants, Chartered accountants, etc.
14. What are the different types of audit regulations?	ISA, ICA, etc.
15. What are the different types of audit ethics?	Integrity, Objectivity, etc.

[illegible]

**FINAL DISCUSSION NOTES**

THE RESEARCHER IS EQUIPPED WITH SKILL IN SELECTING THE SUBJECTS TO BE EMPLOYED WITH VARIOUS RESEARCH ALGORITHMS IN CONDUCTING RESEARCH AND ANALYSIS OF THE DATA AND IN APPLYING RESEARCH ALGORITHMS TO THE DATA.

**CONCLUSION**

THE RESEARCHER IS EQUIPPED WITH SKILL IN SELECTING THE SUBJECTS TO BE EMPLOYED WITH VARIOUS RESEARCH ALGORITHMS IN CONDUCTING RESEARCH AND ANALYSIS OF THE DATA AND IN APPLYING RESEARCH ALGORITHMS TO THE DATA.

**REFERENCES**

1. [1] [2] [3] [4] [5] [6] [7] [8] [9] [10] [11] [12] [13] [14] [15] [16] [17] [18] [19] [20] [21] [22] [23] [24] [25] [26] [27] [28] [29] [30] [31] [32] [33] [34] [35] [36] [37] [38] [39] [40] [41] [42] [43] [44] [45] [46] [47] [48] [49] [50] [51] [52] [53] [54] [55] [56] [57] [58] [59] [60] [61] [62] [63] [64] [65] [66] [67] [68] [69] [70] [71] [72] [73] [74] [75] [76] [77] [78] [79] [80] [81] [82] [83] [84] [85] [86] [87] [88] [89] [90] [91] [92] [93] [94] [95] [96] [97] [98] [99] [100] [101] [102] [103] [104] [105] [106] [107] [108] [109] [110] [111] [112] [113] [114] [115] [116] [117] [118] [119] [120] [121] [122] [123] [124] [125] [126] [127] [128] [129] [130] [131] [132] [133] [134] [135] [136] [137] [138] [139] [140] [141] [142] [143] [144] [145] [146] [147] [148] [149] [150] [151] [152] [153] [154] [155] [156] [157] [158] [159] [160] [161] [162] [163] [164] [165] [166] [167] [168] [169] [170] [171] [172] [173] [174] [175] [176] [177] [178] [179] [180] [181] [182] [183] [184] [185] [186] [187] [188] [189] [190] [191] [192] [193] [194] [195] [196] [197] [198] [199] [200] [201] [202] [203] [204] [205] [206] [207] [208] [209] [210] [211] [212] [213] [214] [215] [216] [217] [218] [219] [220] [221] [222] [223] [224] [225] [226] [227] [228] [229] [230] [231] [232] [233] [234] [235] [236] [237] [238] [239] [240] [241] [242] [243] [244] [245] [246] [247] [248] [249] [250] [251] [252] [253] [254] [255] [256] [257] [258] [259] [260] [261] [262] [263] [264] [265] [266] [267] [268] [269] [270] [271] [272] [273] [274] [275] [276] [277] [278] [279] [280] [281] [282] [283] [284] [285] [286] [287] [288] [289] [290] [291] [292] [293] [294] [295] [296] [297] [298] [299] [300] [301] [302] [303] [304] [305] [306] [307] [308] [309] [310] [311] [312] [313] [314] [315] [316] [317] [318] [319] [320] [321] [322] [323] [324] [325] [326] [327] [328] [329] [330] [331] [332] [333] [334] [335] [336] [337] [338] [339] [340] [341] [342] [343] [344] [345] [346] [347] [348] [349] [350] [351] [352] [353] [354] [355] [356] [357] [358] [359] [360] [361] [362] [363] [364] [365] [366] [367] [368] [369] [370] [371] [372] [373] [374] [375] [376] [377] [378] [379] [380] [381] [382] [383] [384] [385] [386] [387] [388] [389] [390] [391] [392] [393] [394] [395] [396] [397] [398] [399] [400] [401] [402] [403] [404] [405] [406] [407] [408] [409] [410] [411] [412] [413] [414] [415] [416] [417] [418] [419] [420] [421] [422] [423] [424] [425] [426] [427] [428] [429] [430] [431] [432] [433] [434] [435] [436] [437] [438] [439] [440] [441] [442] [443] [444] [445] [446] [447] [448] [449] [450] [451] [452] [453] [454] [455] [456] [457] [458] [459] [460] [461] [462] [463] [464] [465] [466] [467] [468] [469] [470] [471] [472] [473] [474] [475] [476] [477] [478] [479] [480] [481] [482] [483] [484] [485] [486] [487] [488] [489] [490] [491] [492] [493] [494] [495] [496] [497] [498] [499] [500] [501] [502] [503] [504] [505] [506] [507] [508] [509] [510] [511] [512] [513] [514] [515] [516] [517] [518] [519] [520] [521] [522] [523] [524] [525] [526] [527] [528] [529] [530] [531] [532] [533] [534] [535] [536] [537] [538] [539] [540] [541] [542] [543] [544] [545] [546] [547] [548] [549] [550] [551] [552] [553] [554] [555] [556] [557] [558] [559] [560] [561] [562] [563] [564] [565] [566] [567] [568] [569] [570] [571] [572] [573] [574] [575] [576] [577] [578] [579] [580] [581] [582] [583] [584] [585] [586] [587] [588] [589] [590] [591] [592] [593] [594] [595] [596] [597] [598] [599] [600] [601] [602] [603] [604] [605] [606] [607] [608] [609] [610] [611] [612] [613] [614] [615] [616] [617] [618] [619] [620] [621] [622] [623] [624] [625] [626] [627] [628] [629] [630] [631] [632] [633] [634] [635] [636] [637] [638] [639] [640] [641] [642] [643] [644] [645] [646] [647] [648] [649] [650] [651] [652] [653] [654] [655] [656] [657] [658] [659] [660] [661] [662] [663] [664] [665] [666] [667] [668] [669] [670] [671] [672] [673] [674] [675] [676] [677] [678] [679] [680] [681] [682] [683] [684] [685] [686] [687] [688] [689] [690] [691] [692] [693] [694] [695] [696] [697] [698] [699] [700] [701] [702] [703] [704] [705] [706] [707] [708] [709] [710] [711] [712] [713] [714] [715] [716] [717] [718] [719] [720] [721] [722] [723] [724] [725] [726] [727] [728] [729] [730] [731] [732] [733] [734] [735] [736] [737] [738] [739] [740] [741] [742] [743] [744] [745] [746] [747] [748] [749] [750] [751] [752] [753] [754] [755] [756] [757] [758] [759] [760] [761] [762] [763] [764] [765] [766] [767] [768] [769] [770] [771] [772] [773] [774] [775] [776] [777] [778] [779] [780] [781] [782] [783] [784] [785] [786] [787] [788] [789] [790] [791] [792] [793] [794] [795] [796] [797] [798] [799] [800] [801] [802] [803] [804] [805] [806] [807] [808] [809]



