

- A REPLY TO BASIC BUILDING SPECIFICATIONS, REQUIREMENTS AND STANDARDS FOR EXISTING SKILL AND CODE CONSTRUCTION ALL WORK IS TO BE COMPLETED WITHIN THE SCHEDULED TIME FRAME.
- B ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL GOVERNING BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK WHICH HAS NOT BEEN PERFORMED WHICH DOES NOT MEET THESE CODES AND REGULATIONS.
- C ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO THE ARCHITECT'S CONCEPT DESIGN AND DRAWINGS. ANY DISCREPANCIES OR DETAILS NOT SPECIFIED WILL BE REPORTED IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES OR DETAILS WHICH DO NOT MEET BUILDING CODES AND CONSTRUCTION STANDARDS.
- D THE CONTRACTOR SHALL VERIFY COMPLIANCE OF CONSTRUCTION. IN THE EVENT OF DISCREPANCY OR CHANGES BETWEEN DETAILS ON ONE PLAN AND ANOTHER THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- E THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK.
- F THE GC SHALL COORDINATE ALL OPERATIONS WITH THE OWNER INCLUDING:
 - 1) ACCESS, MATERIALS STORAGE, AND ACCESS TO THE JOB
 - 2) SPECIAL CONDITIONS OR ISSUES WORK, TRAFFIC OF VEHICLES, AND INTERRUPTION OF SERVICE TO SELECTED AREAS OF THE PROJECT
 - 3) SCHEDULING OF ALL WORK AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WHEN IT IS TO COMMENCE.
- G ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFICALLY REQUIRED BY THE ARCHITECT.
- H GC SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A MEASUREABLE FORTHOUGHNESS OF COLOR, QUALITY AND DURATION TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING. GC SHALL PROVIDE SHOP SHOWS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL. GC SHALL SUBMIT ALL MATERIALS AND FINISHES TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

PROJECT TEAM

<u>CLIENT/DEVELOPER:</u> NABO WEISER, LLC 1050 N. 100' PIONEER TRAIL, STE. 410 BOZEMAN, MT 59717 CONTACT: NATE MOHRMAN PH: (208) 456-1034 email@nabo-weiser.com	<u>ARCHITECT:</u> MACZELAN ARCHITECTURE 1050 N. PIONEER AVE., SUITE 105 FOUNTAIN VALLEY, CA 92708-6027 PH: (949) 515-9560 FOUNTAIN@maczellanarchitecture.com JOP: PAIPACK ANDERSEN CONTACT: SOPHIA VILTON VILLET sordano@maczellanarchitecture.com
<u>OWNER:</u> HAS INVESTMENT LLC CONTACT: SUBODHAKAR SHINDE	<u>ELECTRICAL:</u> PAC PROSPEERING, VEE CONSULTANTS 1212 LIVER AVE. WEST #1063 CARLSBAD, CA 92010 PH: (760) 420-9160 CAPITAL@PACPROS.COM lisa@pacpro.com
<u>CIVIL:</u> VISION CIVIL ENGINEERING 2525 10TH STREET YUCCA, CA 92319 PH: (760) 718-1200 CONTACT: JENNIFER FINE	<u>GEOTECH:</u> OLDS ENGINEERING ASSOCIATES, INC 135 N. 14TH AVENUE OAKLAND, CA 94612 PH: (415) 276-6887 CONTACT: JAMES NAFER

[illegible]

SHEET INDEX

<u>ARCHITECTURAL</u>	
A1010	COVER SHEET
A1110	OVERALL SITE PLAN
A1211	ENLARGED SITE PLAN
A210	FLOOR PLAN
A211	FLOOR PLAN
A220	ROOF PLAN
A221	ROOF PLAN
A310	BUILDING ELEVATION SOUTHWEST
A311	BUILDING ELEVATION SOUTHWEST INTERIOR
A312	BUILDING ELEVATION NORTHEAST
A313	BUILDING ELEVATION NORTHEAST INTERIOR
A314	BUILDING
A320	COLORADO BUILDING ELEVATION SOUTHWEST
A330	MATERIAL WARD
A410	BUILDING SECTION
<u>SURVEY</u>	
SHEET 1	A11.4 SURVEY
SHEET 2	A11.4 SURVEY
<u>CIVIL</u>	

[illegible][illegible]

PER 9/10/21, ALUMINUM PAVING		PAVING	714.50 SF (48.40)
BUILDING 4H		PAVING	NOT USED
		BUILDING 5	52.136 SF
		BUILDING 6	1.500 SF
		BUILDING 7	3.520 SF
		BUILDING 8	3.561 SF
		BUILDING 9	3.561 SF
		BUILDING 10	3.550 SF
		BUILDING 11	3.500 SF
		BUILDING 12	71.456 SF
BUILDING 1000H		ALUMINUM	40'-0"
		PROCESSED	17'-0"
STANCHION		REQUIRED 15'	
HORIZONTAL BRIDGE (POND)		REQUIRED 10'-0"	PROCESSED 104'-0" (4.635)
PUMPED		REQUIRED 12'-0"	PROCESSED 121'-0" (4.151)
REAR VARD		REQUIRED 15'	
LANDSCAPE		REQUIRED 255 x 44.213 SF	
		ON-SITE LANDSCAPE PROVIDED: 50.522 SF (28.4%)	
		PAVING 4 x 84.5 SF (19.0%) OF TOTAL	
		OFF-SITE LANDSCAPE PROVIDED: 3.440 SF	

PARKING SUMMARY

PERMANENT PER SECTION 3.1.5 OF THE TDMC CODE: 2 SPACES PER 1 EMPLOYEE

PROPOSED 5 PARKING SPACES (2 EMPLOYEES ARE GOING TO WORKER PER OFF)

REQUIRED PARKING SPACES
 REQUIRED PER 3.1.5
 MIN NUMBER OF LOADING SPACES MIN-TWO-WAY SPACES PLUSOR AREA 5

PROPOSED 8 LOADING SPACES

BIGDILL PARKING
 REQUIRED 1 BIGDILL SPACE FOR EVERY 15 PARKING SPACES WITH 2 BIGDILL SPACES

PROPOSED 2 BIGDILL PARKING SPACES

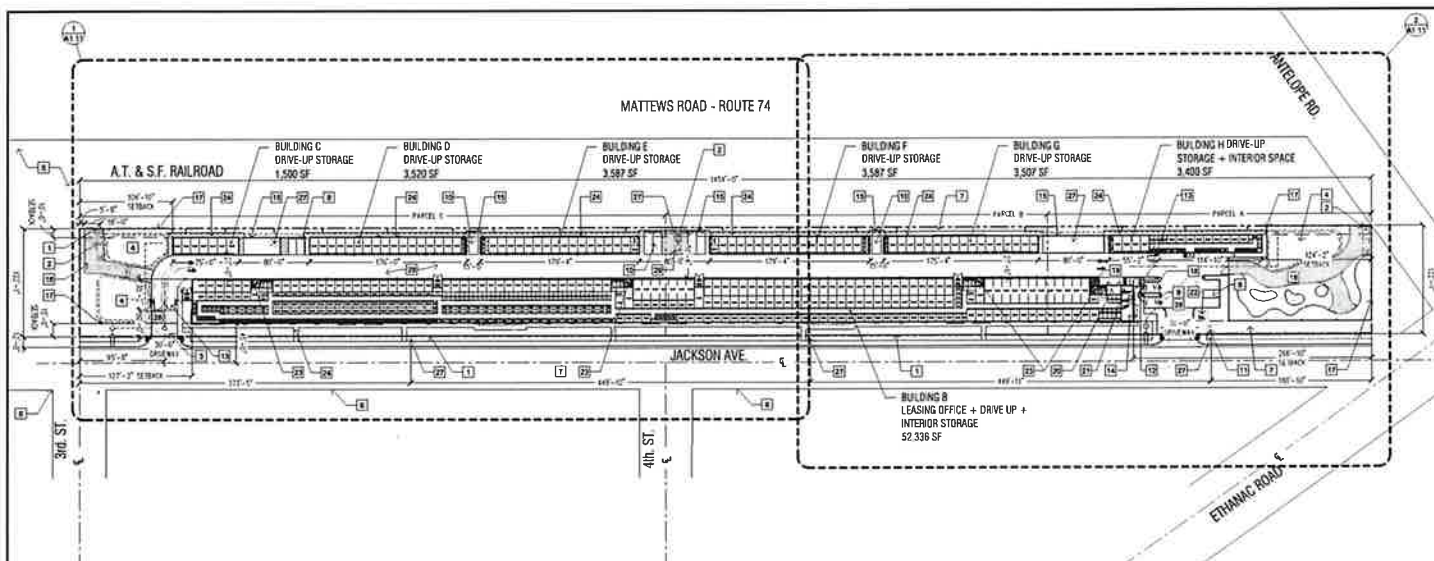


**MENIFEE WEST COAST
SELF-STORAGE**
NEW CONSTRUCTION
27849 JACKSON AVENUE, MENIFEE, CA 92585
APN 378-14-002, 378-14-006 & 378-17-011
CITY PROJECT# 140604-PLNS 6675

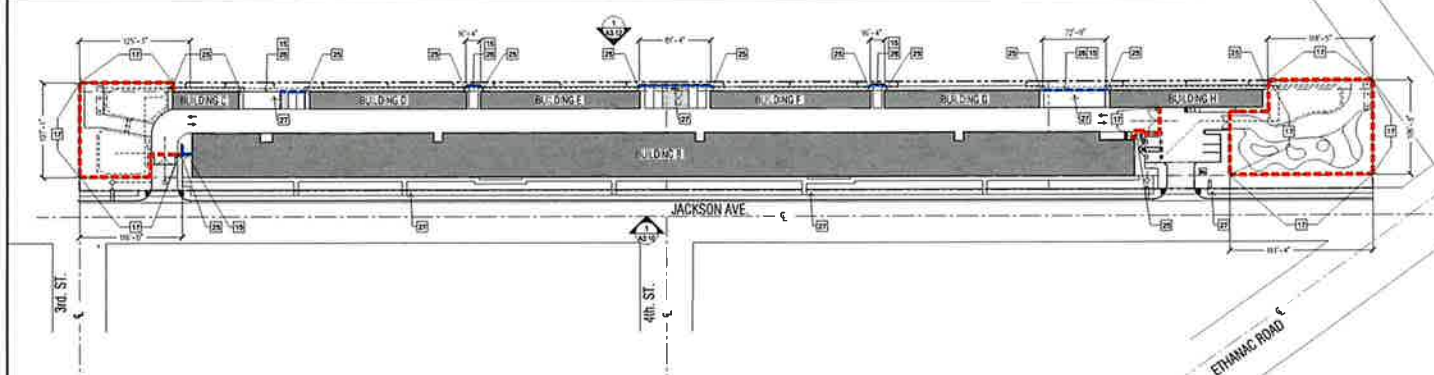
SCALE:	A5 NOTED
PLOT DATE	2024-06-26
CAD FILE	
JOB NUMBER	23-082
CHECKED	SNV
INWARD	
STATUS	PENDING REVIEW

COVER SHEET

A0.10



1 OVERALL SITE PLAN
SCALE: 1/8"=1'-0"



2 SITE PLAN - FENCE DIAGRAM
SCALE: 1/8"=1'-0"

KEYNOTES

- 1) PROPERTY LINE
- 2) (E) BILLBOARD TO REMAIN UNREMOVED
- 3) (E) DRIVEWAY DECORATIVE PAVING MATERIAL PER CITY DESIGN GUIDELINES
- 4) STORM DETENTION BASIN PER CIVIL PLANS
- 5) LANDSCAPE: SEE CIVIL DRAWINGS FOR MORE INFORMATION
- 6) ADJOINING / NEIGHBORING PROPERTY (NOT APART)
- 7) (N) LANDSCAPE
- 8) 6'x12' STANDARD PARKING STALL (11'x18' END STALLS)
- 9) ACCESSIBLE PARKING STALL
- 10) 10'-25' LOADING SPACE
- 11) MONUMENT SIGN LOCATION: SIGN SHALL BE CONSISTENT WITH SECTION 9.90 A-9.220 UNDER SEPARATE APPROVAL
- 12) BICYCLE U-RACK
- 13) 24" WIDE MOTOR OPERATED GATE EQUIPPED WITH A RAISED ENTRY SYSTEM PER FIRE DEPT STANDARDS
- 14) LEASING OFFICE
- 15) PERIMETER WALL SEE A312
- 16) GRAVEL AREA, SEE LANDSCAPE PLANS
- 17) BROUGHT IRON FENCE SEE 6/A314
- 18) ACCESSIBLE EV PARKING STALL
- 19) BRUSH ROOM
- 20) MAIN ELECTRICAL ROOM
- 21) FIRE WATER TROUGH
- 22) ELECTRICAL TRANSFORMER
- 23) ALL-GENDER NEUTRAL RESTROOM
- 24) 5' WIDE CONCRETE WALKWAY
- 25) Wrought IRON PEDESTRIAN GATE WITH HAND RAIL
- 26) CONSISTENT WITH CITY OF MENIFEE DESIGN GUIDELINES, FENCES FOR SPEED-BREAK PURPOSE ARE SOLID MATERIAL, TEXTURED TO MATCH ELEMENTS OF THE ADJOINING BUILDING ELEVATIONS. TREES AND SHRUBS ARE PLANTED ADJACENT TO SORTEN THE WALLS APPEARANCE
- 27) PROPOSED FIRE HYDRANT LOCATION
- 28) FIRE APPARATUS ACCESS ROADS TO SUPPORT THE HORSE LINES OF FIRE APPARATUS (18000 POUND LIVE LOAD (UNIFORM, VEHICLE LOAD) DISTURBED OVER TWO AXLES) AND SHALL BE 5'x14'x12' TO 45' TO PROVIDE ALL-WEATHER (DRIVE) CAPABILITIES (REAR WHEEL DRIVE APPARATUS) FOR THE LENGTH AND GRADES OF THE FIRE APPARATUS ACCESS ROAD. REFER TO CIVIL PLANS
- 29) "NO PARKING" STRIPED AREA