**HOME2SUITES MENIFEE**  
ANTELOPE RD.  
MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024

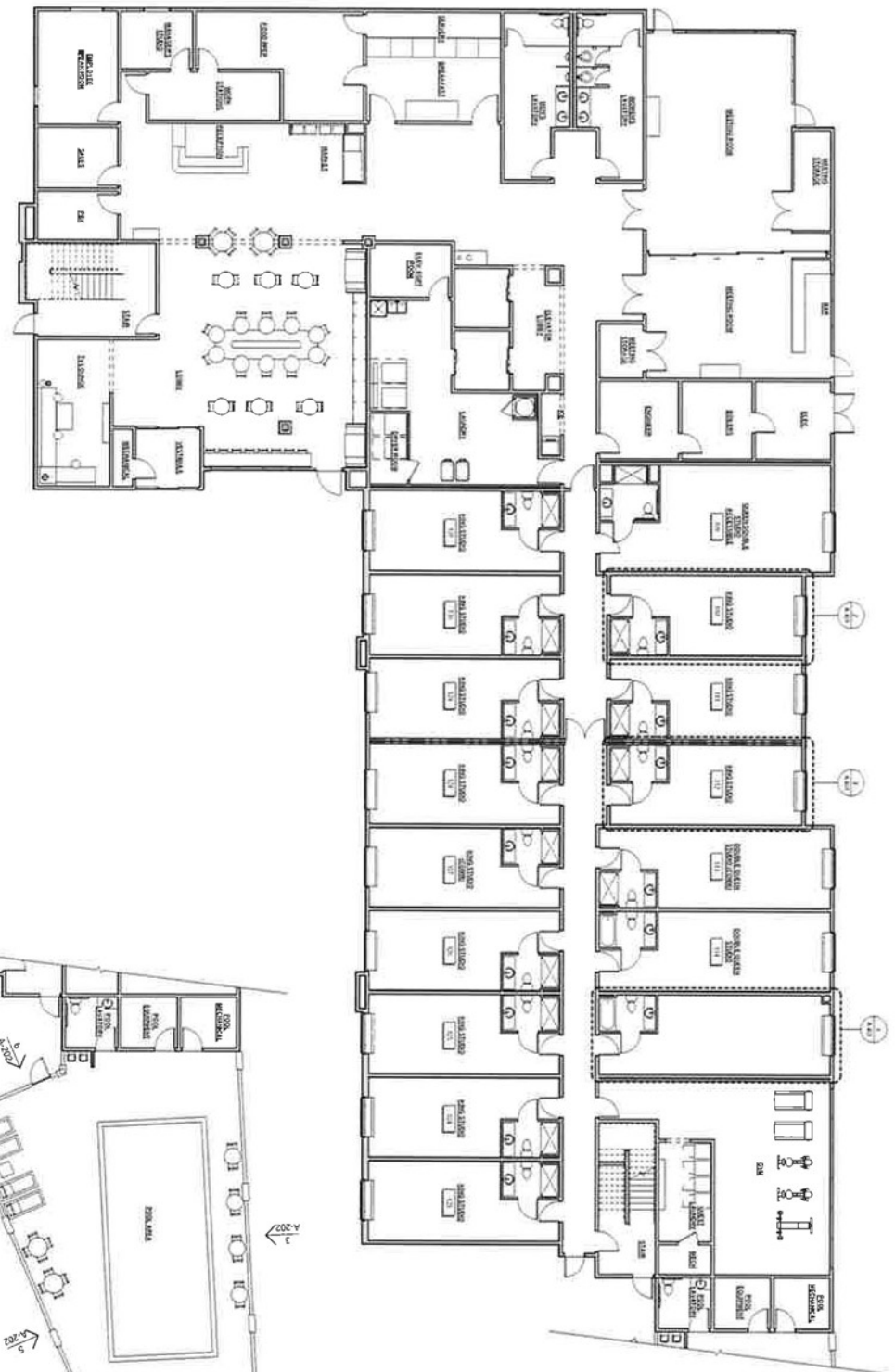
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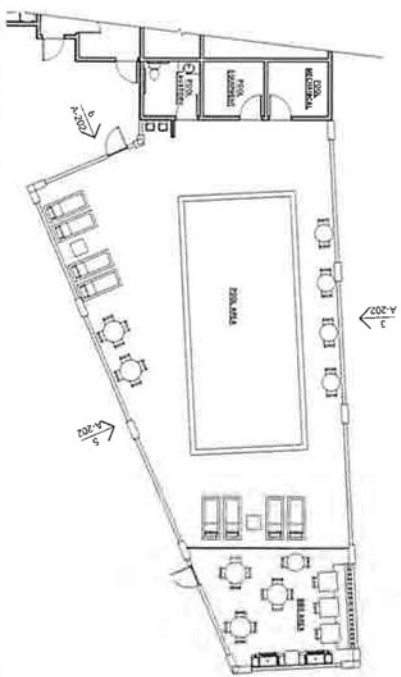
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1 FIRST FLOOR PLAN  
NOT TO SCALE 1/8" = 1'-0"



2 FIRST FLOOR POOL AREA  
NOT TO SCALE 1/8" = 1'-0"



A-111

FIRST FLOOR PLAN

NO.	DATE	DESCRIPTION	BY	CHECKED
1	01/11/2024	Project Meeting	John Doe	John Doe
2	01/11/2024	Design Review	John Doe	John Doe
3	01/11/2024	Construction	John Doe	John Doe

**HOME2SUITES MENIFEE**  
ANTELOPE RD.  
MENIFEE, CA 92584

N.A



**1 SECOND FLOOR PLAN**  
— 1/4" = 1'-0" —


$$\frac{2}{V_{A-201}}$$

ANTELOPE RD.  
MENIFEE, CA 92584

NUTRITION FACTS	
per 1/2 cup (125g)	% Daily Value*
Total Fat 15g	30%
Sodium 10g	20%
Total Crap 10g	20%

FirstName	ProjectMembers
LastName	Issue Data
Role	Design
Comment	Changes
Website	
Street Name	

**SECOND  
FLOOR  
PLAN**

4/3/2024 1:54:40 PM



N.A



# HOME2SUITES MENIFEE

ANTELOPE RD.  
MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024

HOME2SUITES		DATE	BY
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105	105	11/11/2023	105/105
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107	107	11/11/2023	107/107
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198	198	11/11/2023	198/198
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## THIRD FLOOR PLAN

Scale: 1/8" = 1'-0"

A-131

03/28/21 14:42 PM

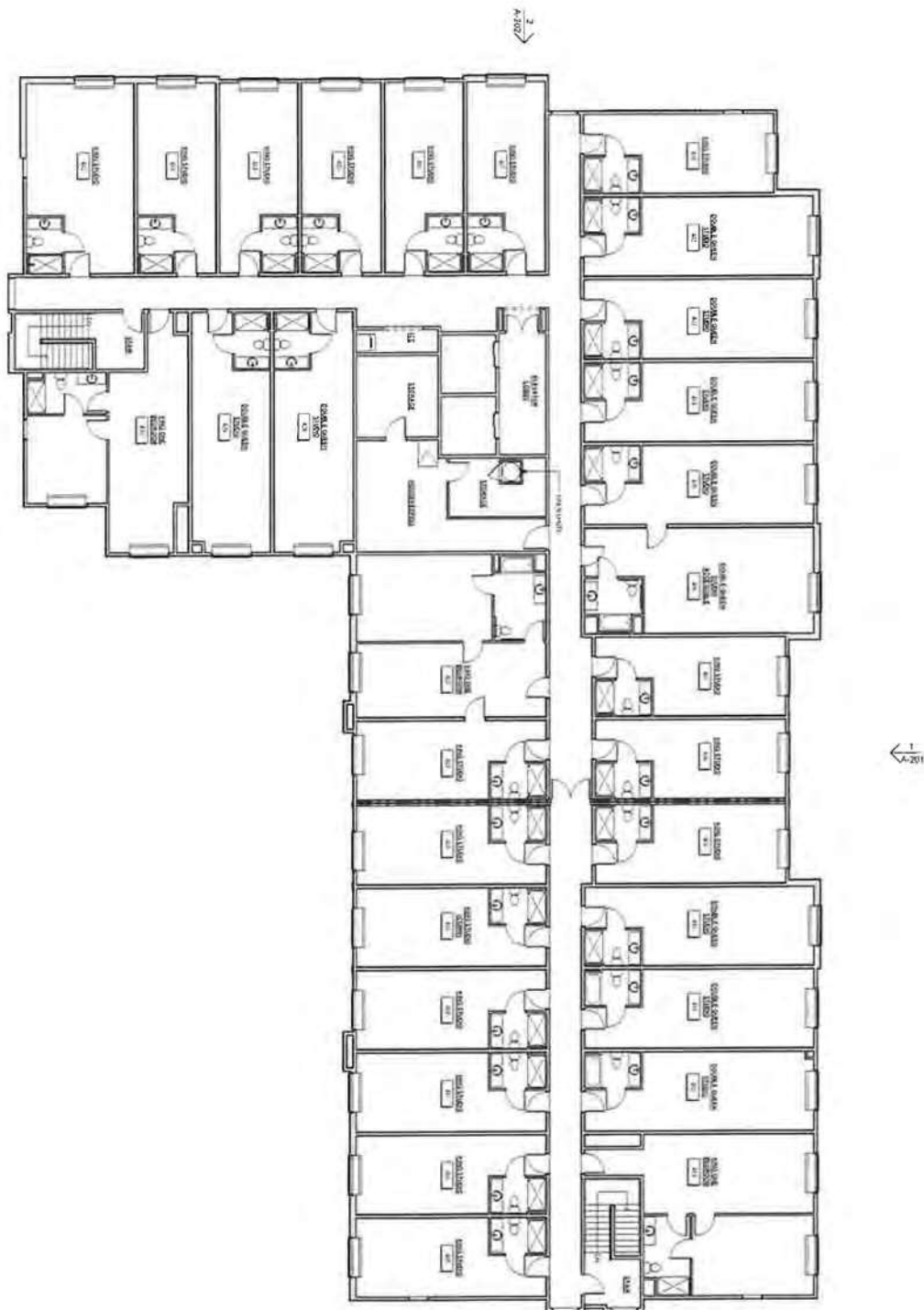


A-201

A-202

A-203

1 THIRD FLOOR PLAN  
Scale: 1/8" = 1'-0"



**FOURTH  
FLOOR  
PLAN**

A-141

HOME2SUITES MENIFEE  
ANTELOPE RD.  
MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024



NA



ANTELOPE RD.  
MENIFEE, CA 92584

HOMESUITES MENIFEE

A  
Z

REVISION SCHEDULE		
REV.	DATE	DESCRIPTION
1	10/1/00	10/1/00

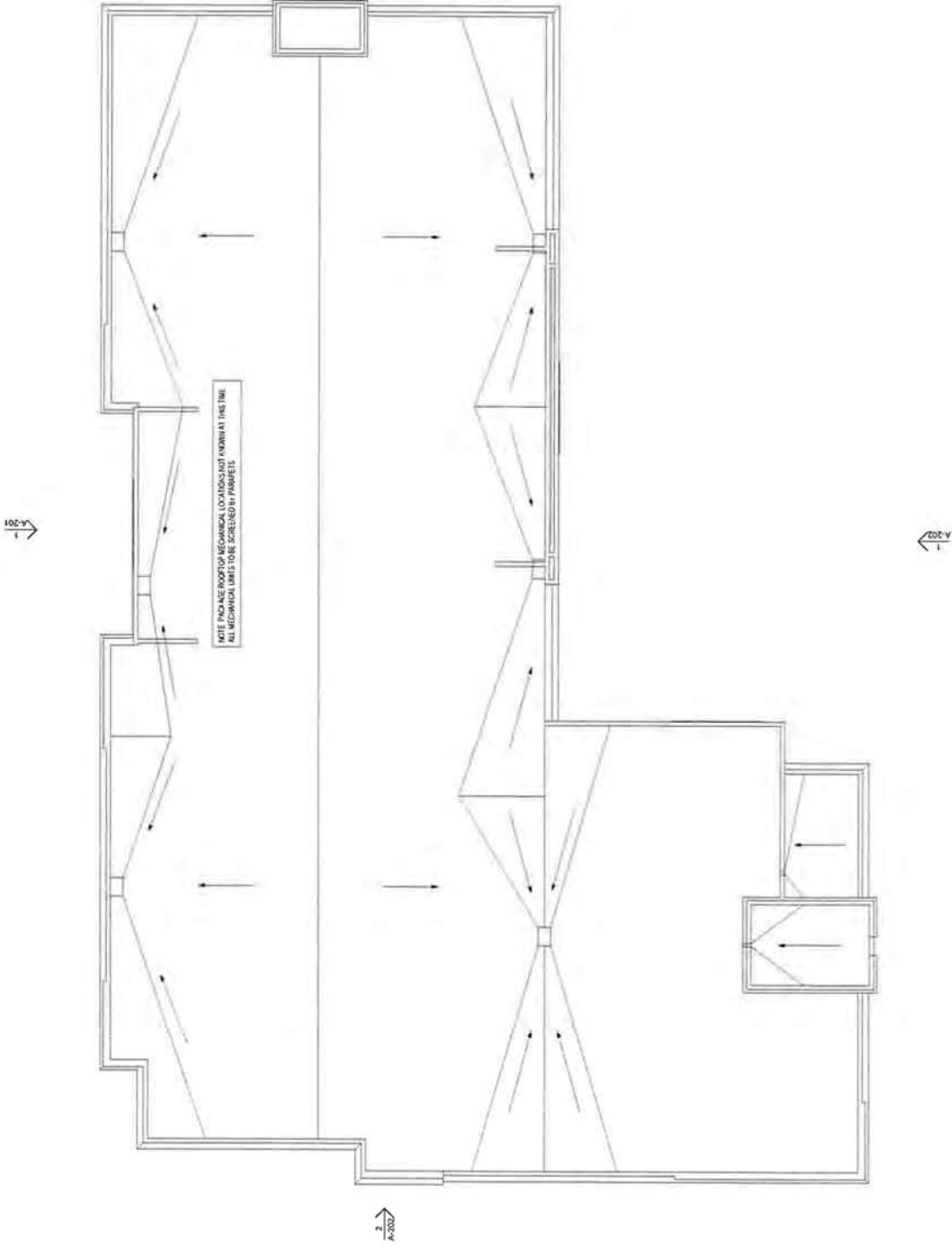
Project No.	Project Number
Project Start Date	Issue Date
Drawn	Designer
Checked	Checker
Revised	Revision