VICINITY MAP



NOT TO SCALE

PROJECT LOCATION

SITE INFORMATION

LEGAL DESCRIPTION:

PARCEL A
BEING AT THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF ETHNATIC ROAD WITH THE WEST RIGHT OF WAY LINE OF MATTHEWS ROAD AS SHOWN ON SAID MAP, THENCE NORTH OF 24 WEST, A DISTANCE OF 100.00 FEET, MORE OR LESS, BEING SAID WEST RIGHT OF WAY LINE OF MATTHEWS ROAD, TO THE NORTHWESTERLY CORNER OF SAID LOT 31, THENCE SOUTH 21.55 WEST, A DISTANCE OF 100.00 FEET, MORE OR LESS, TO AN INTERSECTION WITH THE NORTHWESTERLY RIGHT OF WAY LINE OF JACOBSON AVENUE AS SHOWN ON SAID MAP, THENCE SOUTHEASTERLY ALONG SAID NORTHWESTERLY POINT OF WAY LINE OF JACOBSON AVENUE TO AN INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF SAID ETHNATIC ROAD, THENCE EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE OF ETHNATIC ROAD TO THE POINT OF BEGINNING FOR THIS PARCEL, BECOMING

PARCEL B
TOGETHER WITH THAT PORTION OF THE SOUTHEASTERLY ONE-HALF OF LOT 111 DESIGATED AS FOURTH STREET, AS SHOWN ON SAID MAP OF RESUBDIVISION OF A PORTION OF PARCELS VACATED BY RESOLUTION NO. 82-106, RECORDED JULY 25, 1981 AS INSTRUMENT NO. 127948 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LOT 312.

PARCEL C
TOGETHER WITH THAT PORTION OF THE NORTHWESTERLY ONE-HALF OF LOT 111 DESIGATED AS FOURTH STREET, AS SHOWN ON SAID MAP OF RESUBDIVISION OF A PORTION OF PARCELS VACATED BY RESOLUTION NO. 82-106, RECORDED JULY 25, 1981 AS INSTRUMENT NO. 127948 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LOT 314.

PARCEL D
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PARCEL E
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PARCEL I
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PARCEL K
TOGETHER WITH THAT PORTION OF THE SOUTHEASTERLY ONE-HALF OF LOT 111 DESIGATED AS FOURTH STREET, AS SHOWN ON SAID MAP OF RESUBDIVISION OF A PORTION OF PARCELS VACATED BY RESOLUTION NO. 82-106, RECORDED JULY 25, 1981 AS INSTRUMENT NO. 127948 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LOT 312.

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City of Menifee Planning Review

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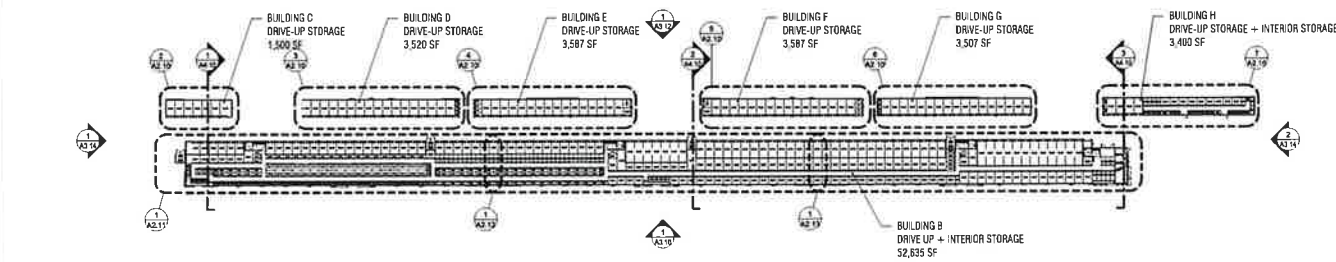
MENIFEE WEST COAST
SELF-STORAGE
NEW CONSTRUCTION
27849 JACOBSON AVENUE, MENIFEE, CA 92545
APN: 320-111-001, 320-111-002, & 320-111-003
CITY PROJECT FILE NUMBER: P2020-011

NO.	DATE	BY
1	01/21/2021	1st DTP
2	07/27/2021	2nd DTP
3	08/17/2021	3rd DTP

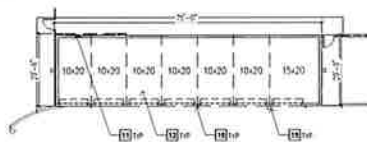
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DESIGN APPROVAL		
PERMIT SUBMITTAL		
PERMIT RECEIVED		
BID DOCS		
CONTRACT SIGNED		

SCALE	AS NOTED
PLOT DATE	2021-08-26
CAD FILE	2021-08-26
JOB NUMBER	2021-08-26
CHECKED	10/21/2021
DATE	10/21/2021
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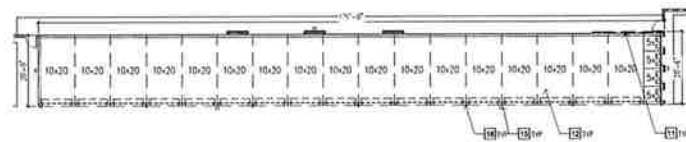
OVERALL SITE PLAN
A1.10



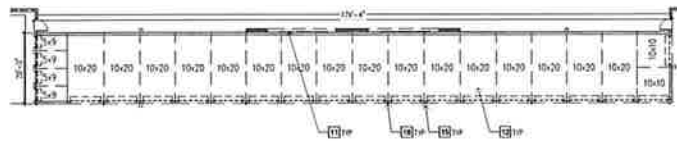
1 OVERALL FLOOR PLAN
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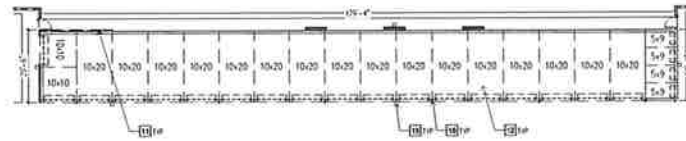
2 BUILDING C FLOOR PLAN
SCALE: 1/16"=1'-0"



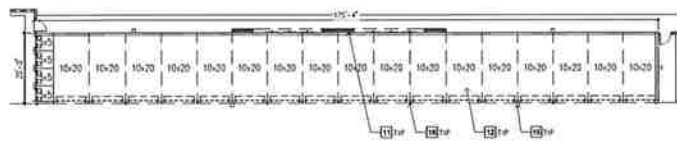
3 BUILDING D FLOOR PLAN
SCALE: 1/16"=1'-0"



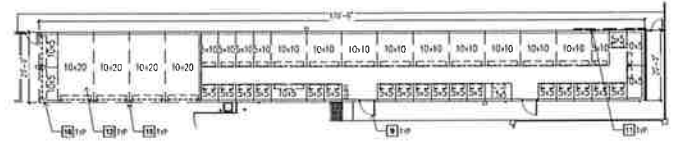
4 BUILDING E FLOOR PLAN
SCALE: 1/16"=1'-0"



5 BUILDING F FLOOR PLAN
SCALE: 1/16"=1'-0"



6 BUILDING G FLOOR PLAN
SCALE: 1/16"=1'-0"



7 BUILDING H FLOOR PLAN
SCALE: 1/16"=1'-0"

UNIT MIX COUNT

BUILDING A (1,500 SF)				BUILDING B (3,520 SF)				BUILDING C (3,587 SF)				BUILDING D (3,507 SF)				BUILDING E (3,507 SF)				BUILDING F (3,400 SF)				BUILDING G (3,400 SF)				BUILDING H (3,400 SF)			
Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage	Room	Count	Area (SF)	Percentage
Leasing Office	1	150	10%	Leasing Office	1	150	4%	Leasing Office	1	150	4%	Leasing Office	1	150	4%	Leasing Office	1	150	4%	Leasing Office	1	150	4%	Leasing Office	1	150	4%	Leasing Office	1	150	4%
Back Room	1	150	10%	Back Room	1	150	4%	Back Room	1	150	4%	Back Room	1	150	4%	Back Room	1	150	4%	Back Room	1	150	4%	Back Room	1	150	4%	Back Room	1	150	4%
Drive-Up Units	1	150	10%	Drive-Up Units	1	150	4%	Drive-Up Units	1	150	4%	Drive-Up Units	1	150	4%	Drive-Up Units	1	150	4%	Drive-Up Units	1	150	4%	Drive-Up Units	1	150	4%	Drive-Up Units	1	150	4%
Electrical Room	1	150	10%	Electrical Room	1	150	4%	Electrical Room	1	150	4%	Electrical Room	1	150	4%	Electrical Room	1	150	4%	Electrical Room	1	150	4%	Electrical Room	1	150	4%	Electrical Room	1	150	4%
Fire Risk Room	1	150	10%	Fire Risk Room	1	150	4%	Fire Risk Room	1	150	4%	Fire Risk Room	1	150	4%	Fire Risk Room	1	150	4%	Fire Risk Room	1	150	4%	Fire Risk Room	1	150	4%	Fire Risk Room	1	150	4%
Trash Enclosure	1	150	10%	Trash Enclosure	1	150	4%	Trash Enclosure	1	150	4%	Trash Enclosure	1	150	4%	Trash Enclosure	1	150	4%	Trash Enclosure	1	150	4%	Trash Enclosure	1	150	4%	Trash Enclosure	1	150	4%
All-Depth Neutral Restroom	1	150	10%	All-Depth Neutral Restroom	1	150	4%	All-Depth Neutral Restroom	1	150	4%	All-Depth Neutral Restroom	1	150	4%	All-Depth Neutral Restroom	1	150	4%	All-Depth Neutral Restroom	1	150	4%	All-Depth Neutral Restroom	1	150	4%	All-Depth Neutral Restroom	1	150	4%
Mechanical Room	1	150	10%	Mechanical Room	1	150	4%	Mechanical Room	1	150	4%	Mechanical Room	1	150	4%	Mechanical Room	1	150	4%	Mechanical Room	1	150	4%	Mechanical Room	1	150	4%	Mechanical Room	1	150	4%
Leasing Office Entry	1	150	10%	Leasing Office Entry	1	150	4%	Leasing Office Entry	1	150	4%	Leasing Office Entry	1	150	4%	Leasing Office Entry	1	150	4%	Leasing Office Entry	1	150	4%	Leasing Office Entry	1	150	4%	Leasing Office Entry	1	150	4%
Storage Area Entry	1	150	10%	Storage Area Entry	1	150	4%	Storage Area Entry	1	150	4%	Storage Area Entry	1	150	4%	Storage Area Entry	1	150	4%	Storage Area Entry	1	150	4%	Storage Area Entry	1	150	4%	Storage Area Entry	1	150	4%
Display Area	1	150	10%	Display Area	1	150	4%	Display Area	1	150	4%	Display Area	1	150	4%	Display Area	1	150	4%	Display Area	1	150	4%	Display Area	1	150	4%	Display Area	1	150	4%
Faulty Door	1	150	10%	Faulty Door	1	150	4%	Faulty Door	1	150	4%	Faulty Door	1	150	4%	Faulty Door	1	150	4%	Faulty Door	1	150	4%	Faulty Door	1	150	4%	Faulty Door	1	150	4%
Storepoint Glazing	1	150	10%	Storepoint Glazing	1	150	4%	Storepoint Glazing	1	150	4%	Storepoint Glazing	1	150	4%	Storepoint Glazing	1	150	4%	Storepoint Glazing	1	150	4%	Storepoint Glazing	1	150	4%	Storepoint Glazing	1	150	4%
Truncated Eaves	1	150	10%	Truncated Eaves	1	150	4%	Truncated Eaves	1	150	4%	Truncated Eaves	1	150	4%	Truncated Eaves	1	150	4%	Truncated Eaves	1	150	4%	Truncated Eaves	1	150	4%	Truncated Eaves	1	150	4%
Exterior Light Fixture	1	150	10%	Exterior Light Fixture	1	150	4%	Exterior Light Fixture	1	150	4%	Exterior Light Fixture	1	150	4%	Exterior Light Fixture	1	150	4%	Exterior Light Fixture	1	150	4%	Exterior Light Fixture	1	150	4%	Exterior Light Fixture	1	150	4%
Downspout	1	150	10%	Downspout	1	150	4%	Downspout	1	150	4%	Downspout	1	150	4%	Downspout	1	150	4%	Downspout	1	150	4%	Downspout	1	150	4%	Downspout	1	150	4%

VICINITY MAP



PROJECT INFORMATION

ADJACENT PARCEL NUMBER (APN): 325-141-003 (PARCEL A) 325-141-004 (PARCEL B) 325-141-005 (PARCEL C)
PROPOSED USE: SELF-STORAGE
CONSTRUCTION TYPE: 1-B
JURISDICTION: CITY OF MENIFEE, MENIFEE COUNTY
ZONING: BUSINESS PARK (BP)