**ROOF  
PLAN**

Scale  $1/8" = 1'-0"$   
Sheet No.

**A-151**

6/3/2024 1:54:45 PM



**1** ROOF PLAN  
Map a 50 ft Scale 1/8" = 1'-0"

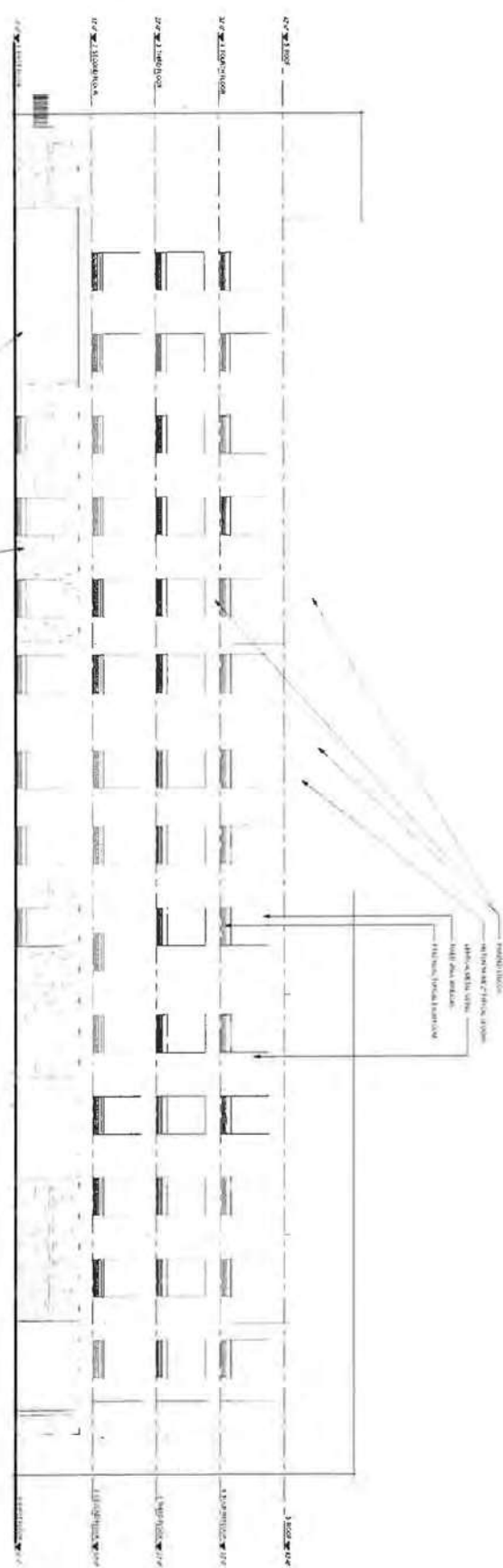
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# HOME2SUITES MENIFEE

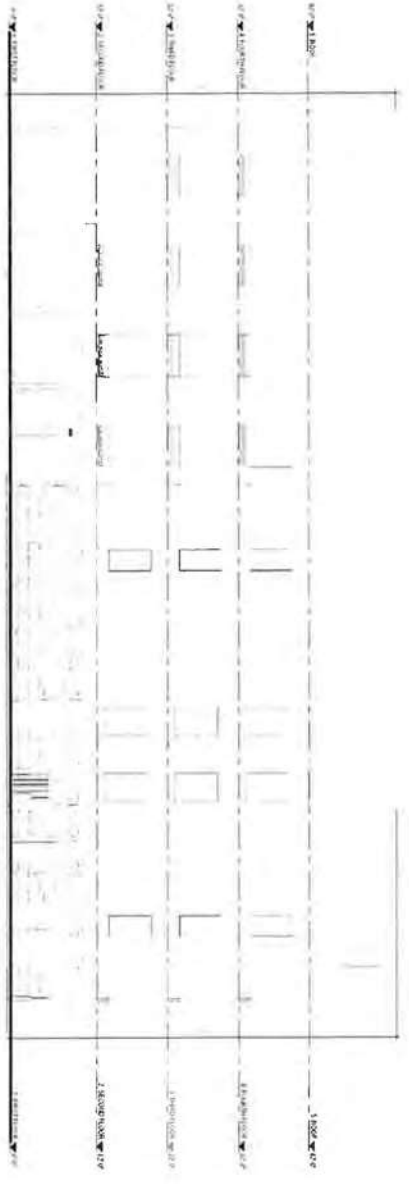
ANTELOPE RD,  
MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024



1 NORTH  
Horizontal Scale 1/8" = 1'-0"

NOTE: SIGNAGE UNDER SEPARATE PERMIT



2 EAST  
Horizontal Scale 1/8" = 1'-0"

Scale: 1/8" = 1'-0"

Sheet No: A-201

6/20/24 1:54:50 PM

Home2Suites	
Project Name	Home2Suites Menifee
Client Name	Home2Suites
Architect	Home2Suites
Engineer	Home2Suites
Designer	Home2Suites
Checker	Home2Suites
Revisor	Home2Suites
Project Location	Menifee, CA

N.A

01000



HOME2SUITES MENIFEE

ANTELOPE RD  
MENIFEE, CA 92584

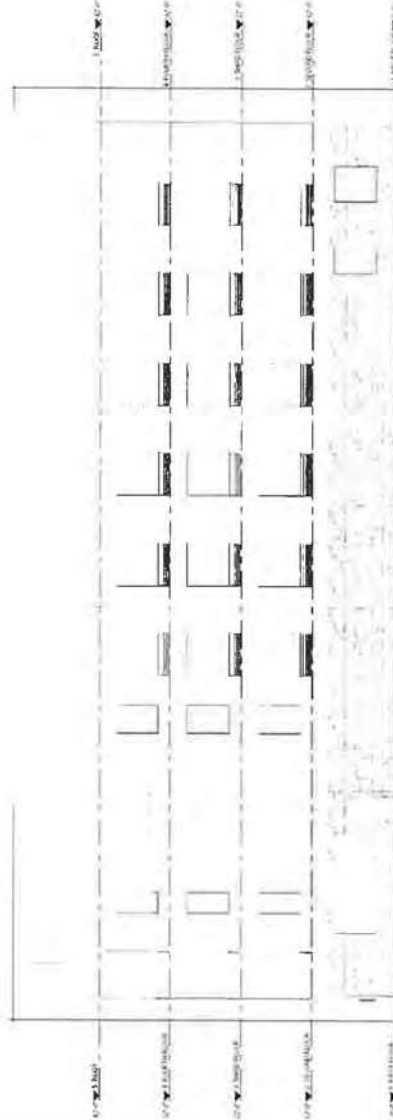
PC EXHIBITS - June 12, 2024

NOTE: SIGNAGE UNDER SEPARATE PERMIT



1 SOUTH

Pool & Hot Tub: 10' x 10' x 4'



2 WEST

Pool & Hot Tub: 10' x 10' x 4'



3 POOL - NORTH

Pool & Hot Tub: 10' x 10' x 4'



4 POOL - EAST

Pool & Hot Tub: 10' x 10' x 4'



5 POOL - SOUTH

Pool & Hot Tub: 10' x 10' x 4'



6 POOL - WEST

Pool & Hot Tub: 10' x 10' x 4'

REVISIONS		DATE	BY	DESCRIPTION
1	01/15/2024	JAS	01/15/2024	01/15/2024

Project Name: HOME2SUITES MENIFEE  
Project Location: ANTELOPE RD, MENIFEE, CA 92584  
Client: HOME2SUITES  
Architect: J. A. Smith  
Engineer: J. A. Smith  
Contractor: J. A. Smith  
Date: 01/15/2024

## EXTERIOR ELEVATIONS

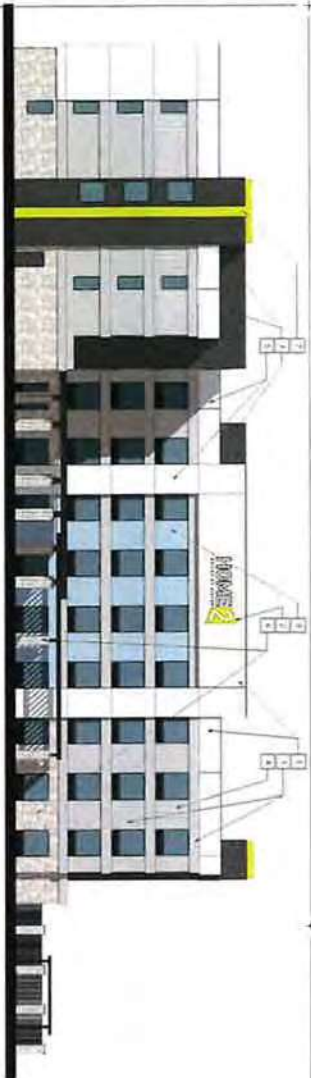
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A-202

6/12/2024 1:54:58 PM





1 SOUTH EXTERIOR ELEVATION - RENDERED  
Scale: 1/8" = 1'-0"



2 NORTH EXTERIOR ELEVATION - RENDERED  
Scale: 1/8" = 1'-0"



3 WEST EXTERIOR ELEVATION - RENDERED  
Scale: 1/8" = 1'-0"



4 EAST EXTERIOR ELEVATION - RENDERED  
Scale: 1/8" = 1'-0"

**MATERIAL KEYNOTES**

- 1 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 2 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 3 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 4 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 5 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 6 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 7 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER
- 8 STUCCO COLOR: SANDSTONE, 20% MODIFIED SILICA FILLER



5 TRASH ENCLOSURE - EAST  
Scale: 1/8" = 1'-0"



6 TRASH ENCLOSURE - NORTH  
Scale: 1/8" = 1'-0"



7 TRASH ENCLOSURE - SOUTH  
Scale: 1/8" = 1'-0"

8 TRASH ENCLOSURE - WEST  
Scale: 1/8" = 1'-0"

**HOME2SUITES MENIFEE**  
ANTELOPE RD.  
MENIFEE, CA 92584

PG. EXHIBITS - June 12, 2024

**RENDERED ELEVATIONS**

NO.	DATE	DESCRIPTION
1	06/12/24	RENDERED ELEVATIONS

Prepared by: Project Manager  
Checked by: Design Manager  
Reviewed by: Architect  
Scale: As indicated  
Date: 06/12/24 1:55:00 PM

**A-701**

Scale: As indicated  
Date: 06/12/24 1:55:00 PM



# HOME2SUITES MENIFEE

ANTELOPE RD  
MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024

PROJECT INFORMATION	
Project Name	Home2 Suites
Project Location	Antelope Rd, Menifee, CA
Project Start Date	2024
Project End Date	2025
Project Manager	Julia Harris
Architect	Julia Harris
Engineer	Julia Harris
Interior Designer	Julia Harris
Landscaper	Julia Harris
General Contractor	Julia Harris

## RENDERED PERSPECTIVES

Scale: 1" = 40' 0"

Sheet No: A-702

6/12/2024 1:55:04 PM



1 SOUTH ELEVATION - PERSPECTIVE  
Scale: 1" = 40' 0"



2 NORTH ELEVATION - PERSPECTIVE  
Scale: 1" = 40' 0"



3 EAST ELEVATION - PERSPECTIVE  
Scale: 1" = 40' 0"



4 WEST ELEVATION - PERSPECTIVE  
Scale: 1" = 40' 0"



## Outdoor Lounge



### 1 Protection from the Elements

The pergola provides a sturdy, weather-resistant structure that shields the lounge area from sun, rain, and wind, ensuring a comfortable outdoor experience year-round.

### 2 Lighting

Warm, ambient lighting is integrated into the pergola's structure, creating a cozy and inviting atmosphere for evening relaxation.

### 3 Varied Seating Options

The lounge features a mix of seating options, including plush cushioned sofas, armchairs, and a built-in bench, catering to different preferences for outdoor comfort.

### 4 Patio Surface

The lounge is situated on a durable, low-maintenance patio surface, providing a clean and stable foundation for the outdoor furniture.

### 5 Plants & Landscaping

Strategically placed potted plants and landscaping elements enhance the aesthetic appeal of the outdoor lounge, adding a touch of nature and privacy.