ZONING REQUIREMENTS

PPE APPLICATION REVIEW NO. 1923-0113
SITE AREA: 1.0000 AC (43,560 SF)
FAR: 0.40 MAX (EXCEPTING 10% 0.44 (EXCEPT 10%))
LOT COVERAGE: 75% + 10% (MAX. ALLOWABLE DEPENDENT OF 100%+)
BUILDING AREA: 11,450 SF
BUILDING A: 1,500 SF
BUILDING B: 3,520 SF
BUILDING C: 3,587 SF
BUILDING D: 3,507 SF
BUILDING E: 3,507 SF
BUILDING F: 3,400 SF
BUILDING G: 3,400 SF
BUILDING H: 3,400 SF

BUILDING CODE ANALYSIS

CONSTRUCTION TYPE: 1-B OCCUPANCY: STORAGE S-1 R/ AN AUXILIARY OFFICE (BL) BUILDING "B" EQUIPPED THROUGHOUT WITH AN AUTOMATIC SMOKE/ALARM SYSTEM BUILDINGS TO BE EQUIPPED WITH FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA & ETC

FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 501)

PRIMARY STRUCTURAL FRAME: 0 HOURS
BEARING WALLS: 0 HOURS
OUTERWALL: 0 HOURS
NON-BEARING INTERIOR WALLS & PARTITIONS: 0 HOURS
ROOF CONSTRUCTION: 0 HOURS
ROOF CONSTRUCTION: 0 HOURS
HORIZONTAL EXTERIOR WALLS & PARTITIONS (TABLE 709.5)
FIRE SEPARATION: FIRE-RESISTANCE RATING
NORTH WALL: >30 FEET (TO RAILROAD ROW CL) 0 HOURS
WEST WALL: >30 FEET 0 HOURS
SOUTH WALL: >30 FEET (TO STREET CL) 0 HOURS
EAST WALL: >30 FEET 0 HOURS

BUILDING HEIGHT AND NUMBER OF STORIES

BUILDING HEIGHT (TABLE 501.4) OCC S-1: 17 FEET PROVIDED 17 FEET
NON-SMOKED 17 FEET PROVIDED 17 FEET
NUMBER OF STORIES (TABLE 501.4): 1 STORY PROVIDED: 1 STORY

BUILDING AREA: ALLOWABLE AREA FACTOR (TABLE 502)

S-1: NS 17,500 SA 10,000 SA 52,500
A₁ = 70,000 SF + (17,500 x 3) = A₂ = 17,500 + (17,500 x 3) = 70,000 SF
A₃ = 70,000 SF + A₂ = 17,500 SF (not needed)
NEW BUILDING B IS UNDER 70,000 SF, REST OF BUILDINGS ARE UNDER 17,500 SF, THEREFORE, OK

KEY LEGEND

- 1 LEASING OFFICE (150 SF)
- 2 BACK ROOM (150 SF)
- 3 ELECTRICAL ROOM (150 SF)
- 4 FIRE RISK ROOM (150 SF)
- 5 TRASH ENCLOSURE
- 6 ALL-DEPTH NEUTRAL RESTROOM
- 7 MECHANICAL ROOM
- 8 LEASING OFFICE ENTRY
- 9 STORAGE AREA ENTRY
- 10 DISPLAY AREA
- 11 FAULTY DOOR
- 12 DRIVE-UP UNITS
- 13 STOREPOINT GLAZING
- 14 TRUNCATED EAVES
- 15 EXTERIOR LIGHT FIXTURE
- 16 DOWNSPOUT



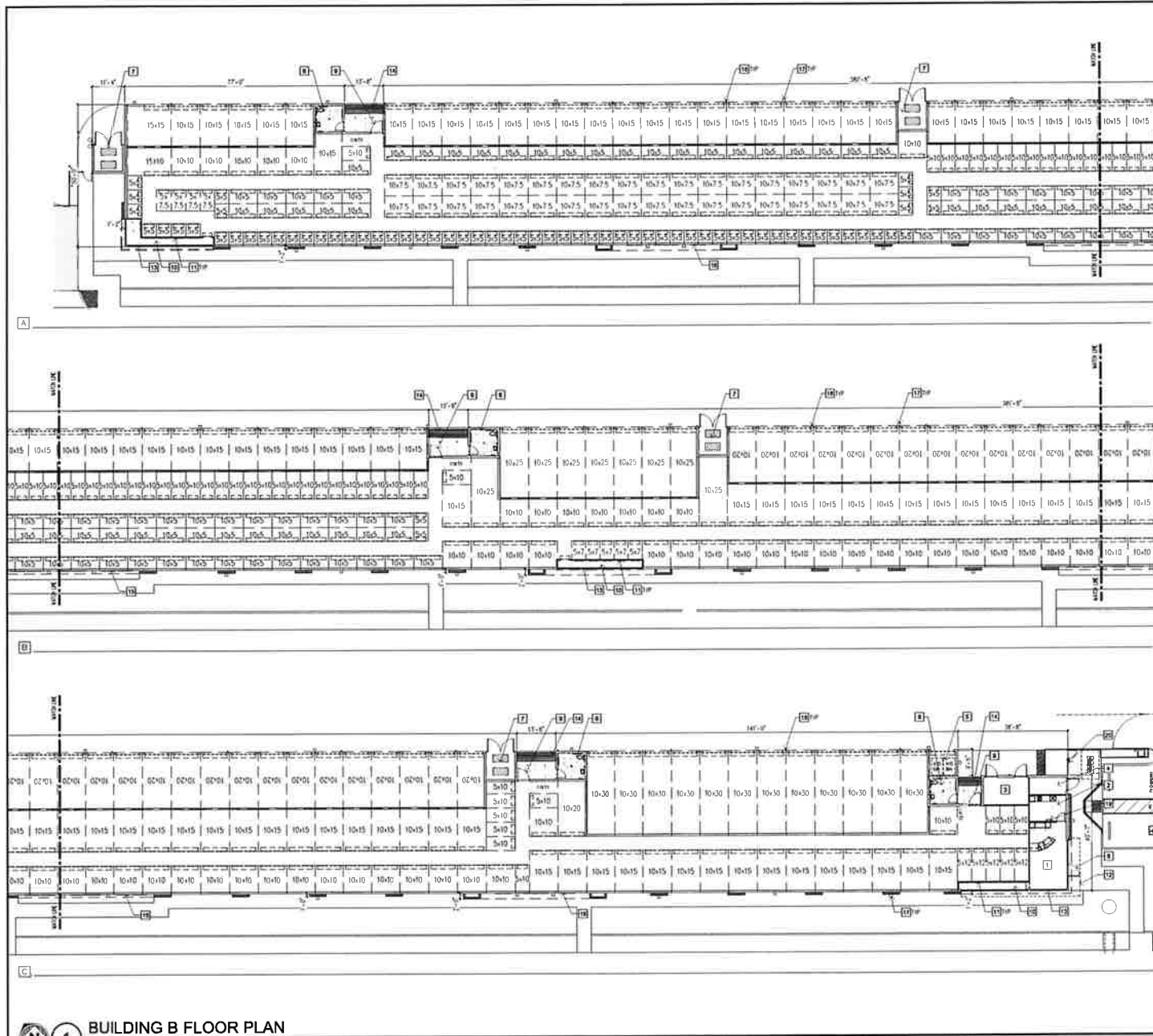
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MENIFEE WEST COAST
SELF-STORAGE
NEW CONSTRUCTION
27849 JACKSON AVENUE, MENIFEE, CA 92555
APN: 325-141-003, 325-141-004 & 325-141-005
CITY PROJECT FILE NUMBER: 1923-0113

NO.	DATE	BY
1	11/11/2023	SA GUP
2	11/11/2023	2nd GUP
3	11/11/2023	3rd GUP
4	11/11/2023	4th GUP
5	11/11/2023	5th GUP
6	11/11/2023	6th GUP
7	11/11/2023	7th GUP
8	11/11/2023	8th GUP
9	11/11/2023	9th GUP
10	11/11/2023	10th GUP
11	11/11/2023	11th GUP
12	11/11/2023	12th GUP
13	11/11/2023	13th GUP
14	11/11/2023	14th GUP
15	11/11/2023	15th GUP
16	11/11/2023	16th GUP
17	11/11/2023	17th GUP
18	11/11/2023	18th GUP
19	11/11/2023	19th GUP
20	11/11/2023	20th GUP

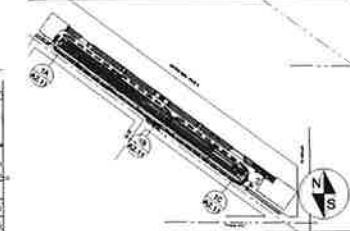
SCALE: AS NOTED
PLOT DATE: 2024-06-26
CAD FILE: 23-031_A1
JOB NUMBER: 23-062
CHECKED: SMO
DRAWN: JH
STATUS: PLANNING REVIEW

FLOOR PLAN
A2.10



BUILDING B FLOOR PLAN
SCALE: 1/16"=1'-0"

KEY MAP



PROJECT INFORMATION

ASSISTANT PROJECT NUMBER (APP) 127-101-003 (SHEET A1)
127-101-004 (SHEET B1)
127-101-005 (SHEET C1)
CONSTRUCTION TYPE 1-8
CITY OF MENIFEE, CALIFORNIA
BUSINESS PARK (BP)

ZONING REQUIREMENTS

PRE-APPLICATION REVIEW NO. 1992-018
SITE AREA 176,853 SQ. FT. (4.06 AC)
FAR 0.60 MAX (106,112 SQ. FT.)
LOT COVERAGE 40% (70,742 SQ. FT.)
PER 97020-C, ALLOWABLE INCREASE OF 1,000 SQ. FT. (10,000 SQ. FT.)
BUILDING AREA
BUILDING A 52,336 SQ. FT.
BUILDING B 1,500 SQ. FT.
BUILDING C 1,500 SQ. FT.
BUILDING D 1,500 SQ. FT.
BUILDING E 1,500 SQ. FT.
BUILDING F 1,500 SQ. FT.
BUILDING G 1,500 SQ. FT.
BUILDING H 1,500 SQ. FT.

BUILDING CODE ANALYSIS

CONSTRUCTION TYPE 1-8 OCCUPANCY STORAGE S-1 W/ AN AUXILIARY OFFICE (B),
BARRICK "C" COVERED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM
BUILDINGS TO BE EQUIPPED WITH FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA & CFC

FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601)

PRIMARY STRUCTURAL FRAME 0 HOURS
BEARING WALLS 0 HOURS
INTERIOR 0 HOURS
NON-BEARING INTERIOR WALLS & PARTITIONS 0 HOURS
FLOOR CONSTRUCTION 0 HOURS
ROOF CONSTRUCTION 0 HOURS
NON-BEARING EXTERIOR WALLS & PARTITIONS (TABLE 705.5)
FIRE SEPARATION 0 HOURS
NORTH WALL >30 FEET (TO PARALLEL ROW CL) 0 HOURS
WEST WALL >30 FEET 0 HOURS
SOUTH WALL >30 FEET (TO STREET CL) 0 HOURS
EAST WALL >30 FEET 0 HOURS

BUILDING HEIGHT AND NUMBER OF STORIES

BUILDING HEIGHT (TABLE 504.3) OCC 5-1 SPRINKLERED 75 FEET PROVIDED 17 FEET
NON-SPRINKLERED 55 FEET PROVIDED 17-0'
NUMBER OF STORIES (TABLE 504.4) ALLOWED: A & 2-STORY PROVIDED: 1 STORY

BUILDING AREA

ALLOWABLE AREA FACTOR (TABLE 506.2)
S-1 NS 17,500 SI 70,000 SM 52,500
SINGLE-OCCUPANCY BUILDINGS (EQUATION 5-1) $A_g = A_1 + (H_1 + H_2)$
 $A_g = 70,000 + (17,500 + 8) = A_g = 17,500 + (17,500 + 8)$ (Footnote factor increase not needed)
NEW BUILDING B IS UNDER 70,000 SQ. FEET OF BUILDINGS ARE UNDER 17,500 SQ. FEET THEREFORE, OK

KEY LEGEND

- 1 LEASING OFFICE (304 SQ. FT.)
- 2 BREAK ROOM (110 SQ. FT.)
- 3 ELECTRICAL ROOM (150 SQ. FT.)
- 4 FIRE PUMP ROOM (79 SQ. FT.)
- 5 10'-10" TRASH ENCLOSURE
- 6 ALL-ENDER NEUTRAL RESTROOM
- 7 MECHANICAL ALCOVE
- 8 LEASING OFFICE ENTRY
- 9 STORAGE AREA ENTRY
- 10 DISPLAY AREA
- 11 FAUX DOOR
- 12 METAL CANOPY ABOVE
- 13 STOREFRONT GLAZING
- 14 TRUNCATED DOWNS
- 15 GREEN WALL
- 16 SPANDREL WINDOWS
- 17 EXTERIOR LIGHT FIXTURE
- 18 FIRE-FINISHED METAL DOWNSPOUT
- 19 FIRE ALARM PANEL
- 20 KNOWN BOM PER FIRE DEPARTMENT STANDARDS