## Grilling Patio



### 1 Masonry Wall

A solid masonry wall serves as a backdrop for the grill, providing a clean, modern look and containing any splatters or smoke.

### 2 Lighting

Under-cabinet lighting is installed beneath the grill area, creating a warm glow and highlighting the workspace.

### 3 Varied Seating Options

The grilling patio includes a variety of seating options, such as bar stools, high-top chairs, and a small table, perfect for social gatherings.

### 4 Portable Gas Grills

A high-quality, portable gas grill is the centerpiece of the patio, offering convenience and easy maintenance for outdoor cooking.

### 5 Protection from the Elements

The entire grilling area is covered by a sturdy pergola, providing shade and protection from the elements while maintaining an open feel.

## Solane Pool



### 1 Varied Seating

The pool area is furnished with a mix of lounge chairs and a small table, providing a comfortable spot for sunbathing and relaxation.

### 2 Ceiling Graphic

A decorative graphic is painted on the ceiling of the pool area, adding a unique artistic touch to the outdoor space.

### 3 Natural Light

The pool area is designed to maximize natural light, creating a bright and airy atmosphere that enhances the outdoor experience.

## Outdoor Spaces | Key Elements

### CONCRETE SLAB



Concrete slabs provide a solid, durable foundation for outdoor structures, ensuring stability and long-lasting performance.

### POOL PATIO



Pool patios are designed to provide a safe, non-slip surface for walking around the pool, enhancing safety and convenience.

### PERGOLA PATIO



Pergola patios offer a shaded outdoor space, perfect for dining, entertaining, and enjoying the outdoors in comfort.



Pet houses or enclosures provide a safe, comfortable space for pets to rest and play, adding functionality to the outdoor area.



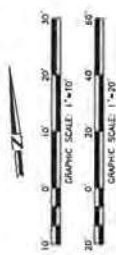
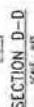
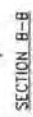
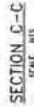
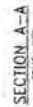






- ① CONTRACT 1: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ② CONTRACT 2: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ③ CONTRACT 3: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ④ CONTRACT 4: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ⑤ CONTRACT 5: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ⑥ CONTRACT 6: CLASH PER CITY OF MONTPELIER \$20 NO 250
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- ⑭ CONTRACT 14: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ⑮ CONTRACT 15: CLASH PER CITY OF MONTPELIER \$20 NO 250
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- ㊾ CONTRACT 49: CLASH PER CITY OF MONTPELIER \$20 NO 250
- ㊿ CONTRACT 50: CLASH PER CITY OF MONTPELIER \$20 NO 250

- |                       |                |
|-----------------------|----------------|
| PROPOSED AC PAVEMENT  | PROPOSED LINE  |
| PROPOSED POB SIDEWALK | RETAINING WALL |
| PROPOSED POB PAVEMENT | GRADE BREAK    |
| LANESCAPE             | LIMIT OF WORK  |

1. CONTRACTOR NEEDS TO VERIFY PAD ELEVATION WITH SOIL AND STRUCTURAL ENGINEER



		SHEET NO. <b>03</b> OF 05	
CITY OF MENIFE ENGINEERING DEPARTMENT		HOME2SUITES MENIFE ANTELOPE ROAD, CITY OF MENIFE, CA 92584 CONCEPTUAL GRADING PLAN	
CITY OF MENIFE ENGINEERING DEPARTMENT ALBERTO PARRA PE DIRECTOR OF PUBLIC WORKS/ CITY ENGINEER		DATE REC 3/25/24 EAP	
ENGINEER SEAL 		RECOMMENDED BY DATE 04/25/2024	
EMPLOYER 10055 <b>HARIYA INC</b> 261721 Nollaga Place Loma Linda, CA 92554 (909) 499-4370		SIZE 74x28	
REVISIONS DISCOMPLETION		DATE BY	
1-800-251-2868 1-800-251-2868		1-800-251-2868	







50. CONNECT TO EXISTING 24" ACP CLASS 60 WATER LINE 750' EMD STD B-303,  
DETAL ON SHEET 14

51. INSTALL 4" DOMESTIC WATER SERVICE PVB EMD STD B-493, DETAL ON SHEET 14

52. INSTALL 4" DOMESTIC WATER LINE PVB EMD STD B-433, DETAL ON SHEET 14

53. INSTALL 8" PRESSURIZED SANITARY WASTE/VENT LINE PVB EMD STD B-2402

(60) CONNECT TO A" WATER LINE PER LAND STD B-501A DETAIL ON SHEET 14  
 (61) RETAIN 1' IRRIGATION WATER SURFACE PER LAND STD B-500A DETAIL ON SHEET 14  
 (62) RETAIN 1' IRRIGATION WATER SURFACE PER LAND STD B-501 DETAIL ON SHEET 14  
 (63) RETAIN 1' IRRIGATION WATER SURFACE PER LAND STD B-501 DETAIL ON SHEET 14  
 (64) RETAIN 1' IRRIGATION WATER SURFACE PER LAND STD B-501 DETAIL ON SHEET 14

72) connect to existing sewer manhole per DWG STD

73) install 8" SCHED 40 STEEL PIPE 1440 STD 20'-32" DETAIL ON SHEET 14

74) install 48" SCHED 40 STEEL MANHOLE PER DWG STD 20'-178" DETAIL ON SHEET 14

75) install 8" SCHED 40 STEEL CLEAN OUT PER DWG STD 20'-32" DETAIL ON SHEET 14




[illegible]

1. CONTRACTOR SHALL FIELD VERIFY (E-Y) LOCATION OF ALL UTILITIES AND SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

2. WATER & SEWER LINES CONNECTION LOCATIONS IN FRONT OF THE BUILDING NEEDS TO BE VERIFIED BY CONTRACTOR PRIOR PAVING PLANS.

PROPERTY LINE	_____
PROPOSED SEWER LINE	_____ 5' _____
PROPOSED WATER LINE	_____ 16' _____
PROPOSED IRRIGATION WATER LINE	_____ 40' _____
FAIR WATER LINE	_____ 70' _____
EXISTING WATER LINE	_____