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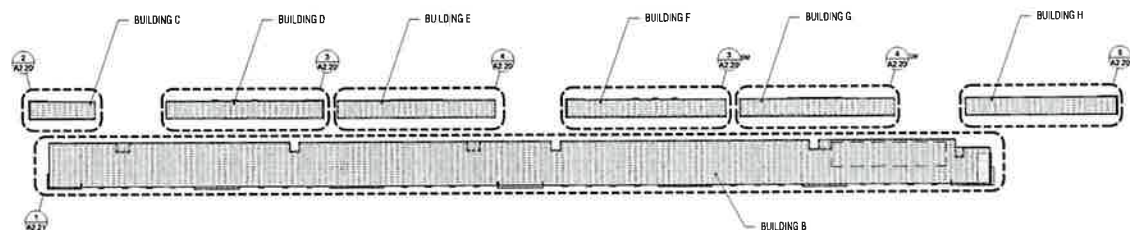
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MENIFEE WEST COAST SELF-STORAGE
NEW CONSTRUCTION
27669 JACOBSON AVENUE, MENIFEE, CA 92546
APP. 520,000 SQ. FT. (100,000 SQ. FT. PER BUILDING)
OFF PROJECT FILE NUMBER 127-101-003

NO.	DATE	BY
1	11/21/2023	1st DFP 10/18
2	03/17/2024	2nd DFP 10/18
3	04/27/2024	3rd DFP 10/18
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SCALE	AS NOTED
PLAN SCALE: 1/16"=1'-0"	
CAD FILE: 23-031.dwg	
JOB NUMBER: 23-002	
CHECKED: TWP	
DRAWN: JB	
ISSUED: PENDING REVIEW	

FLOOR PLAN
A2.11



VICINITY MAP

NOT TO SCALE

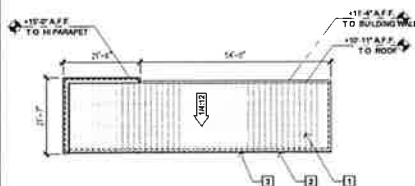


KEY LEGEND

- 1 STANDING SEAM METAL ROOF
- 2 PRE-FINISHED METAL GUTTER
- 3 PRE-FINISHED METAL DOWNSPOUT

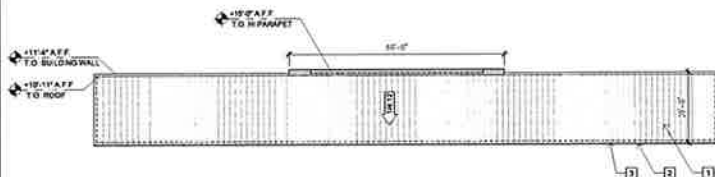
1 OVERALL ROOF PLAN

SCALE: 1/8"=1'-0"



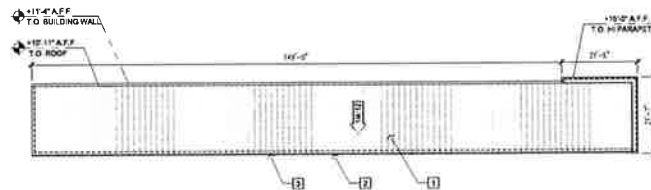
2 BUILDING C ROOF PLAN

SCALE: 1/16"=1'-0"



3 BUILDINGS D ROOF PLAN (BUILDING F, SIM, MIRRORRED)

SCALE: 1/16"=1'-0"



4 BUILDINGS E & G ROOF PLANS

SCALE: 1/16"=1'-0"

5 BUILDING H ROOF PLAN

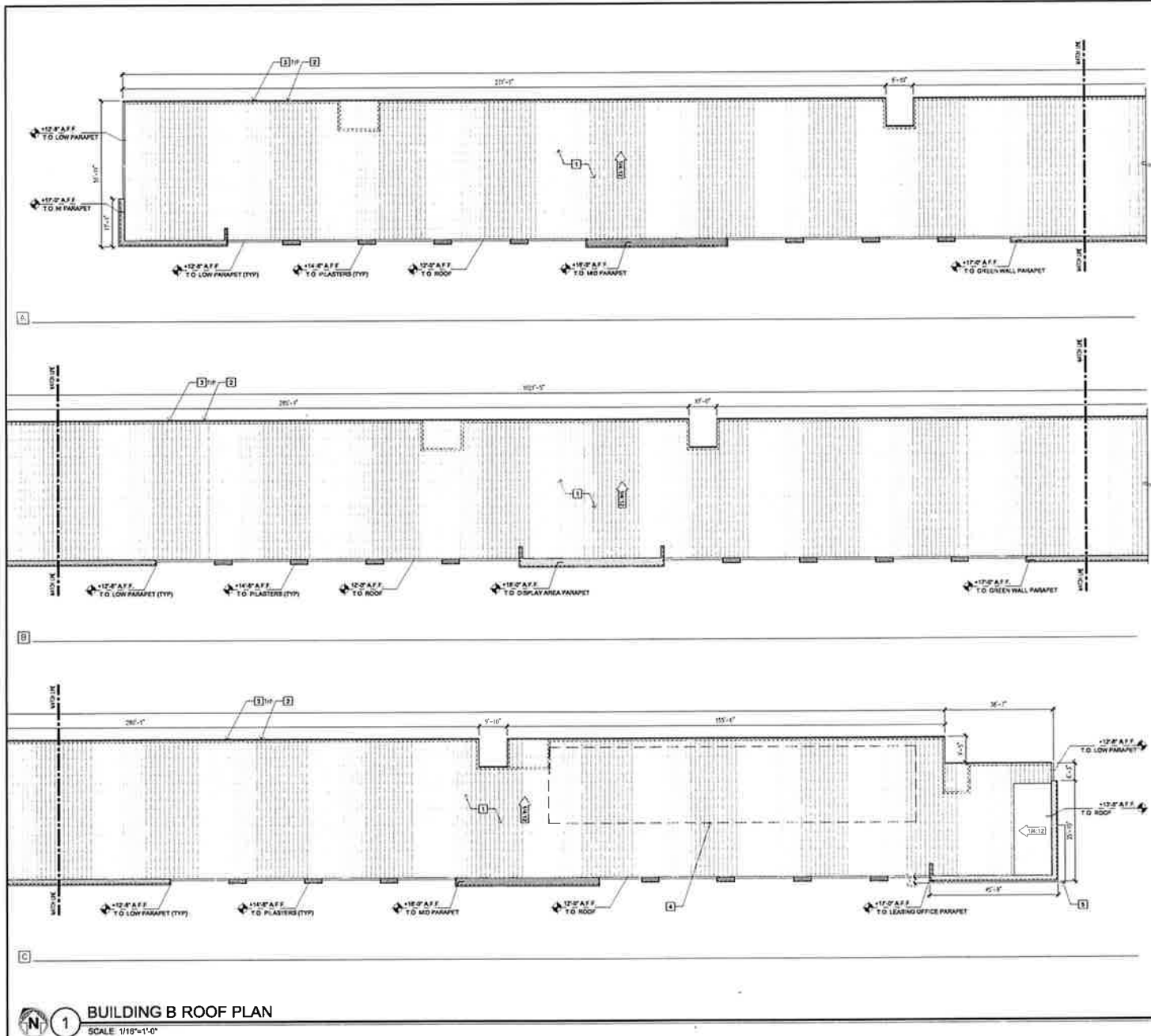
SCALE: 1/16"=1'-0"

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**MENIFEE WEST COAST
SELF-STORAGE**
NEW CONSTRUCTION
27849 JACOBSON AVENUE, MENIFEE, CA 92556
APR 10/14/2014 10:14 AM & 10:17 AM
CITY PROJECT FILE NUMBER: 1403-0175

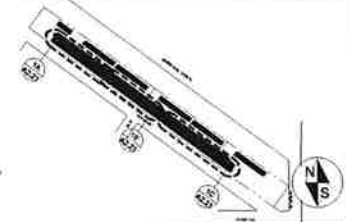
NO.	DATE	BY
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2	03/17/2014	2nd CUP: SW
3	06/17/2014	3rd CUP: SW
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SCALE	AS NOTED
PLOT DATE	2024-06
CAD FILE	23-031
DATE REVISION	23-1
CHECKED	
DRAWN	
SHEET NO	Pg. 1 of 10



KEY MAP

NOT TO SCALE



KEY LEGEND

- 1 STANDING SEAM METAL ROOF
- 2 PRE-FINISHED METAL CLUTTER
- 3 PRE-FINISHED METAL DOWNGUT
- 4 6" AFFER
- 5 SOLAR PANEL LOCATION
- 6 CANOPY BELOW



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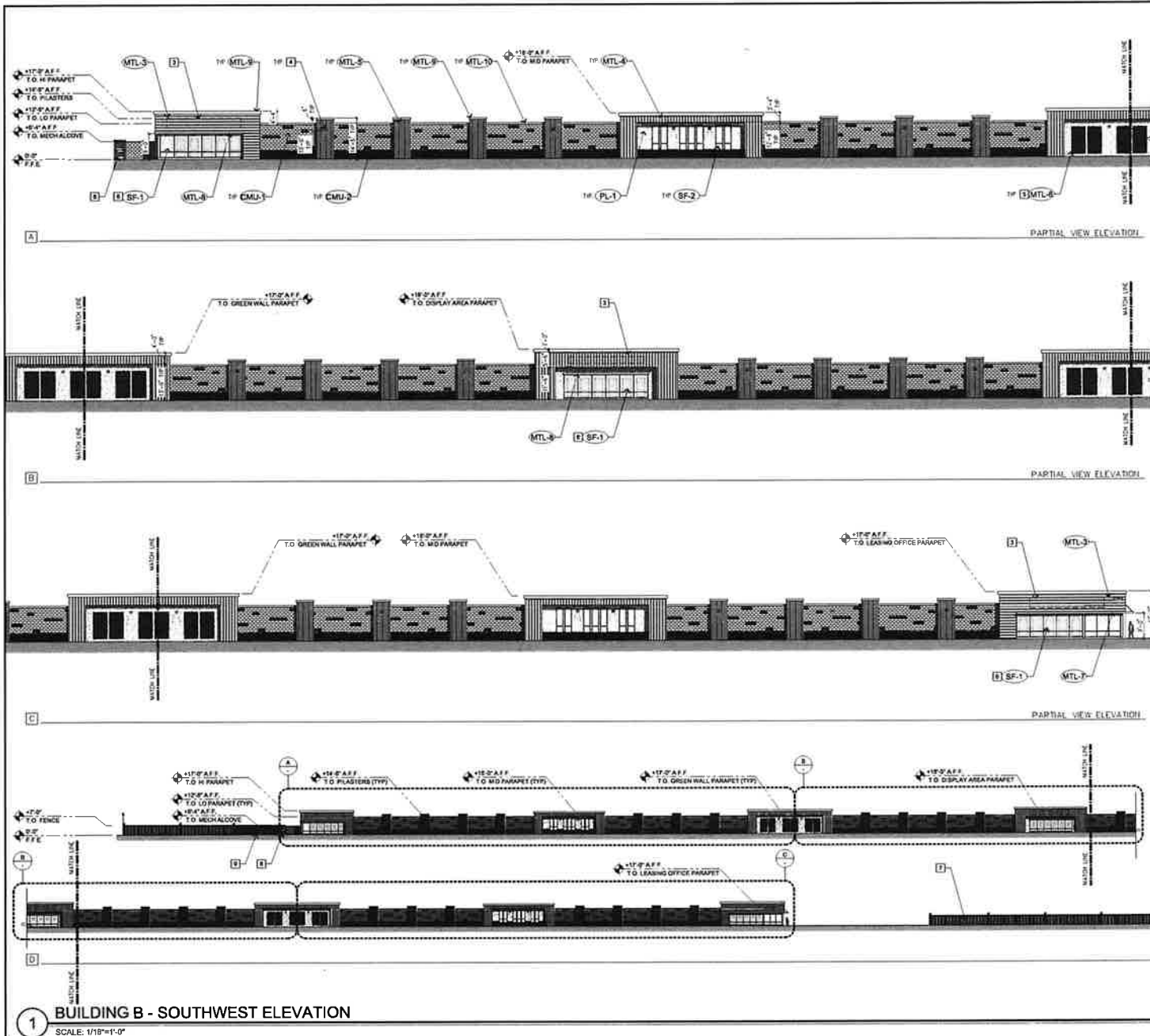
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**MENEFEE WEST COAST
SELF-STORAGE**
NEW CONSTRUCTION
27849 JACKSON AVENUE, MENEFEE, CA 92555

NO.	DATE	BY
1	11/25/2023	MD DFP DML
2	02/27/2024	MD DFP SLD
3	06/27/2024	MD DFP TMB
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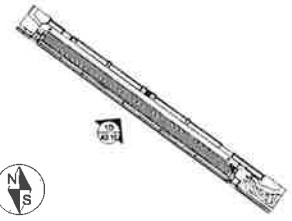
SCALE	AS NOTED
PLOT DATE	2024-06-26
CAD FILE	24-031_A1R
JOB NUMBER	23-002
CHECKED	TMB
DRAWN	MD
STATUS	PENDING REVIEW

ROOF PLAN
A2.21



KEY MAP

NOT TO SCALE



EXTERIOR FINISH SCHEDULE

ITEM NO.	DESCRIPTION	COLOR	FINISH
EW-1	8" SQUARE BRICK OR BLOCK BY ORCO (OR SAILORS)	BLACK (OR SAILORS)	CLEAR BRICK SEALER
EW-2	8" SQUARE BRICK OR BLOCK BY ORCO (OR SAILORS)	NATURAL GRAY, REDD PLANT (OR SAILORS)	CLEAR BRICK SEALER
CU-1	8" SQUARE BRICK OR BLOCK BY ORCO (OR SAILORS)	NATURAL GRAY, REDD PLANT (OR SAILORS)	CLEAR BRICK SEALER
EW-4	8" PRECISION CHU BLOCK BY ORCO (OR SAILORS)	NATURAL GRAY, REDD PLANT (OR SAILORS)	CLEAR BRICK SEALER
MTL-1	STANDING SEAM METAL ROOF PANELS	ASH GRAY (OR SAILORS)	PREFINISHED
MTL-2	STANDING SEAM METAL ROOF PANELS	ROYAL BLUE	PREFINISHED
MTL-3	LOCKED FACED METAL PANEL, HORIZONTAL, ENDS-1254 BY METAL SALES (OR SAILORS)	REGAL BLUE (OR SAILORS)	PREFINISHED
MTL-4	LOCKED FACED METAL PANEL, VERTICAL, ENDS-1254 BY METAL SALES (OR SAILORS)	PARCHMENT (OR SAILORS)	PREFINISHED
MTL-5	LOCKED FACED METAL PANEL, VERTICAL, ENDS-1254 BY METAL SALES (OR SAILORS)	OLD TOWN GRAY (OR SAILORS)	PREFINISHED
MTL-6	4" WIRE MESH (20-MESH BY MONOMOLS (OR SAILORS)	AT BLACK (OR SAILORS)	PREFINISHED
MTL-7	PREFINISHED METAL FLASHING BY MAPES (OR SAILORS)	DARK BRONZE	PREFINISHED
MTL-8	METAL CORNER	DARK BRONZE	PREFINISHED
MTL-9	METAL CAP FLASHING	DARK BRONZE	PREFINISHED
MTL-10	METAL CAP FLASHING	TO MATCH WHITE TRIM COLOR	PREFINISHED
PL-1	CEMENT PLASTER SYSTEM	SW BERRY BROWN BLUE (OR SAILORS)	20/30 SAND FINISHED FINISH
PL-2	CEMENT PLASTER SYSTEM	SW BERRY BROWN GRAY (OR SAILORS)	20/30 SAND FINISHED FINISH
SF-1	ALUMINUM STOREFRONT WITH VISION CLEAR TINT GLASS	DARK BRONZE	ANODIZED
SF-2	ALUMINUM STOREFRONT WITH SPANDREL TINT GLASS	DARK BRONZE	ANODIZED

NOTE:
1. ANTI-GRAFFITI FINISH: SHERWIN WILLIAMS ANTI-GRAFFITI COATING 1K SOLDKANE ADDED TO BOTTOM 10"-0" OF CHU WALLS.
2. ALL GRAFFITI ON THE SITE SHALL BE REMOVED OR PAINTED OVER TO MATCH THE COLOR OF THE SURFACE TO WHICH IT IS APPLIED WITHIN 24 HOURS OF ITS OCCURRENCE.

KEY LEGEND

1. LEADING OFFICE ENTRY
2. SELF-STORAGE ENTRY
3. PROPOSED SIGNAGE LOCATION (FOR REFERENCE ONLY, SIGNAGE UNDER SEPARATE PACKAGE)
4. LIGHTING FIXTURE RE. PHOTO-METRIC PLAN
5. WIRE MESH GREEN WALL
6. CLEAR VISION GLASS STOREFRONT WITH FAUX ROLL UP DOORS AT DISPLAY AREA
7. WROUGHT IRON FENCE PAINTED BLACK
8. MARGATE
9. VEHICULAR SPRING GATE

OVERALL SOUTHWEST EXTERIOR ELEVATION
SCALE: 3/8"=1'-0"



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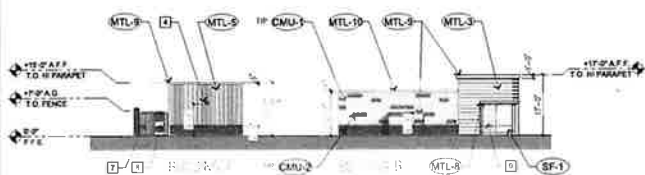
**MENIFEE WEST COAST
SELF-STORAGE**
NEW CONSTRUCTION
27841 JACKSON AVENUE, MENIFEE, CA 92556
ANY USE, 11/03/2024, 2:50:11 PM & 2:50:12 PM
CITY PROJECT FILE NUMBER: P2024-011

NO.	DATE	BY
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2	03/27/2024	ME GIP TUB
3	06/27/2024	ME GIP TUB

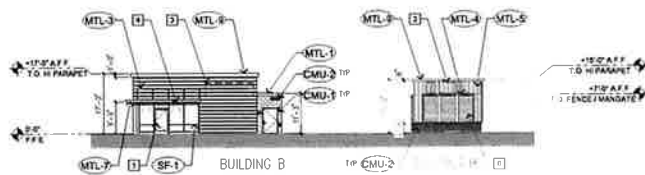
SCALE	AS NOTED
PLAN DATE	2024-06-25
CAD FILE	23-031_ML
JOB NUMBER	23-002
CHECKED	SM
DRAWN	JR
STATUS	PLANNING REVIEW

A3.10

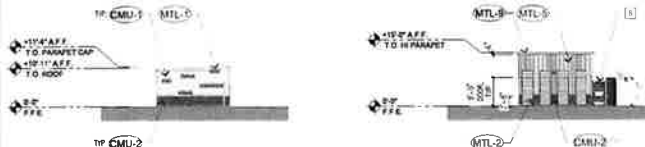
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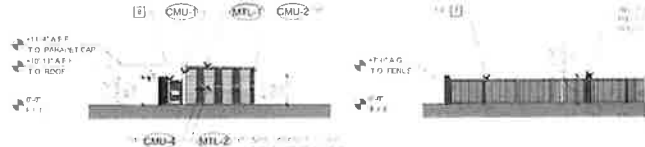
1 BUILDING ELEVATION - NORTHWEST INTERIOR (BLDG C & B)
SCALE: 1/16"=1'-0"



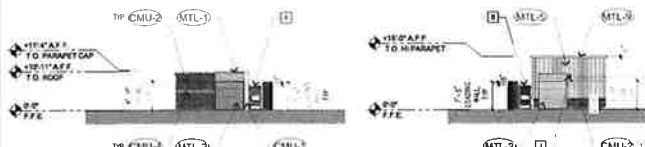
2 BUILDING ELEVATION - SOUTHEAST INTERIOR (BLDG B & H)
SCALE: 1/16"=1'-0"



3 BLDG C & G SOUTHEAST ELEV
SCALE: 1/16"=1'-0"



4 BUILDING D SOUTHEAST ELEV
SCALE: 1/16"=1'-0"



5 BLDG E & G NORTHWEST ELEV
SCALE: 1/16"=1'-0"



6 TYP. FENCE ELEV.
SCALE: 1/16"=1'-0"



7 BLDG E SOUTHEAST ELEV
SCALE: 1/16"=1'-0"

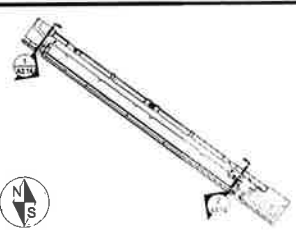


8 BLDG F NORTHWEST ELEV
SCALE: 1/16"=1'-0"



9 BUILDING H NORTHWEST ELEV
SCALE: 1/16"=1'-0"

KEY MAP



EXTERIOR FINISH SCHEDULE

MTL-1	DESCRIPTION	COLOR	FINISH
CMU-1	8" SPLIT FACE CMU BLOCK BY ORCO (OR SAILAR)	BLACK (OR SAILAR)	CLEAR BLOCK SEALER
CMU-2	8" SPLIT FACE CMU BLOCK BY ORCO (OR SAILAR)	NATURAL CRAY, RND PLANT (OR SAILAR)	CLEAR BLOCK SEALER
CMU-3	4" SPLIT FACE CMU CAP BY ORCO (OR SAILAR)	NATURAL CRAY, RND PLANT (OR SAILAR)	CLEAR BLOCK SEALER
CMU-4	8" PRECISION CMU BLOCK BY ORCO (OR SAILAR)	NATURAL CRAY, RND PLANT (OR SAILAR)	CLEAR BLOCK SEALER
MTL-5	STANDING SEAM METAL ROOF PANELS BY MCLEODY (OR SAILAR)	ASH GRAY (OR SAILAR)	PREFINISHED
MTL-7	STANDING SEAM METAL ROOF PANELS BY MCLEODY (OR SAILAR)	ROYAL BLUE	PREFINISHED
MTL-3	EXPOSED FACED METAL PANEL, HORIZONTAL, EMIS-1204 BY METAL SALES (OR SAILAR)	REGAL BLUE (OR SAILAR)	PREFINISHED
MTL-4	EXPOSED FACED METAL PANEL, VERTICAL, EMIS-1204 BY METAL SALES (OR SAILAR)	PARCHMENT (OR SAILAR)	PREFINISHED
MTL-5	EXPOSED FACED METAL PANEL, VERTICAL, EMIS-1204 BY METAL SALES (OR SAILAR)	OLD TOWN GREY (OR SAILAR)	PREFINISHED
MTL-6	4X4 WIRE MESH (COARSE) BY WIREWORKS (OR SAILAR)	ALL BLACK (OR SAILAR)	PREFINISHED
MTL-7	PREFINISHED METAL CANOPY BY HANES (OR SAILAR)	BARK BRONZE	PREFINISHED
MTL-8	METAL CORNER	BARK BRONZE	PREFINISHED
MTL-9	METAL CAP FLASHING	BARK BRONZE	PREFINISHED
MTL-10	METAL CAP FLASHING	TO MATCH WALL FINISH	PREFINISHED
PL-1	CEMENT PLASTER SYSTEM	TW DEW DOWDY BLUE (OR SAILAR)	20/30 SAND STUCCO FINISH
PL-2	CEMENT PLASTER SYSTEM	TW DEW GATEWAY ORCH (OR SAILAR)	20/30 SAND STUCCO FINISH
SJ-1	ALUMINUM STOREFRONT WITH VISION CLEAR TEMP GLASS	BARK BRONZE	ANODIZED
SF-2	ALUMINUM STOREFRONT WITH SPANDREL TEMP GLASS	BARK BRONZE	ANODIZED

KEY LEGEND

- [1] LEASING OFFICE ENTRY
- [2] SELF-STORAGE ENTRY
- [3] PROPOSED SIGNAGE LOCATION (FOR REFERENCE ONLY, SIGNAGE UNDER SEPARATE PACKAGE)
- [4] LIGHTING FIXTURE, RE. PHOTOMETRIC PLAN
- [5] WIRE MESH GREEN WALL
- [6] FAULT ROLL UP DOORS AT TOWER / ON WALL
- [7] WROUGHT IRON FENCE, PAINTED BLACK
- [8] MANGATE
- [9] CLEAR VISION GLASS STOREFRONT WITH FAULT ROLL UP DOORS AT DISPLAY AREA

Magellan
ARCHITECTURE
27000 JACOBSON AVENUE, MENIFEE, CA 92555
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www.magellanarch.com

MENIFEE WEST COAST SELF-STORAGE
NEW CONSTRUCTION
27000 JACOBSON AVENUE, MENIFEE, CA 92555
Tel: (951) 512-9600
Fax: (951) 512-9601
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NO.	DATE	BY
1	01/21/2024	1st EDP: TMB
2	02/27/2024	2nd EDP: TMB
3	06/27/2024	3rd EDP: TMB

SCALE	AS NOTED
PLAT DATE	2024-04-26
CAD FILE	25-001.dwg
JOB NUMBER	23-062
CHECKED	TMB
DESIGN	JTB
STATUS	PENDING REVIEW



1 CEMENT PLASTER
COLOR: (A) DIGNITY BLUE SW 6804 (PL-1) (OR SIM);
(B) GATEWAY GRAY SW7644 (PL-2) (OR SIM)
FINISH: 20/30 SAND



4 METAL PARAPET CAP [MTL-9 / MTL-10] / METAL CORNICE [MTL-8]
METAL SALES (OR SIM)
COLOR: DARK BRONZE [MTL-8 / MTL-9] OR TO MATCH
WALL FINISH COLOR [MTL-10] (OR SIM)



7 CONCEALED FASTENED METAL WALL - VERTICALLY
ORIENTED, BOX RIB PROFILE [MTL-5]
METAL SALES, EMPIRE SERIES, EM15-126 (OR SIM)
COLOR: OLD TOWN GREY (OR SIM)



10 PREFABRICATED METAL CANOPY [MTL-7]
MAPES
COLOR: DARK BRONZE



13 ALUMINUM STOREFRONT
SPANDREL GLASS [SF-2]
COLOR: ALUMINUM, DARK
BRONZE
GLASS: SNOW WHITE



2 8' CMU WALL - SPLIT FACE [CMU-1]
ORCO (OR SIM)
COLOR: BLACK (OR SIM)



5 CONCEALED FASTENED METAL WALL - HORIZONTALLY
ORIENTED, BOX RIB PROFILE [MTL-3]
METAL SALES, EMPIRE SERIES, EM15-1284 (OR SIM)
COLOR: REGAL BLUE (OR SIM)