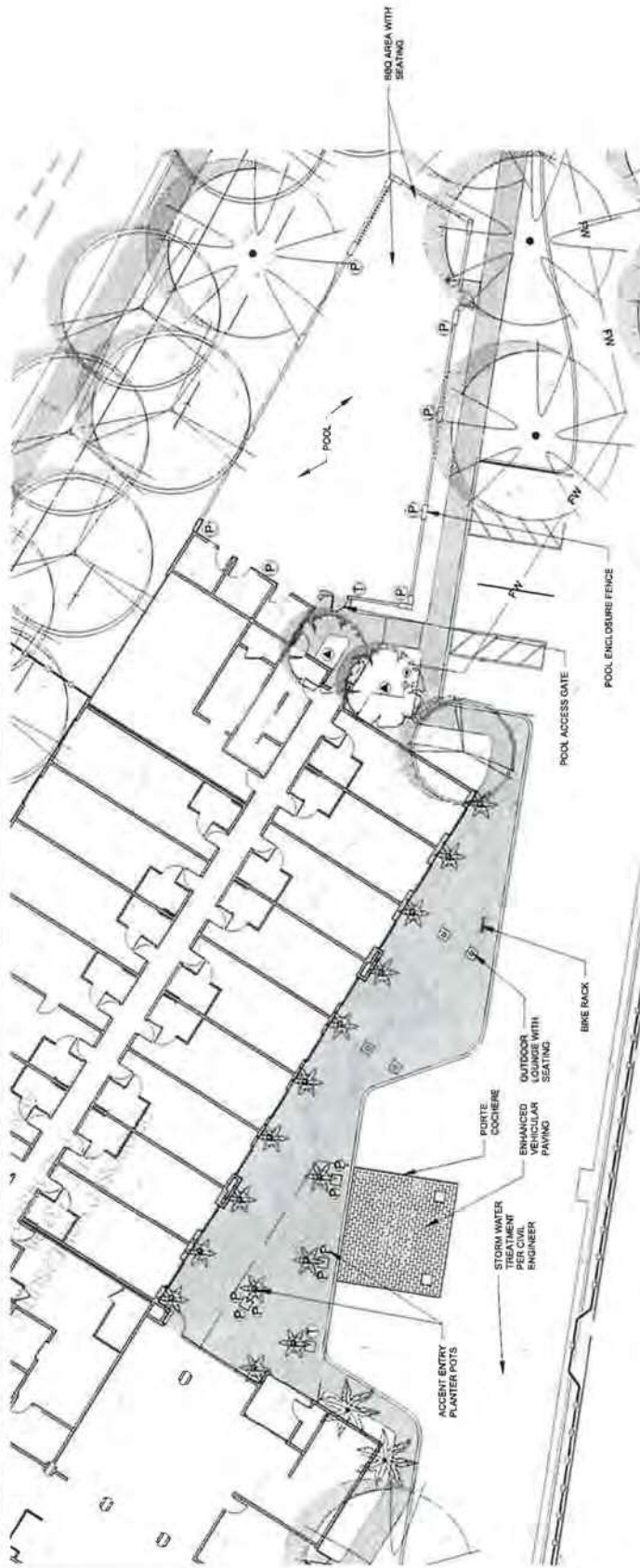
**UTILITY PLAN**  
SCALE 1" = 40'

1-AUG-2017-2608  1-AUG-2017-2608	REVISIONS 15-2008-150N	DATE		DATE 15-2008-150N	CHICKER LOGO <b>HARIYA INC</b> 26121 Wollack Place Loma Linda, CA 92354 (909)459-8270	ENGINEER SEAL 	SCALE: AS SHOWN DESIGN: DA DRAWN: PS CHECKED: DA APPROVED: DA DATE: 10-13-2023	CITY OF MENIFEE ENGINEERING DEPARTMENT DIRECTOR OF PUBLIC WORKS CITY ENGINEER	CITY OF MENIFEE 	CITY OF MENIFEE ENGINEERING DEPARTMENT HOMESUITES MENIFEE ANTELOPE ROAD, CITY OF MENIFEE, CA 92584 UTILITY PLAN	SHEET NO. 05 OF 05
		DATE	DATE								

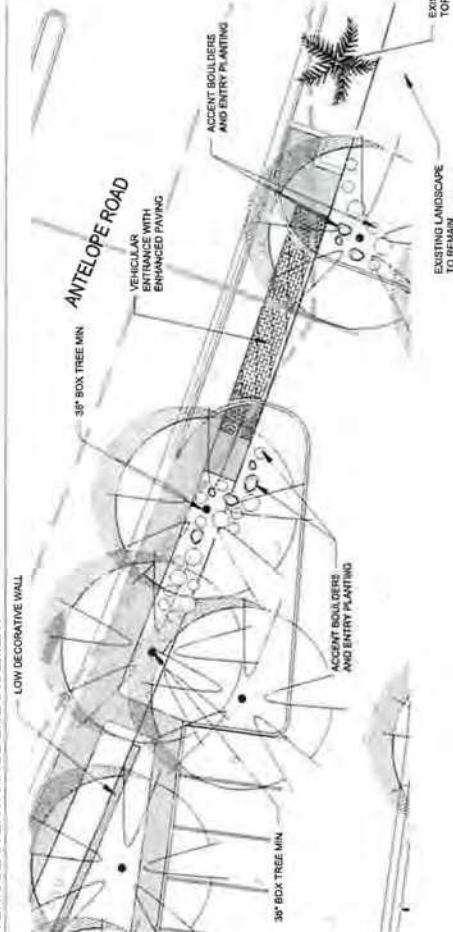




# HOTEL ENTRANCE ENLARGEMENT



## VEHICULAR ENTRANCE ENLARGEMENT



### LANDSCAPE CALCULATIONS:

Total Project Site Area (Gross Area minus RW):	2.01 AC
Total Landscaped Area/On Site:	4 AC (17,479 SF)
Landscaped Area Percentage:	20%
Total Off Site CVD Area (RW):	4,583 SF
Total Off Site Landscape Area (excl. Sidewalks):	4,583 SF
Parking Lot Landscape Area Percentage:	33%
Total Building Footprint in Public View from RW:	100 LF
Total Trees Req'd to Screen Building Footprint (1 tree/20 LF):	5 EA
Total Trees Provided to Screen Building Footprint:	8 EA
Total Site Perimeter Length (north, west & south):	2,045 LF
Total Perimeter Trees Required (1 tree/60 LF):	34 EA
Total Perimeter Trees Provided:	58 EA
Total Parking Spaces Provided:	106 EA
Total Parking Lot Trees Required (1 tree/4 sp):	26.5 EA
Total Parking Lot Trees Provided:	27 EA
Total Street Trees Required (1 tree/20 LF):	23 EA
Total Street Trees Provided:	32 EA

EXISTING PALMS TO REMAIN - SEE TOPOGRAPHICAL SURVEY FOR EXACT LOCATIONS

HOME2SUITES MENIFEE  
 ANTELOPE RD  
 MENIFEE, CA 92584  
 PC EXHIBITS - June 12, 2024

PROJECT NO.	23-000-00
PROJECT NAME	HOME2SUITES MENIFEE
DATE	06/12/24
DESIGNER	LANDSCAPE ARCHITECTURE
SCALE	1"=20'-0"
SHEET NO.	001
TOTAL SHEETS	001

### CONCEPTUAL LANDSCAPE PLAN

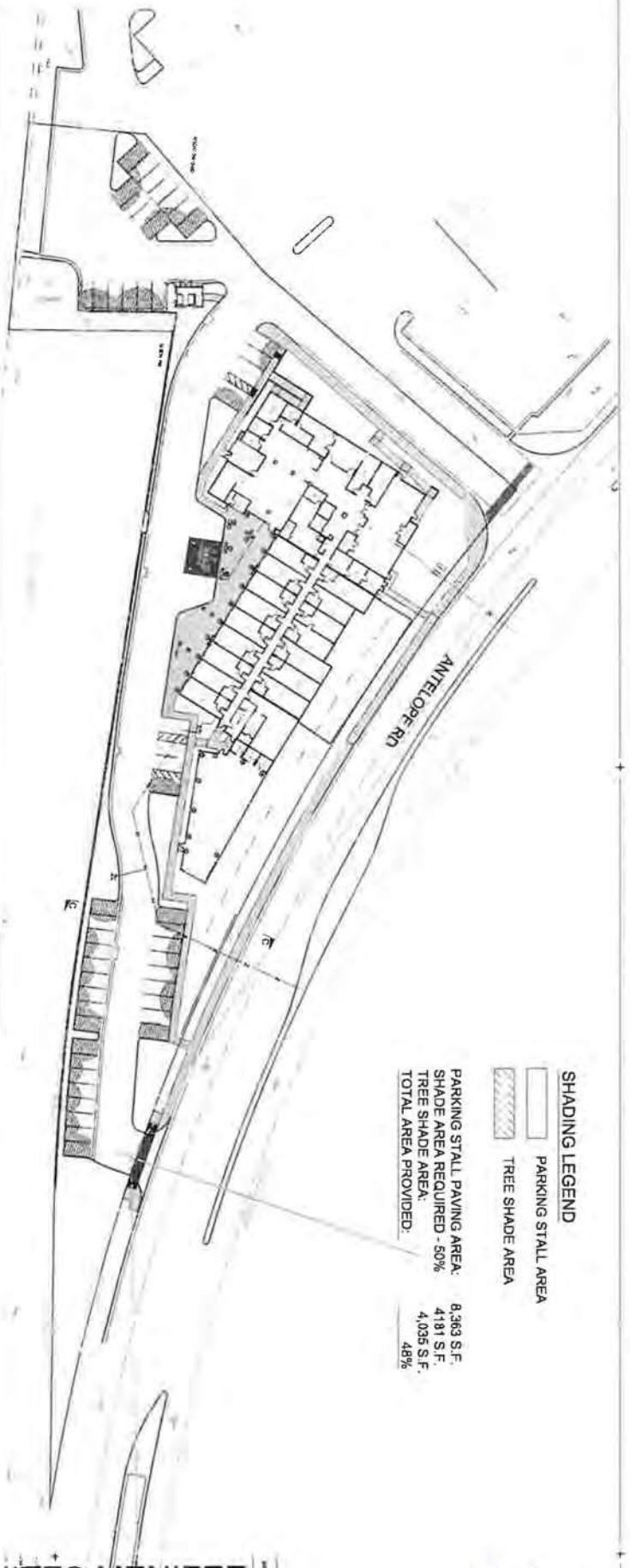
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 PLN23-0069



L-2



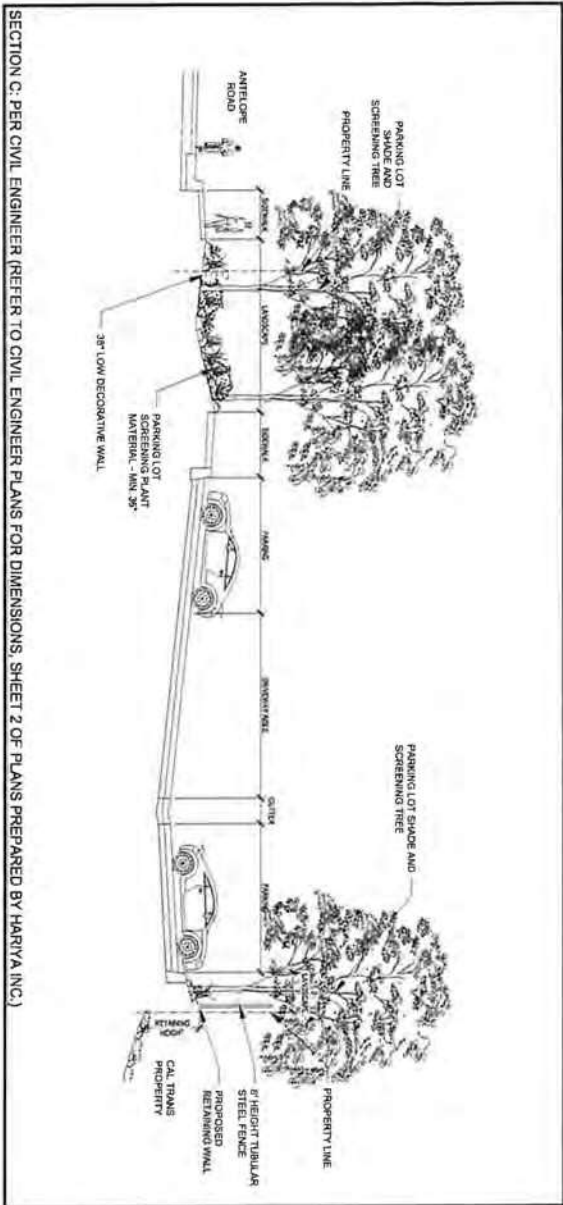
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# SHADING LEGEND

- PARKING STALL AREA
- TREE SHADE AREA

PARKING STALL PAVING AREA: 8,363 S.F.  
 SHADE AREA REQUIRED - 50%: 4,181 S.F.  
 TREE SHADE AREA: 4,036 S.F.  
 TOTAL AREA PROVIDED: 48%



ALL PARKING, BUILDINGS, AND ON SITE FACILITIES VISIBLE FROM ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY (OFF-SITE) SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING. SCREENING SHALL INCLUDE TREES, DENSE EVERGREEN SHRUBS, WALLS, EARTH BERMS OR A COMBINATION THEREOF.

**HOME2SUITES MENIFEE**  
 ANTELOPE RD.  
 MENIFEE, CA 92584

PC EXHIBITS - June 12, 2024

DATE	01.18.23
BY	LANDSCAPE
FOR	HOME2SUITES
PROJECT	HOME2SUITES
LOCATION	MENIFEE, CA
SCALE	AS SHOWN



APN 364-010-015  
 PLN23-0069

L-3

CONCEPTUAL  
 SHADING  
 PLAN

DATE	01.18.23
BY	LANDSCAPE
FOR	HOME2SUITES
PROJECT	HOME2SUITES
LOCATION	MENIFEE, CA
SCALE	AS SHOWN



LANDSCAPE  
 ARCHITECTURE  
 & PLANNING