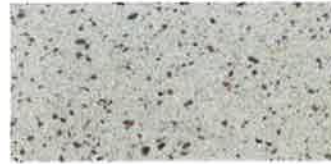
8 ALUMINUM STOREFRONT [SF-1]
CLEAR VISION GLASS
COLOR: DARK BRONZE



11 WALL MOUNT LIGHT DARK SKY COMPLIANT
US LED (OR SIM)
ECONIGHT3 (OR SIM)



14 8' CMU - PRECISION [CMU-4]
ORCO (OR SIM)
COLOR: NATURAL GRAY



3 8' CMU - SPLIT FACE [CMU-2], 4' CMU FENCE
WALL CAP - SPLIT FACE [CMU-3]
ORCO (OR SIM)
COLOR: NATURAL GRAY INDIO PLANT (OR SIM)



6 CONCEALED FASTENED METAL WALL - VERTICALLY
ORIENTED, BOX RIB PROFILE [MTL-4]
METAL SALES, EMPIRE SERIES, EM15-1284 (OR SIM)
COLOR: PARCHMENT (OR SIM)



9 EXTERIOR DOOR/ROLL-UP DOOR [MTL-2]
JANUS
COLOR: ROYAL BLUE



12 STANDING SEAM METAL ROOF [MTL-1]
MCELROY, TRAP TEE (OR SIM)
COLOR: ASH GRAY (OR SIM)



15 4'X8' WIRE MESH GREEN WALL [MTL-5]
MCNICHOLS, ECO-MESH (OR SIM)
COLOR: JET BLACK (OR SIM)



1 PARTIAL SOUTHWEST ELEVATION
SCALE: 3/32" = 1'-0"



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18684 JEFFERSON AVE
FOCUS ON VALUE, CALIFORNIA 92798
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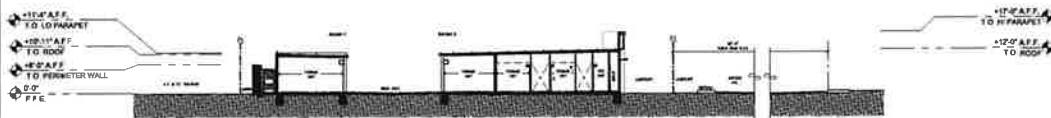
**MENIFEE WEST COAST
SELF-STORAGE**
NEW CONSTRUCTION
27869 JACKSON AVENUE, MENIFEE, CA 92555

ARCHITECT: MENIFEE WEST COAST SELF-STORAGE
DATE: 10/20/2023
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
SCALE: 3/32" = 1'-0"

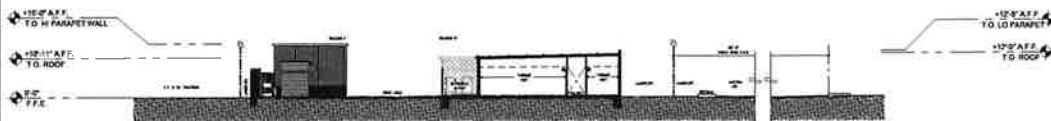


ARCHITECTURAL
DRAWING

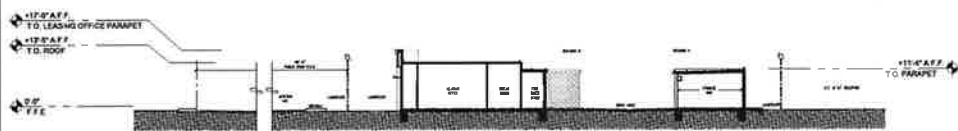
A3.30



1 BUILDING SECTION
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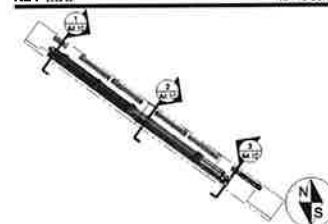
2 BUILDING SECTION
SCALE: 1/16"=1'-0"



3 BUILDING SECTION
SCALE: 1/16"=1'-0"

KEY MAP

NOT TO SCALE



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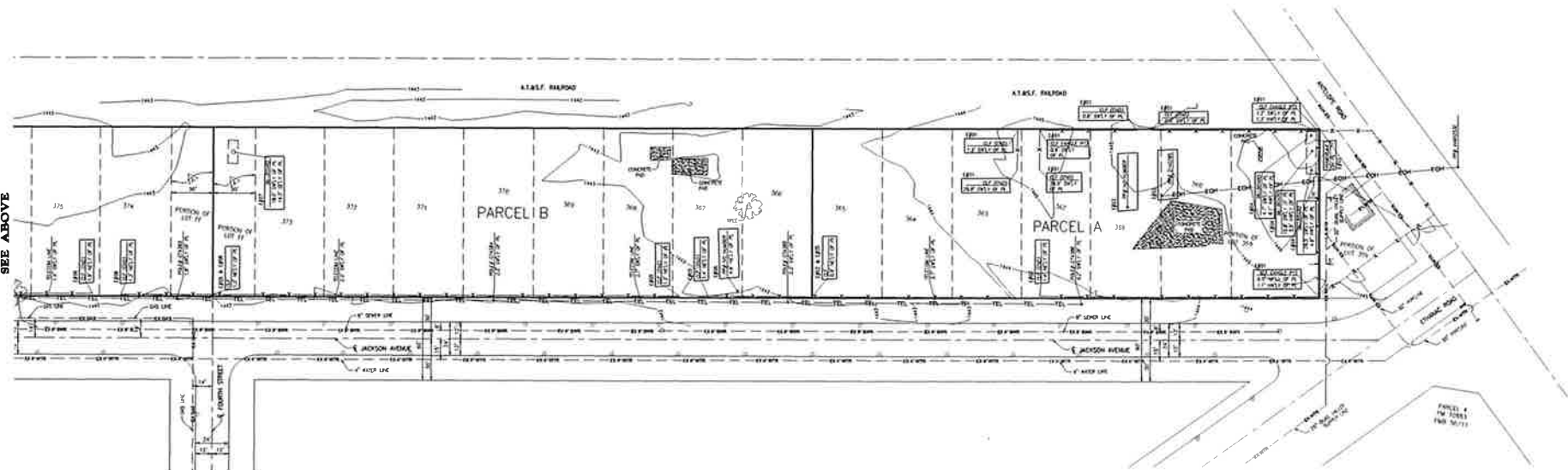
**MENIFEE WEST COAST
SELF-STORAGE**
NEW CONSTRUCTION
27900 JACOBSON AVENUE, MENIFEE, CA 92555
ARCHITECT: MAGELLAN ARCHITECTURE
CITY: MENIFEE, CALIFORNIA

REVISIONS		
NO.	DATE	BY
1	01/21/2023	1st DFP JMB
2	03/27/2024	2nd DFP JMB
3	06/27/2024	3rd DFP JMB
4		
5		
ISSUE DATES		
DESIGN APPROVAL		
PERMIT SUBMITTAL		
PERMIT RECEIVED		
BO DOCS		
CONSTR. DOCS		

SCALE	AS NOTED
PLAT DATE	2024-06-25
CAD FILE	24-001.dwg
JOB NUMBER	24-001
CHECKED	SMJ
DRAWN	JMB
STATUS	PLANNING REVIEW

BUILDING SECTION
A4.10

SEE BELOW

[illegible]

adkan
ENGINEERS
Civil Engineering • Surveying • Planning
4410 Airport Blvd., Alhambra, CA 91804
Tel: (911) 498-0243 / Fax (911) 498-0251

A.L.T.A. SURVEY	
PORTIONS OF LOTS 359 THROUGH 385, INCLUSIVE, AND PORTIONS OF LOTS "EE" AND "TT" OF THE RE-SUBDIVISION OF A PORTION OF BOWLA FARMS, M.B. 15/87, RECORDS OF RIVERSIDE COUNTY, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, CALIFORNIA.	
CLIENT: NORTHWEST BUILDING, LLC	

SHEET
2
OF
2
SHEETS
10496

CONCEPTUAL GRADING PLAN FOR: MENIFEE WEST COAST SELF-STORAGE



ABBREVIATIONS

AC	ASPHALT CONCRETE PAVEMENT
BSL	BUILDING SETBACK LINE
CF	CURB FACE
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
FS	FINISHED SURFACE
GB	GRADE BREAK
INV	PIPE INVERT ELEVATION
NG	NATURAL GROUND
PAD	PAD ELEVATION
PCC	PORTLAND CEMENT CONCRETE
PL	PROPERTY LINE
PP	POWER POLE
R/W	RIGHT-OF-WAY
SEP	SEPARATE
STD	STANDARD
TC	TOP OF CURB
TF	TOP OF FOOTING
TR	TOP OF RETAINED SURFACE
TW	TOP OF WALL

LEGEND

XXXX	PROPOSED ELEVATION
(XXXX)	EXISTING ELEVATION
---	PROPERTY LINE (PROPERTY IN QUESTION)
---	PROPERTY LINE (OTHER)
---	RIGHT-OF-WAY
---	CENTERLINE
---	EXISTING CONTOUR (1')
---	EXISTING CONTOUR (5')
---	EXISTING CURB OR GUTTER
---	EXISTING FLOWLINE
---	EXISTING AC PAVEMENT
---	EXISTING PCC PAVEMENT
---	EXISTING WALL
---	EXISTING (X" TYPE) WATER LINE
---	EXISTING (X" TYPE) SEWER LINE
---	EXISTING (X") GAS LINE
---	EXISTING TELEPHONE LINE
---	EXISTING ELECTRIC LINE
---	EXISTING CABLE LINE
---	EXISTING POWER POLY/UTILITY POLE
---	EXISTING VALVE
---	EXISTING SIGN
---	PROPOSED BUILDING
---	PROPOSED HARDSCAPE
---	PROPOSED WALL

GRADING QUANTITIES

EARTHWORK	CUT	FILL
	1500 CY	1500 CY
	NO EXPORT ANTICUT/	FILL USED ON SITE

SITE DATA

GROSS DISTURBED ACREAGE: 4.06 ACRES
NET DISTURBED ACREAGE: 4.06 ACRES
FLOOD ZONE: ZONE X, PANEL 06065C060H 08/10/2014

STATEMENT OF PURPOSE

THE PURPOSE OF THIS PLAN IS TO SHOW THE DESIGN CONCEPT FOR GRADING AND DRAINAGE FOR A NEW SELF-STORAGE FACILITY. THE PLAN INCLUDES A PRELIMINARY DESIGN FOR BUILDING PADS, PROVISION FOR DRAINAGE, WATER QUALITY FEATURES, SLOPES, HARDSCAPE AND WALLS.

OWNER/DEVELOPER:

NWB MENIFEE, LLC
10320 N. POINTS DRIVE #400
KIRKLAND, WA 98033
CONTACT: MATT MOTTAND
PH: 253-551-1054
MMOTTAND@NWBLLD.COM

ARCHITECT:

MACELLAN ARCHITECTS
10540 TALBERT AVENUE #105
FOUNTAIN VALLEY, CA 92708
CONTACT: SORLANDA MORDON VALEZ
PH: 949-356-8600
CAPROJECTS@MACELLANARCHITECTS.COM

SOIL ENGINEERING:

GILES ENGINEER ASSOCIATES, INC.
733 W. TART AVENUE
ORANGE, CA 92665
CONTACT: JOHN MAIER
PH: 714-275-0707
JMAIER@GILESINC.COM
PROJECT: SC 13856066

SOURCE OF SURVEY:

ADKIN ENGINEERS
6825 AIRPORT DRIVE
RIVERSIDE, CA 92504
PH: 951-488-0341
DATE: AUGUST 2013

UTILITY COMPANIES

EASTERN MUNICIPAL WATER DISTRICT
(WATER, SEWER, RECYCLED WATER)
2270 TRUMBULL ROAD
FERRIS, CA 95770
PHONE: 951-918-3777

FRONTIER COMMUNICATIONS
PHONE: 1-877-530-0911

SOUTHERN CALIFORNIA Edison
26100 MENIFEE ROAD
MENIFEE, CA 92585
PHONE: 1-800-655-4555

SOUTHERN CALIFORNIA GAS COMPANY
PHONE: 1-800-427-3200

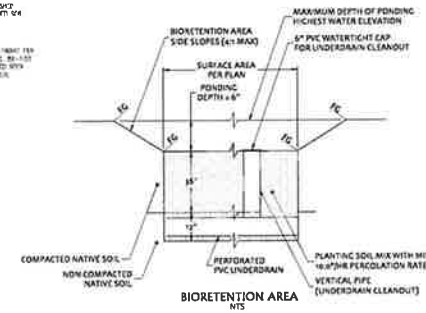
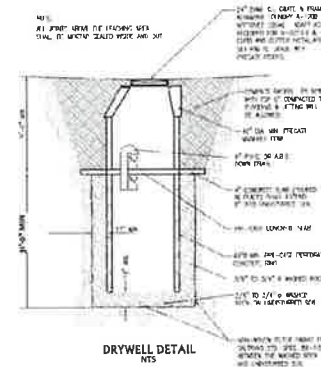
TRASH
WASTE MANAGEMENT
PHONE: 1-800-423-9986

BASIS OF BEARINGS:

THE CENTERLINE OF ANTELOPE ROAD BEING NORTH 00°07'08" EAST PER PARCEL MAP NO. 37992, FILED IN BOOK 156 OF PARCEL MAPS, AT PAGES 34 THROUGH 38, INCLUSIVE, RECORDS OF RIVERSIDE COUNTY, WAS HELD AS THE BASIS OF BEARINGS FOR THIS MAP.

BENCHMARK:

600-31 (08/07)
BRASS DISK STAMPED 600-31-68 IN TOP OF CONCRETE POST.
2 MILES NORTH FROM SUN CITY, 3 MILES NORTH ON MURRIETA ROAD FROM CATHOLIC CHURCH IN SUN CITY, 700 FEET NORTH OF INTERSECTION OF MURRIETA ROAD AND ETHANAC ROAD, 40 FEET WEST OF MURRIETA ROAD AND LEVEL WITH ROAD, 5 FEET NORTHEAST OF THE SOUTHEAST CORNER OF 8 FOOT CHAIN LINK FENCE OF EXISTING PUMPING STATION, 3 FEET NORTH OF A MARKER POST.
1988 ELEVATION: 1416.9



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENIFEE IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A:

LOTS 359 THROUGH 364, INCLUSIVE, AS SHOWN ON THE MAP OF RESUBDIVISION OF A PORTION OF ROMOLA, IN THE CITY OF MENIFEE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 15, PAGE 67 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM THAT PORTION OF LOT 359 DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE NORTH RIGHT OF WAY LINE OF ETHANAC ROAD WITH THE WEST RIGHT OF WAY LINE OF ANTELOPE ROAD AS SHOWN ON SAID MAP; THENCE NORTH 0° 34' WEST, A DISTANCE OF 18.33 FEET, MORE OR LESS, ALONG SAID WEST RIGHT OF WAY LINE OF ANTELOPE ROAD, TO THE NORTHEASTERLY BOUNDARY LINE OF SAID LOT 359; THENCE SOUTH 35° 59' WEST, A DISTANCE OF 122.00 FEET, MORE OR LESS TO AN INTERSECTION WITH THE NORTHEASTERLY RIGHT OF WAY LINE OF JACOBSON AVENUE AS SHOWN ON SAID MAP; THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE OF JACOBSON AVENUE TO AN INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF SAID ETHANAC ROAD; THENCE EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE OF ETHANAC ROAD TO THE POINT OF BEGINNING FOR THIS PARCEL DESCRIPTION.
APN 329-141-003

PARCEL B:

LOTS 365 THROUGH 373, INCLUSIVE, AS SHOWN ON THE MAP OF RESUBDIVISION OF A PORTION OF ROMOLA, IN THE CITY OF MENIFEE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 15, PAGE 67 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF THE NORTHEASTERLY ONE-HALF OF LOT 373 DESIGNATED AS FOURTH STREET, AS SHOWN ON SAID MAP OF RESUBDIVISION OF A PORTION OF ROMOLA, VACATED BY RESOLUTION NO. 81-196, RECORDED JULY 16, 1981 AS INSTRUMENT NO. 127840 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LOT 373.
APN 329-141-008

PARCEL C:

LOTS 374 THROUGH 385, INCLUSIVE, AS SHOWN ON THE MAP OF RESUBDIVISION OF A PORTION OF ROMOLA, IN THE CITY OF MENIFEE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 15, PAGE 67 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF THE NORTHEASTERLY ONE-HALF OF LOT 374 DESIGNATED AS FOURTH STREET, AS SHOWN ON SAID MAP OF RESUBDIVISION OF A PORTION OF ROMOLA, VACATED BY RESOLUTION NO. 81-196, RECORDED JULY 16, 1981 AS INSTRUMENT NO. 127840 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LOT 374, ALSO TOGETHER WITH THAT PORTION OF THE SOUTHEASTERLY ONE-HALF OF LOT 374 DESIGNATED AS THIRD STREET, AS SHOWN ON SAID MAP OF RESUBDIVISION OF A PORTION OF ROMOLA, VACATED BY RESOLUTION NO. 88-55, RECORDED FEBRUARY 15, 1988 AS INSTRUMENT NO. 45176 OF OFFICIAL RECORDS, WHICH WOULD PASS BY OPERATION OF LAW UPON CONVEYANCE OF SAID LOT 385.
APN 329-173-011



REVISIONS			
NO.	DESCRIPTION	DATE	BY (JAFS)

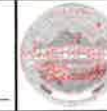


VISION CIVIL ENGINEERING
13223 11TH STREET
YUCCA, CA 92399
PH: 951-748-1505

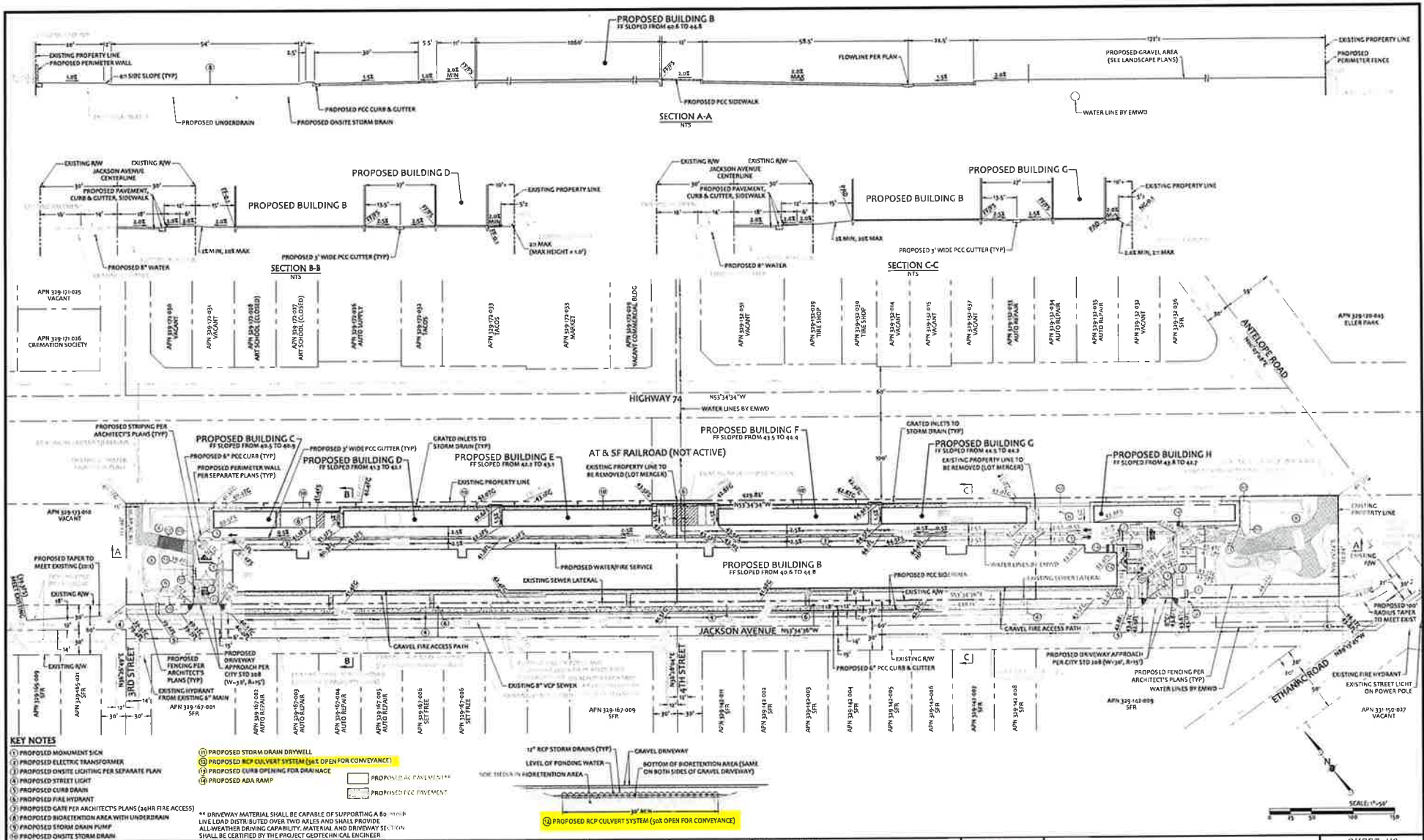


SCALE	1" = 30'
DESIGN	JAF
DRAWN	DAK
CHECKED	JAF
APPROVED	---
DATE	6/29/2014

CITY OF MENIFEE
RECOMMENDED BY: _____ DATE: _____



CITY OF MENIFEE		SHEET NO.
MENIFEE WEST COAST SELF-STORAGE APN 329-141-003, 329-141-008, 329-173-011 CONCEPTUAL GRADING PLAN		1 1 of 2
		PROJECT NO: PLN23-0215



KEY NOTES

1. PROPOSED MONUMENT SIGN
2. PROPOSED ELECTRIC TRANSFORMER
3. PROPOSED ONSITE LIGHTING PER SEPARATE PLAN
4. PROPOSED STREET LIGHT
5. PROPOSED CURB DRAIN
6. PROPOSED FIRE HYDRANT
7. PROPOSED GATE PER ARCHITECT'S PLANS (44IN FIRE ACCESS)
8. PROPOSED BIOTENTION AREA WITH UNDERDRAIN
9. PROPOSED STORM DRAIN PUMP
10. PROPOSED ONSITE STORM DRAIN

11. PROPOSED STORM DRAIN DRYWELL
12. PROPOSED RCP CULVERT SYSTEM (GAS OPEN FOR CONVEYANCE)
13. PROPOSED CURB OPENING FOR DRAINAGE
14. PROPOSED ADA RAMP

15. DRIVEWAY MATERIAL SHALL BE CAPABLE OF SUPPORTING A 80,000 LB LOAD DISTRIBUTED OVER TWO AXLES AND SHALL PROVIDE ALL-WEATHER DRIVING CAPABILITY. MATERIAL AND DRIVEWAY SECTION SHALL BE CERTIFIED BY THE PROJECT GEOTECHNICAL ENGINEER.

PROPOSED PAVEMENT**

PROPOSED PCC PAVEMENT

16. RCP STORM DRAINS (TYP)

LEVEL OF PONDING WATER

17. RCP CULVERT SYSTEM (GAS OPEN FOR CONVEYANCE)



REVISIONS	DESCRIPTION	DATE	BY	APP'D
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				



VISION CIVIL ENGINEERING
2727 15TH STREET
MILWAUKEE, WI 53219
PH: 414.381.1900



SCALE: 1" = 40'
DESIGN: J.K.
CHECKED: J.K.
APPROVED: J.K.
DATE: 7/29/2024

CITY OF MENIFEE

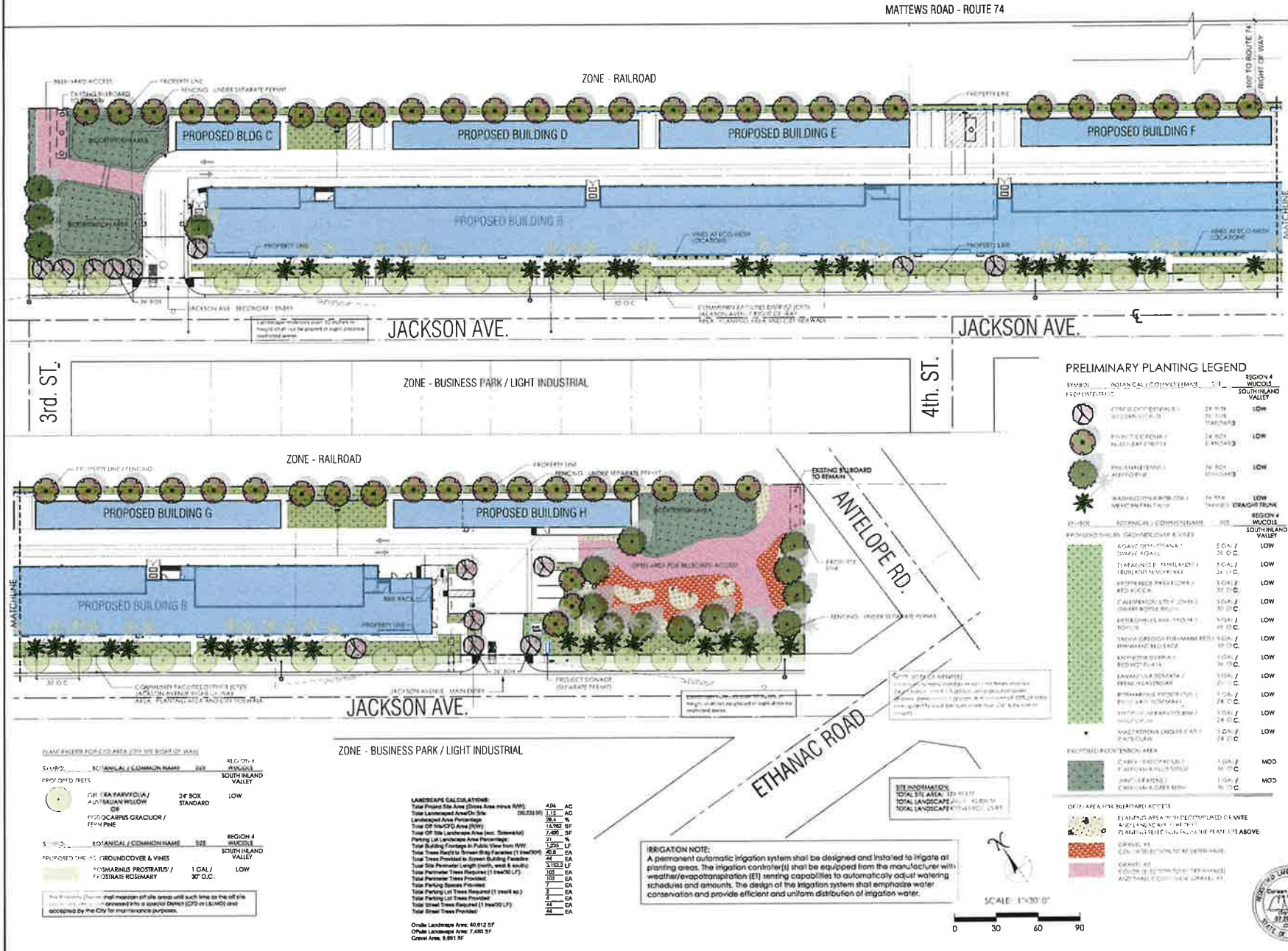


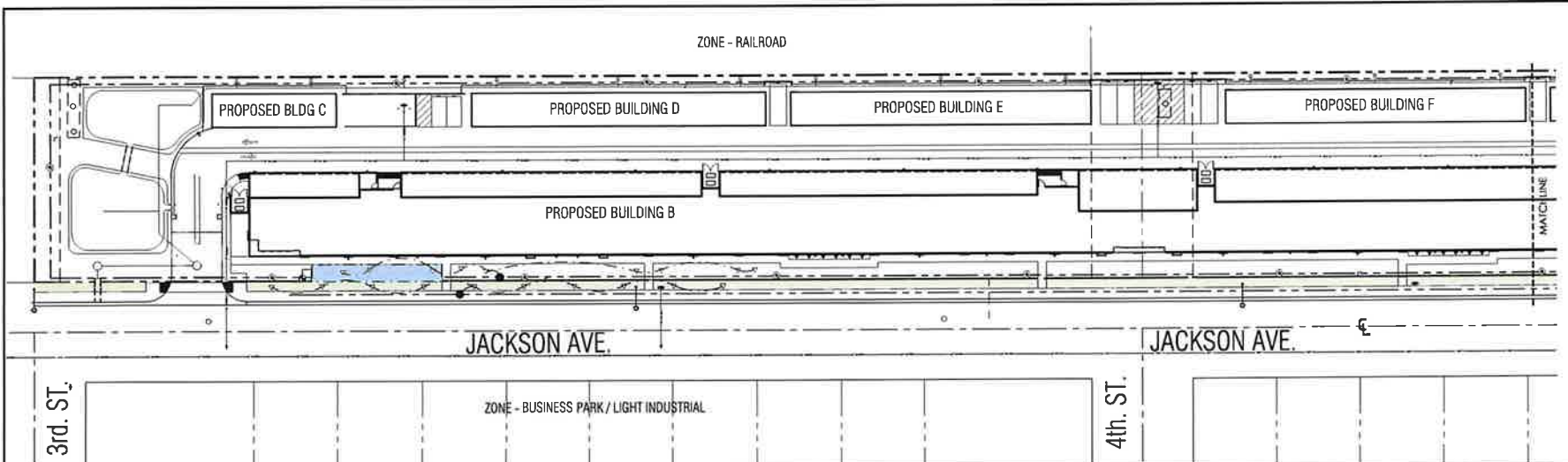
RECOMMENDED BY: DATE:



CITY OF MENIFEE
MENIFEE WEST COAST SELF-STORAGE
APN 329-141-003, 329-141-008, 329-173-011
CONCEPTUAL GRADING PLAN

SHEET NO.
2
2 of 2
PROJECT: PLN23-0215





IRRIGATION SYSTEM DESIGN STATEMENT

A permanent automatic irrigation system shall be designed and installed to irrigate all planting areas. The irrigation controller(s) shall be equipped from the manufacturer with weather/evapotranspiration (ET) sensing capabilities to automatically adjust watering schedules and amounts. The design of the irrigation system shall emphasize water conservation and provide efficient and uniform distribution of irrigation water. If the site is planned to utilize recycled water in the landscape, then the irrigation system shall be designed in accordance with State of California and Eastern Municipal Water District (EMWD) rules and regulations for recycled water use.

Drig, push to park, outdoor, or other low-volume, low-pressure micro-irrigation system as approved by the City of Menifee and EMWD, shall be installed to provide water directly to the root zone of plants. The irrigation system may utilize efficient emitter nozzles in large planting areas, subject to the approval of EMWD and the City. The automatic irrigation system shall be designed in accordance with the City of Menifee Ordinance No. 2009-01, "Landscape Water Use Efficiency Requirements," and Landscape Standards.

For all other planting areas where landscape irrigation, a reduced pressure backflow preventer shall be installed after the water meter to protect the potable water supply in accordance with State of California, City of Menifee, and EMWD standards and requirements.

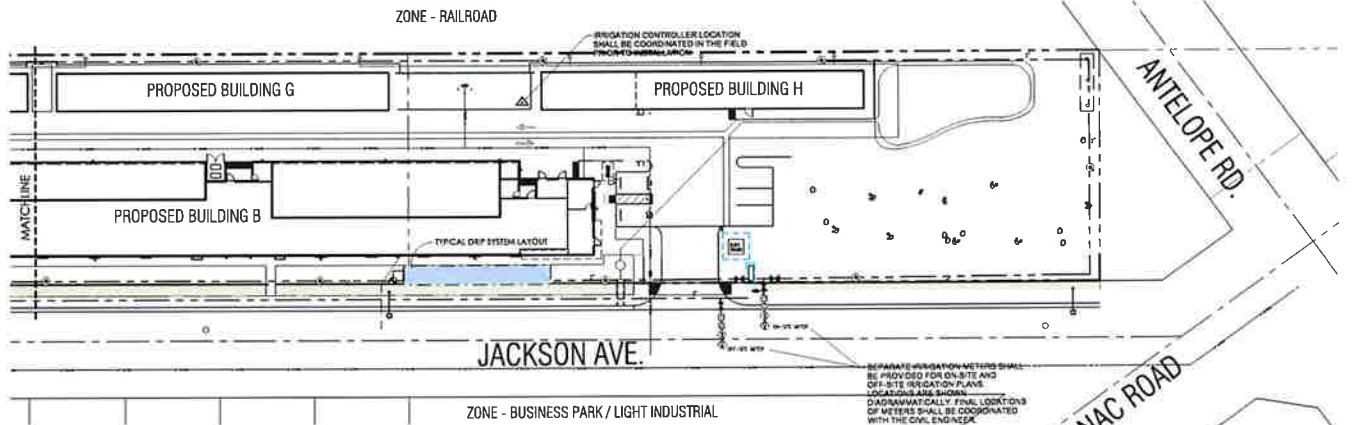
LANDSCAPE MAINTENANCE AND SEPARATION NOTE-LOP:

The Landscape Concept Plan indicates landscape improvements for both on-site and off-site (public right-of-way, streets, etc.) areas. The Property Owner shall maintain all site areas until such time as the off-site landscape areas are accepted into a Special District (CD or L&MS) and accepted by the City for maintenance purposes. The Property Owner acknowledges that separate water and electric meters for irrigation use are required to be installed by the Owner prior to the City's acceptance of the off-site areas for maintenance by the Special District. In addition, Property Owner acknowledges that costs for annexation into the Special District, and installation of the irrigation water and electric meters, shall be borne by the Property Owner.

Landscape improvements in off-site areas (public right-of-way) shall be accepted from privately-maintained on-site landscape areas with a City standard, continuous concrete curb (8" x 12") along the property line (on site).

Water Efficient Landscape Worksheet (Simplified)

Reference #	Plant Species	Plant Factor (PF)	Planting Method (M)	Planting Density (PD)	Planting Area (PA)	Planting Area (PA) x PF x PD	Planting Area (PA) x PF x PD	Planting Area (PA) x PF x PD
1	Hydrangea	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
2	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
3	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
4	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
5	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
6	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
7	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
8	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
9	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
10	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
11	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
12	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
13	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
14	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
15	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
16	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
17	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
18	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
19	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
20	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
21	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
22	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
23	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
24	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
25	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
26	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
27	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
28	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
29	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
30	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
31	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
32	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
33	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
34	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
35	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
36	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
37	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
38	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
39	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
40	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
41	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
42	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
43	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
44	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
45	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
46	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
47	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
48	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
49	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
50	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
51	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
52	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
53	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
54	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
55	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
56	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
57	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
58	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
59	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
60	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
61	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
62	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
63	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
64	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
65	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
66	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
67	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
68	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
69	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
70	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
71	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
72	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
73	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
74	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
75	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
76	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
77	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
78	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
79	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
80	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
81	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
82	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
83	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
84	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
85	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
86	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
87	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
88	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
89	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
90	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
91	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
92	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
93	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
94	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
95	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
96	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
97	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
98	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
99	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106
100	Redbud	0.5	Shrub	0.85	0.25	0.106	0.106	0.106

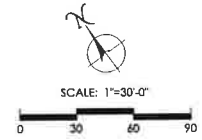


PRELIMINARY IRRIGATION MATERIAL LEGEND

- | SYMBOL | MANUFACT. | MODEL NO. / DESCRIPTION |
|--------|-------------|--|
| ⊙ | P.O.C. | 1" DOMESTIC WATER IRRIGATION METER WITH A 2" SERVICE LINE, VERIFY SIZE, LOCATION, AND STATIC WATER PRESSURE IN FIELD |
| ⊙ | WATS | 00901 SERIES, 1-1/2" R/P BACKFLOW PREVENTION ASSEMBLY WITH MOD. 777 1-1/2" WYE STRAINER |
| ⊙ | V.L.T. | STRONG BOX 386-CAL ALUMINUM BACKFLOW DEVICE ENCLOSURE |
| ⊙ | GRS | 2230 1-1/2" NORMALLY CLOSED PRESSURE REDUCING MASTER CONTROL VALVE |
| ⊙ | RAIN MASTER | RS-120, 1-1/2" FLOW SENSOR, INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND WIRE TO CONTROLLER USING EV-CABLES CABLE, INSTALLED WITHIN 1" PVC CONDUIT |
| ⊙ | WATS | 8-6000 SS-SH, 2" FULL PORT BRONZE BALL VALVE, WITH STAINLESS STEEL BALL, STEM AND HANDLE, LNE SITE |
| ⊙ | RAIN BRD | EXP-1000-F (WITH FLOW METER MODULE) 1/2" LB MODULAR SERIES CONSOLE VALVE ASSEMBLY WITH 12 SOXON BASE UNIT WITH ADDITIONAL MODULES TO ACCOMMODATE 24 STATIONS, INSTALLED WITHIN FEETAL MOUNTED CABINET, AS PART OF ASSEMBLY. (INSTALL 1/4" CARTRIDGE PROVIDED TO COORDINATE WEATHER DATA) |
| ⊙ | AS APPROVED | PVC PIPE 3/4" - 2" SCHEDULE 40 AS LATERAL (UNLESS 1" BELOW GRADE - FOR TREE BURLERS) |
| ⊙ | AS APPROVED | PVC PIPE 2" CLASS 315 AS MAINLINES 18" BELOW GRADE |
| ⊙ | RAIN BRD | XIC-100-A-COM SERIES DRIP VALVE ASSEMBLY, SIZE AS SHOWN, ASSEMBLY INCLUDES RAIN BRD PRESS RCV, 200 MESH STAINLESS STEEL SCREEN FILTER AND RAIN BRD PRESSURE REGULATOR |
| ⊙ | RAIN BRD | PEB (17) SERIES PLASTIC REMOTE CONTROL VALVE |
| ⊙ | RAIN BRD | 30-DRIC QUICK COUPLER VALVE |
| ⊙ | TORO | 10-58-4-PCS LOW FLOW STREAM RUBBER NOZZLES ON 4" POP UP HEAD, EACH SYMBOL REPRESENTS TWO RUBBERS PER TREE, SEE POP-UP SPRINKLER DETAIL, PLACE RUBBERS AT EDGE OF ROOTBALL ON OPPOSITE SIDES OF TREE, ADJUST PER ROOTBALL SEE TYPICAL. |

NOTE: THIS INFORMATION IS PROVIDED AS A PRELIMINARY LIST OF BASIC IRRIGATION COMPONENTS FOR THE PROJECT IRRIGATION SYSTEM. COMPLETED LANDSCAPE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

NOTE: IRRIGATION IN CITY MAINTAINED PARKS AND CITY-OWNED LANDSCAPE AREAS SHALL BE HARD PIPE POINT-TO-POINT DRIP TYPE UNLESS APPROVED OTHERWISE BY THE CITY OF MENIFEE.



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MENIFEE WEST COAST SELF-STORAGE
NEW CONSTRUCTION
27649 JACKSON AVENUE, MENIFEE, CA 92556
APN: 44105, 250-14-008, & 250-177-011
CITY PROJECT FILE NUMBER: 17-02-011

REVISIONS

NO.	DATE	BY
1	11/29/2024	1st DWP SUB
2	12/17/2024	2nd DWP SUB
3	06/11/2025	3rd DWP SUB
4	07/08/2025	4th DWP SUB

ISSUE DATES

DESIGN APPROVAL: _____

PERMIT SUBMITTAL: _____

PERMIT RECEIVED: _____

BD DOCS: _____

CONSTRUCTION: