

ABBREVIATIONS										SCOPE OF WORK										SHEET INDEX																																																														
<div>ABVabove floor AFFabove finished floor ACOUSacoustical ACTacoustical ceiling tile ADJadjacent AGGRaggregate A/Cair conditioning ALTalternate ALUMaluminum ABanchor bolt APPROXapproximate ARCHarchitectural ADarea drain ASPHasphalt ATasphalt tile</div> <div>BAbath BMbearing BRGbedroom BLWbelow BLKblock BLKGblotting RDboard BOTbottom BOTbottom of BLDGbuilding BURbuilt up roof</div> <div>CABcabinet CPTcarpet CANTILcantilevered CIcast iron CBcatch basin CLGceiling CIceiling joist CEMcement CTRcenter CLcenter line CTceramic tile COclean out CLRclear CLOcloset CWcold water COLcolumn CONCconcrete CMUconcrete masonry unit CONDcondition CONSTRconstruction CONTcontinuous CONTRcontract CORRcorridor CNTRcounter</div> <div>DIdeck joist Ddeep/dryer DEMOfdemolition DEPTdepartment DETdetail DIAGdiagonal DIAdiameter DIMdimension DWDishwasher DRdoor DBLdouble DHDouble hung DFDouglas fir / drinking fountain DNdown DSdownspout DWGdrawing</div> <div>EAsch Eeast ENedge nailing ELECelectrical ELElevation ELEVelevator EJTend jack truss EQequal EXHExhaust EXH GRExhaust air grill EXPexpansion / exposed EJexpansion joint EXTexterior</div> <div>FOface of FOCface of concrete FOMface of masonry FOSface of stud FAM CTRfamily center FINfinish FFfinished floor FIN GRfinish grade FEfire extinguisher FECfire extinguisher cabinet FFireplace FXfixed FIXTfixture FWPflat wall paint FLRfloor FDfloor drain FIfloor FMCfloor material change FLR SKfloor sink FLUORfluorescent FLflush FTfoot / feet / fire treated FTGfooting FAUforced air unit FDTNfoundation FR DRfrench door FGfuel gas FURRfurring</div> <div>GALVgalvanized GDgarbage disposal GAgauged GTgirder truss GLglass GLBglue lam beam GRgrade GFCIground fault circuit interrupter GYP BDgypsum board GWBgypsum wall board</div> <div>HCPhandicap HShard surface HDWHardwood HDCHeader HTGheating HVACh Heating Ventilation Air Condition HTheight HDh/d down HChollow core HMHollow metal HORZhorizontal HPheat pump HBhose bibb HWHhot water heater HRhour</div> <div>IDidentification INCLinclude / including INSULinsulation INTinterior</div> <div>JANjanitor JTjoint JSTjoist</div> <div>KPKing post KITkitchen</div> <div>LBlag bolt / pound LAMlaminated LANDSCPlandscape LAUlaundry LAVlavatory LHleft hand(d) LTlight LWlight weight LWClight weight concrete LRliving room LUMluminous</div> <div>MBmachine bolt MHmanhole MFDmanufactured MLmanufactured lumber MFRmanufacturer</div> <div>MBLmarble MASmasonry MOMasonry opening M BAmaster bath M BRmaster bedroom MATLmaterial MAXmaximum MECHmechanical MCmedicine cabinet MEDmedium MEMBmembrane MTLmetal MWmicrowave MIDmiddle MINminimum MISCmiscellaneous MTmount MOVmovable</div> <div>NATnatural NOMnominal Nfoot / feet / fire treated NAnot applicable NICnot in contract NTSnot to scale NOnumber</div> <div>OFFoffice OCOn center OPNGopening OPPoppoiste OPTopti onal OSBoriented strand board Ooven Oover OHover head</div> <div>PTpaint PGpaint grade PRpair PNLGpaneling PARparapet PARTpartial P BDparticle board PTNpartition PTPSper top plate splice PERMpermanent PLASplaster / plastic PLplate / property line PLYWDplywood POCpoint of connection POLpolished PTpost tension / pressure treated PREFABprefabricated PROPPROPERTY</div> <div>QTquarry tile</div> <div>Rradius / riser RWDredwood RCPreflected ceiling plan/ reinforced concrete pipe refrigerator / reference</div> <div>REFregister REINFRreinforced / reinforcement REQrequired RSresawn RESILresilient RFresilient flooring RAGreturn air grill REVreverse ROWright of way RODroof drain RRroof rafter RMroom ROrough opening</div> <div>SLsawn lumber SCHEDschedule SCRNscreen SCPSouper SHTGsheathing SHTsheet SMTsheet metal S&Pshelf and pole SHTshower</div> <div>SIMsimilar SHsingle hung SLDGsliding SGDsliding glass door SDsmoke detector / storm drain SCsolid core STCsound transmission class SQsquare SFsquare foot / square feet SSLstainless steel STDstandard STLsteel STORstorage STRUCTstructural SARsupply air register SUSPsuspended / suspension SYMMsymmetrical</div> <div>TELtelephone TEMPtempered TEXTtexture THKthickness T&Gtongue and groove T&Btop and bottom TOtop of TOAtop of arch TOCtop of concrete TODtop of drain TOPtop of parapet TOWtop of wall TCtrash compactor Ttread TYPtypical</div> <div>U/Gunder group U/Sunder slab UNOunless noted otherwise URurinal UTILutility</div> <div>VARvaries VTRvent through roof VTWvent through wall VERTvertical VESTvestibule VYLvinyl</div> <div>WICwalk in closet WSCWwasher/closet Wwasher WCwater closet WPwaterproof WTweight WWFwelded wire fabric WWWwelded wire mesh Wwest WOwhere occurs WFwide flange WDWwindow Wwith W/Owithout Wwood</div> <div data-cs="10" data-kind="parent">ELECTRICAL SYMBOL CONFIG LABELS<div>33-way switch 44-way switch AFCIarc fault circuit interrupter Ddimmer Switch Ffluorescent GFCIground fault circuit interrupter Hheat lamp LEDlight emitting diode Mmotion detected OSoccupancy sensor Pphotoresistive PEphotoelectric VSvacancy sensor WPwaterproof / weatherproof</div><div>duplex wall receptacle (all duplex/fourplex receptacles are 150V AFCI, unless configuration label states otherwise, typ) duplex wall receptacle, 1/2 switched duplex floor outlet duplex ceiling receptacle fourplex wall receptacle 220V (or 208V 3-phase) wall receptacle single-pole, double throw switch (see configuration label for switch type and operation, typ) surface mounted ceiling light fixture (see configuration label for lamp type and fixture operation, typ) recessed ceiling light fixture wall-washer light fixture recessed wall-washer light fixture hanging light fixture (w/ blocking to support 100lb) floor light fixture wall bracket light fixture</div><div>wall bracket down light fixture tube light fixture ceiling fan with diameter of x" ceiling track light fixture undercabinet light fixture junction box (weatherproof when noted WP) chimes door bell smoke detector - direct wire to panel carbon monoxide detector telephone/CAT5 data outlet television outlet garage door opener electrical service main panel internally illuminated address numbers legible from the street, low voltage type gas meter dryer vent through roof shower head</div></div>										<div>Proposed is the new construction of 73 single, multi-family residential units.</div> <div>CODE ANALYSIS<div>JURISDICTION HAVING AUTHORITY City of Menifee, California GOVERNING CODES These documents and this project shall conform with the following codes: 2019 California Code of Regulations Title 24 which incorporates: 2019 California Building Code 2019 California Mechanical Code 2019 California Plumbing Code 2019 California Electrical Code 2019 California Fire Code 2019 California Green Building Standards Code 2019 California Energy Code 2019 California Energy Efficiency Standards referenced herein as: CBC CMC CPC CEC CFC CGBCSC CENC CEES (Refer to CIRC Part 101-1 A)</div><div>CLIMATE ZONE Zone Number Reference City: 10 Menifee HAZARD ZONE Very High Fire Hazard Severity Zone: Not applicable Special Flood Hazard Area Zone: Not applicable (Refer to California State Local Responsibility Areas Map) PLANNING ZONE(S) Zone Number Zone Name: LMDR Low Medium Density Residential (Refer to County/City Zoning Map) OCCUPANCY CLASSIFICATION Occupancy Type Primary Use: R-3 Single Family Residence (Refer to CBC Chapter 3) TYPE OF CONSTRUCTION Construction Type Description: VB Non-Rated (Refer to CBC Chapter 6) ALLOWABLE HEIGHT Feet & Inches Stories: 40-0 3-Story (Refer to CBC Tables 506.3 & 506.4) ALLOWABLE AREA Square Footage: UL (Refer to CBC Table 506.2) FIRE SPRINKLERS Sprinklered? Type of System: Yes 13D sprinklered throughout (Refer to CBC Section 903) An automatic fire sprinkler system is required. Drawings prepared by Protection Design and Consulting. A one inch or greater water service and meter will be required to ensure adequate water demands are met in the event of a fire sprinkler activation during periods of other uses and/or demands are occurring, ie irrigation.</div><div>SPECIAL HERS VERIFICATION Applicable: No FAA PART 77 NOTIFICATION Applicable: No FAA Self-Certification: No</div></div> <div>LEGAL DESCRIPTION<div>A one inch or greater water service and meter will be required to ensure adequate water demands are met in the event of a fire sprinkler activation during periods of other uses and/or demands are occurring, ie irrigation.</div></div>										<div>CORONADO</div> <div>SITE SUMMARY<div>GROSS ACREAGE 420,733 sf 9.66 AC Public ROW (Thornton Ave) 25,700 sf 0.59 AC ADJUSTED GROSS ACREAGE 395,052 sf 9.1 AC Base Zone LMDR Low Medium Density Residential Max Density 5 - 8 du/ac Min 45 Units Max 73 Units Lot Requirements Lot Area 6,000 SF Lot Width 40 Ft Lot Depth 80 Ft Frontage 30 Ft Flag Lot 20 Ft Cul-de-sac 35 Ft Setbacks Front 15 Ft Corner Side 15 Ft Int Side 5 Ft Rear 20 Ft Structure Height 40 Ft Gross Floor Area First Floor Garage Porch Second Fl Total Living Non-Habitable & Impervious Building Coverage Area # of Units PLAN 1 1,292 sf 445 sf 16 sf 1,030 sf 1,292 sf 21 sf 1,951 sf 15 units PLAN 2 682 sf 477 sf 19 sf 1,692 sf 23 sf 1,378 sf 19 units PLAN 3 687 sf 485 sf 40 sf 1,097 sf 1,785 sf 13 sf 1,413 sf 23 units PLAN 4 734 sf 498 sf 12 sf 1,306 sf 1,840 sf 30 sf 1,437 sf 16 units SITE TOTAL 92,578 SF 1,050 SF 110,614 SF 73 units</div><div>Lot Area 395,052 sf Total Coverage Area 110,614 sf Building Coverage Max 28.00% Proposed 197,526 sf 110,614 sf Open Space Min Proposed Open Space Open Space 30% 118,516 sf Common Open Space N/A N/A ROW 22,872 sf OS 3,212 sf WQ/BMP 3,289 sf OS &WQ/BMP 39,468 sf 68,841 sf Private Open Space N/A N/A 100,562 sf SITE TOTAL 169,408 sf 40.26% Parking Requirement 2.5 per du with 3 bedrooms or more 183 spaces 146 spaces 2 Car Garage SITE TOTAL 0.3 per du guest parking spaces 7 spaces 12 spaces 123 spaces SITE TOTAL 190 spaces 236 spaces</div><div>PARKING 9,215,040 REQUIRED SPACES MF - 3 Bedrooms or more 2.5 per unit 73 DU 182.5 spaces MF - Guest space 1 per 10 units 73 DU 7.3 spaces TOTAL 190 spaces PROVIDED SPACES Covered Garage 2 per unit 73 DU 146 spaces Guest space (Off-Street) 12 spaces Guest space (Driveway) 78 spaces TOTAL 236 spaces FLOOR AREA CALCULATIONS ARE FOR BUILDING DEPARTMENT PURPOSES ONLY</div></div>										<div>OWNER DEVELOPER: Flot Properties, LLC ATTN: Stefan LaCasse 364 2nd Street #5 Encinitas, Ca 92024 PHONE: 760.942.9991 x101 FAX: 760.942.9993 EMAIL: stefan@quinncommunities.com ARCHITECT: Architects BP Associates ATTN: Roger Basinger Don Pennington 11858 Bernardo Plaza Court, Ste. 120 San Diego, California, 92128 PHONE: 858.592.4710 FAX: 858.592.4710 EMAIL: info@abpa-inc.com CIVIL ENGINEER: FMCIVIL Engineers Inc. ATTN: Francisco Martinez Jr. 29995 Technology Drive, Suite 306 Murrieta, CA 92563 PHONE: 951.973.0202 EMAIL: frandisco.martinez@fmcivil.com LANDSCAPE ARCHITECT: ABC Inc. ATTN: John Doe 123 Example Lane San Diego, California, 92128 PHONE: 123.456.7890, ext 456 FAX: 098.765.4321 EMAIL: John.Doe@abc.com STRUCTURAL ENGINEER:</div>																																																				
<div>GRAPHIC LEGEND<div>GENERAL<div>revision mark building section mark sheet number reference elevation mark sheet number reference detail mark sheet number reference space name/number floor finish / ceiling height change in elevation hidden line center line break line</div><div>ELECTRICAL<div>duplex wall receptacle (all duplex/fourplex receptacles are 150V AFCI, unless configuration label states otherwise, typ) duplex wall receptacle, 1/2 switched duplex floor outlet duplex ceiling receptacle fourplex wall receptacle 220V (or 208V 3-phase) wall receptacle single-pole, double throw switch (see configuration label for switch type and operation, typ) surface mounted ceiling light fixture (see configuration label for lamp type and fixture operation, typ) recessed ceiling light fixture wall-washer light fixture recessed wall-washer light fixture hanging light fixture (w/ blocking to support 100lb) floor light fixture wall bracket light fixture</div><div>MECHANICAL / PLUMBING<div>wall bracket down light fixture tube light fixture ceiling fan with diameter of x" ceiling track light fixture undercabinet light fixture junction box (weatherproof when noted WP) chimes door bell smoke detector - direct wire to panel carbon monoxide detector telephone/CAT5 data outlet television outlet garage door opener electrical service main panel internally illuminated address numbers legible from the street, low voltage type gas meter dryer vent through roof shower head</div><div>air duct (in cross-section) thermostat ceiling return air grille wall return air grille type "B" vent through roof (VTR) exhaust fan vented to exterior whole house exhaust fan, Broan SSO7X6 w/ smart sensor control or equal, 6" min duct humidistat fan, Broan QTXX310S humidity sensing or equal, 6" min duct recessed exhaust fan and light fixture range hood with exhaust fan and light fuel gas supply with shutoff valve loose (fog lighter) key valve w/ shutoff hose bibb ice maker line w/ shutoff valve hot water heater gas meter dryer vent through roof shower head</div></div></div></div></div>										<div>VICINITY MAP</div>										<div>NOTICES<div>TO THE APPLICANT OWNER OWNER'S AGENT ARCHITECT OR ENGINEER OF RECORD: By using this permitted construction drawings for construction and/or installation of the work specified herein, you agree to comply with the requirements of the jurisdiction having authority for special inspections, structural observations, construction material testing, and off-site fabrication of building components, contained in the statement of special inspections, and as required by the California Construction Codes. TO THE CONTRACTOR BUILDER INSTALLER SUB-CONTRACTOR OWNER-BUILDER: By using this permitted construction drawings for construction and/or installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections, structural observations, construction material testing, and off-site fabrication of building components, contained in the statement of special inspections, and as required by the California Building Codes.</div></div> <div>SPECIAL INSPECTIONS<div>SPECIAL INSPECTION OR PERMIT<ul style="list-style-type: none">A Property Owner's Final Report form for work required to have special inspections, testing and structural observations must be completed by the property owner, property owner's agent of record, architect of record, or engineer of record and submitted to the Inspection Services Division.The special inspector must be certified by the jurisdiction having authority, in the category of work required to have special inspection.The special inspections identified on plans are, in addition to, and not a substitute for, those inspections required to be performed by a County's/City's building inspector.The construction materials testing laboratory must be approved by the County/City, for testing materials, systems, components, and equipment.The fabricator must be approved by the County/City, for the fabrication of members and assemblies on the premises of the fabricator's shop.The fabricator shall submit an 'Application to perform Off-Site Fabrication' to the Inspection Services Division for approval prior to commencement of fabrication.The fabricator shall submit a 'Certificate of Compliance for Off-Site Fabrication' to the Inspection Services Division prior to erection of fabricated items and assemblies.SPECIAL INSPECTION OR PERMIT LIST<ul style="list-style-type: none">No special inspections or permits required.</div><div>DEFERRED SUBMITTALS<div>ACKNOWLEDGEMENTS<ul style="list-style-type: none">It is understood that plans for the project have, at this time, been reviewed for compliance with all applicable State and County/City regulations, and that the project as a whole has been approved by the jurisdiction having authority, with the exception of the deferred items list.I/We understand that I/we will not be authorized any inspection of the deferred items proposed prior to the submittal and approval of plans and/or calculations for those deferred items.GENERAL<ul style="list-style-type: none">Plans for the deferred submittal items shall be submitted in a timely manner but not less than 30 business days prior to installation for County/City review and approval. All comments related to the deferred submittal items must be addressed to the satisfaction of the Building Official prior to the approval of items. Inspections of deferred submittal items will not be performed until the item is approved.Submittal documents for deferred submittal items shall be submitted to the registered design professional in responsible charge, who shall review them and forward them to the building official with a notation indicating that the deferred documents have been reviewed and that they have been found to be in general conformance with the design of the building.The deferred submittal items shall NOT be installed until their design and submittal documents have been approved by the Building Official.FIRE PROTECTION<ul style="list-style-type: none">Complete plans and specifications for all extinguishing systems, including automatic sprinkler and standpipe systems and other special fire extinguishing systems and related appurtenances shall be submitted to the jurisdiction having authority for review and approval prior to installation, per CFC Section 901.2.To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans.DEFERRED SUBMITTAL LIST<ul style="list-style-type: none">Fire Sprinkler System</div></div></div>										<div>PRINT<div>DATE: 01.20.22 DESCRIPTION: PRE-APPLICATION</div></div> <div>SUBMIT<div>DATE: 01.20.22 DESCRIPTION: PRE-APPLICATION 02.24.23 PLANNING DESIGN REVIEW 04.12.23 PLANNING DESIGN REVIEW 11.16.23 PLANNING DESIGN REVIEW</div></div>										<div>TITLE SHEET<div>JOB NUMBER: 218PMM07 DATE PUBLISHED: 11.16.2023 DRAWN BY: YU, DS <table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>1</td><td>5/16/22</td><td>Pre-Application Rev</td></tr><tr><td>2</td><td>1/30/23</td><td>Pre-Application Rev</td></tr><tr><td>3</td><td>2/24/23</td><td>Planning Design Review</td></tr><tr><td>4</td><td>4/12/23</td><td>Planning Design Review</td></tr><tr><td>5</td><td>11/16/23</td><td>Planning Design Review</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table><p>© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.</p></div></div>										REV	DATE	DESCRIPTION	1	5/16/22	Pre-Application Rev	2	1/30/23	Pre-Application Rev	3	2/24/23	Planning Design Review	4	4/12/23	Planning Design Review	5	11/16/23	Planning Design Review															
REV	DATE	DESCRIPTION																																																																																
1	5/16/22	Pre-Application Rev																																																																																
2	1/30/23	Pre-Application Rev																																																																																
3	2/24/23	Planning Design Review																																																																																
4	4/12/23	Planning Design Review																																																																																
5	11/16/23	Planning Design Review																																																																																
<div>PLAN CHECK NUMBERS<div>DEPARTMENT / AGENCY: CITY OF MENIFEE PROJECT NUMBER: Major Plot Plan (PLN2-0-0231) Tentative Tract Map (PLN22-0-023)</div></div>										<div>A000</div>																																																																								

SITE SUMMARY

GROSS ACREAGE	420,753 sf	9.66 AC
Public ROW (Thornton Ave)	25,700 sf	0.59 AC
ADJUSTED GROSS ACREAGE	395,052 sf	9.1 AC
Base Zone	LMOR	Low Medium Density Residential
Max Density	5 - 8 du/ac	Min 45 Units Max 73 Units
Proposed		73 Units
Lot Requirements	Lot Area 6,000 SF	Lot Width 40 Ft
Setbacks	Front 15 Ft	Corner Side 15 Ft
Structure Height	40 Ft	
Gross Floor Area	First Floor PLAN 1 1,292 sf	Garage 445 sf
PLAN 2	682 sf	477 sf
PLAN 3	687 sf	485 sf
PLAN 4	734 sf	498 sf
SITE TOTAL		
Lot Area	395,052 sf	
Total Coverage Area	110,614 sf	
Building Coverage	50%	28.00%
Open Space	197,526 sf	Min 110,614 sf
Open Space	30%	118,516 sf
Common Open Space	N/A	N/A
Private Open Space	N/A	N/A
SITE TOTAL		
Parking Requirement	2.5 per du	with 3 bedrooms or more
183 spaces		
146 spaces		
78 spaces		
12 spaces		
236 spaces		
236 spaces		

PARKING

9,215,040

REQUIRED SPACES

MF - 3 Bedrooms or more

2.5 per unit

73 DU

182.5 spaces

MF - Guest space

1 per 10 units

73 DU

7.3 spaces

TOTAL

190 spaces

PROVIDED SPACES

Covered Garage

2 per unit

73 DU

146 spaces

Guest space (Off-Street)

12 spaces

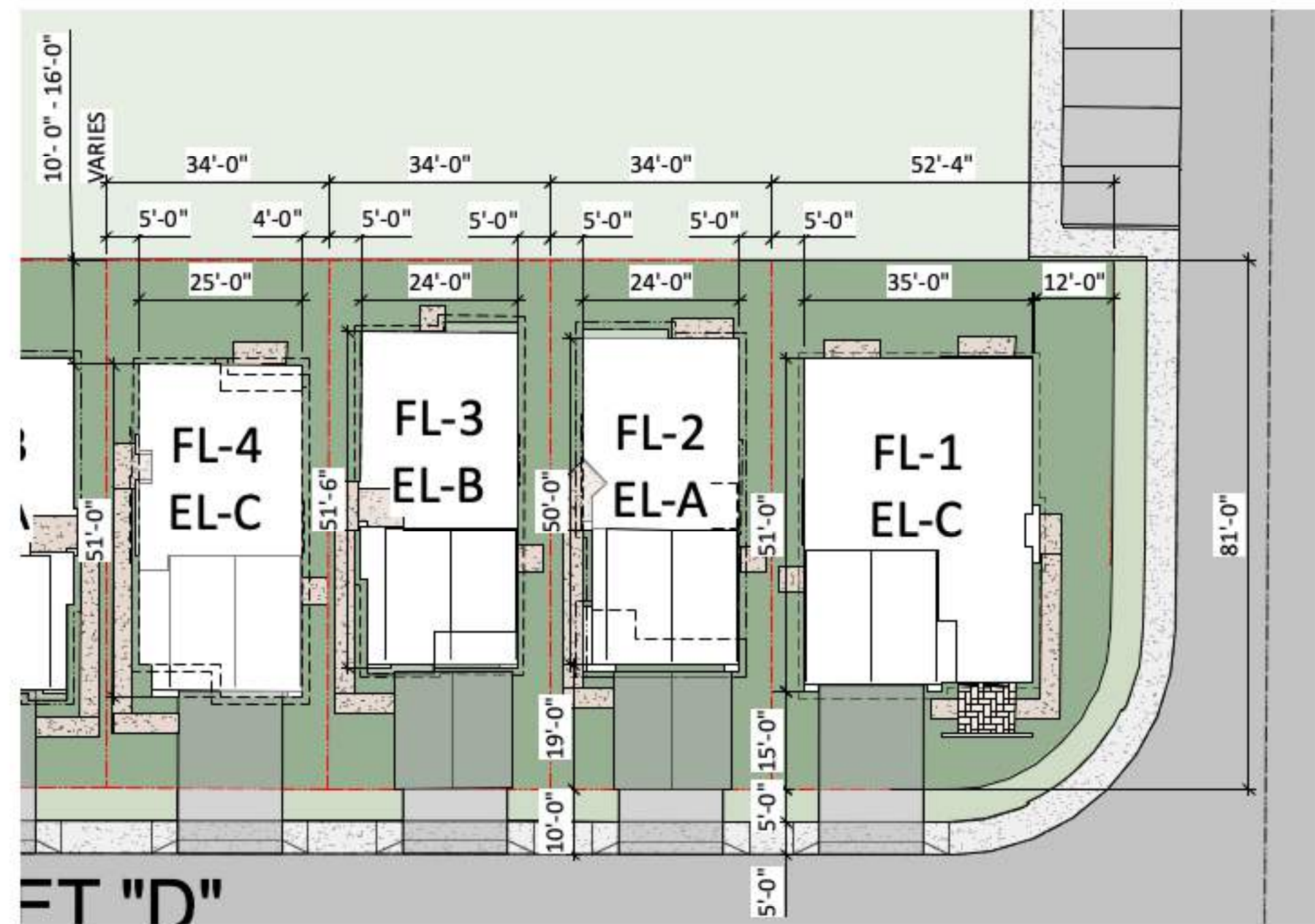
Guest space (Driveway)

78 spaces

TOTAL

236 spaces

FLOOR AREA CALCULATIONS ARE FOR BUILDING DEPARTMENT PURPOSES ONLY



3 SETBACKS EXHIBIT
Scale: 1" = 20'-0"



1 CONCEPT SITE PLAN - 73 UNITS
Scale: 1" = 40'-0"

aBP a

Architects BP Associates
Planning Design Architecture

11808 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

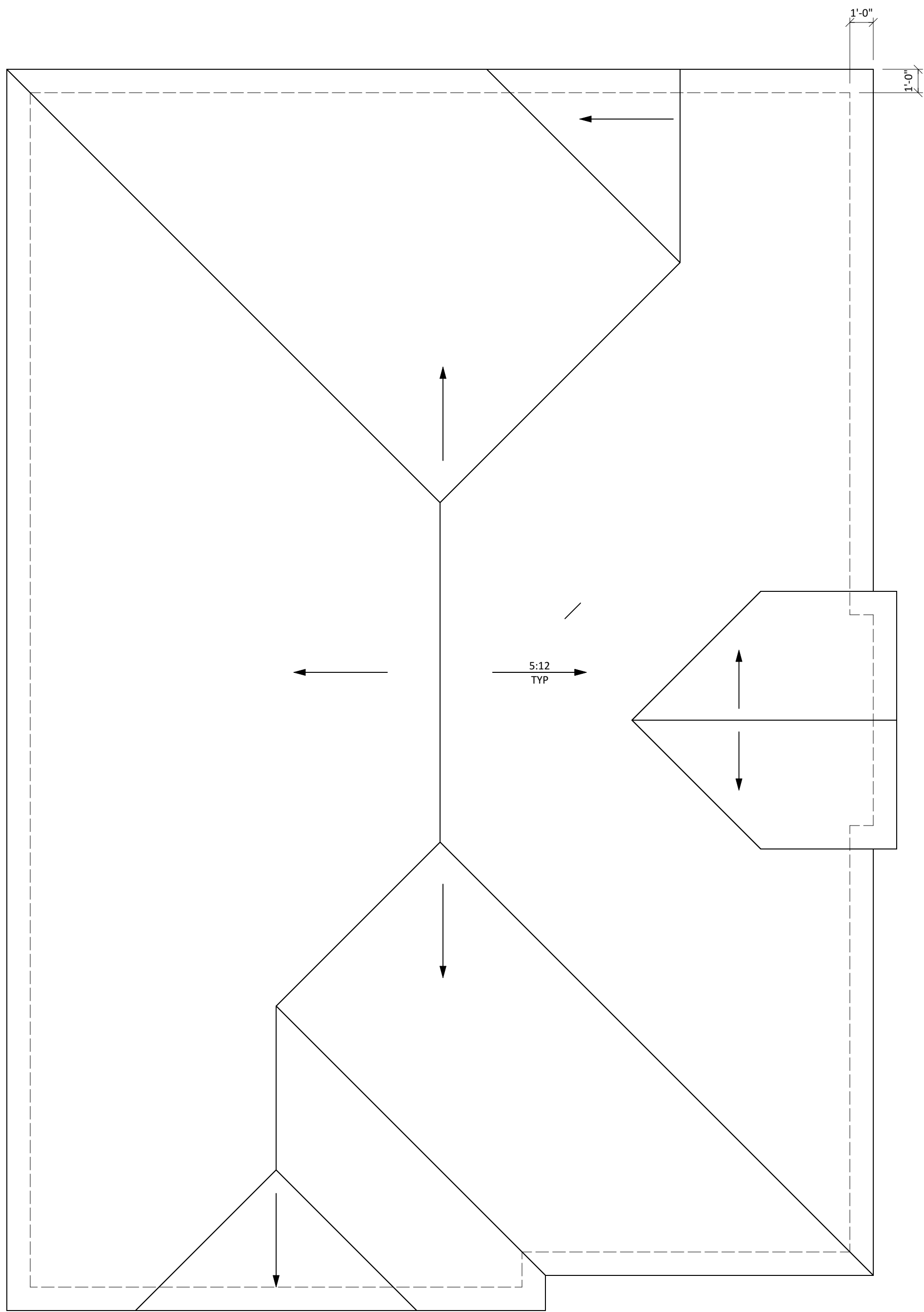
Floit Properties, LLC w/Quinn Communities

SITE PLAN

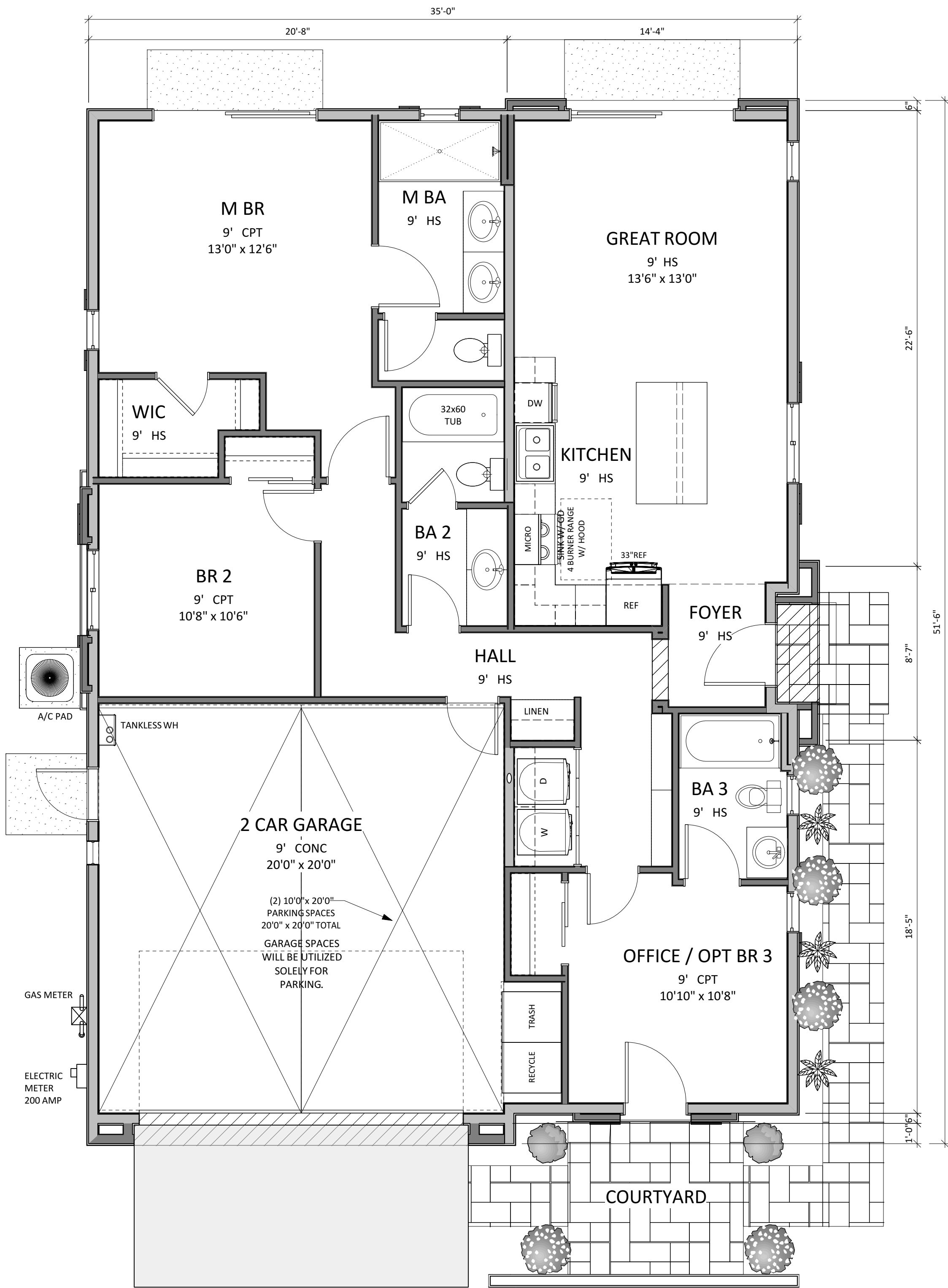
JOB NUMBER: 218PM07
DATE PUBLISHED: 11.16.2023
DRAWN BY: YU, DS
REV DATE: 5/16/22
DESCRIPTION: Pre-Application Revision

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A100.1



2 ROOF PLAN 1A
A101.1 Scale: 1/4" = 1'-0"



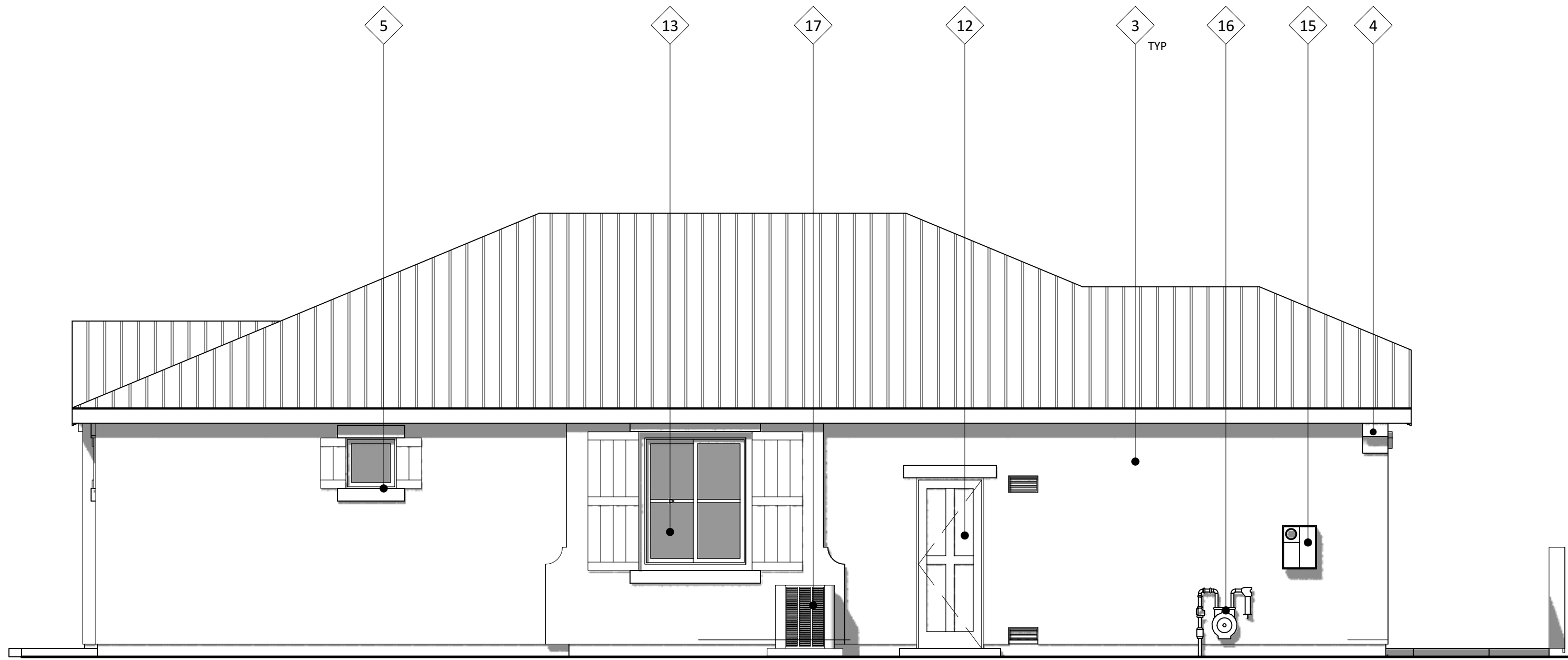
1 FIRST FLOOR PLAN 1
A101.1 Scale: 1/4" = 1'-0"



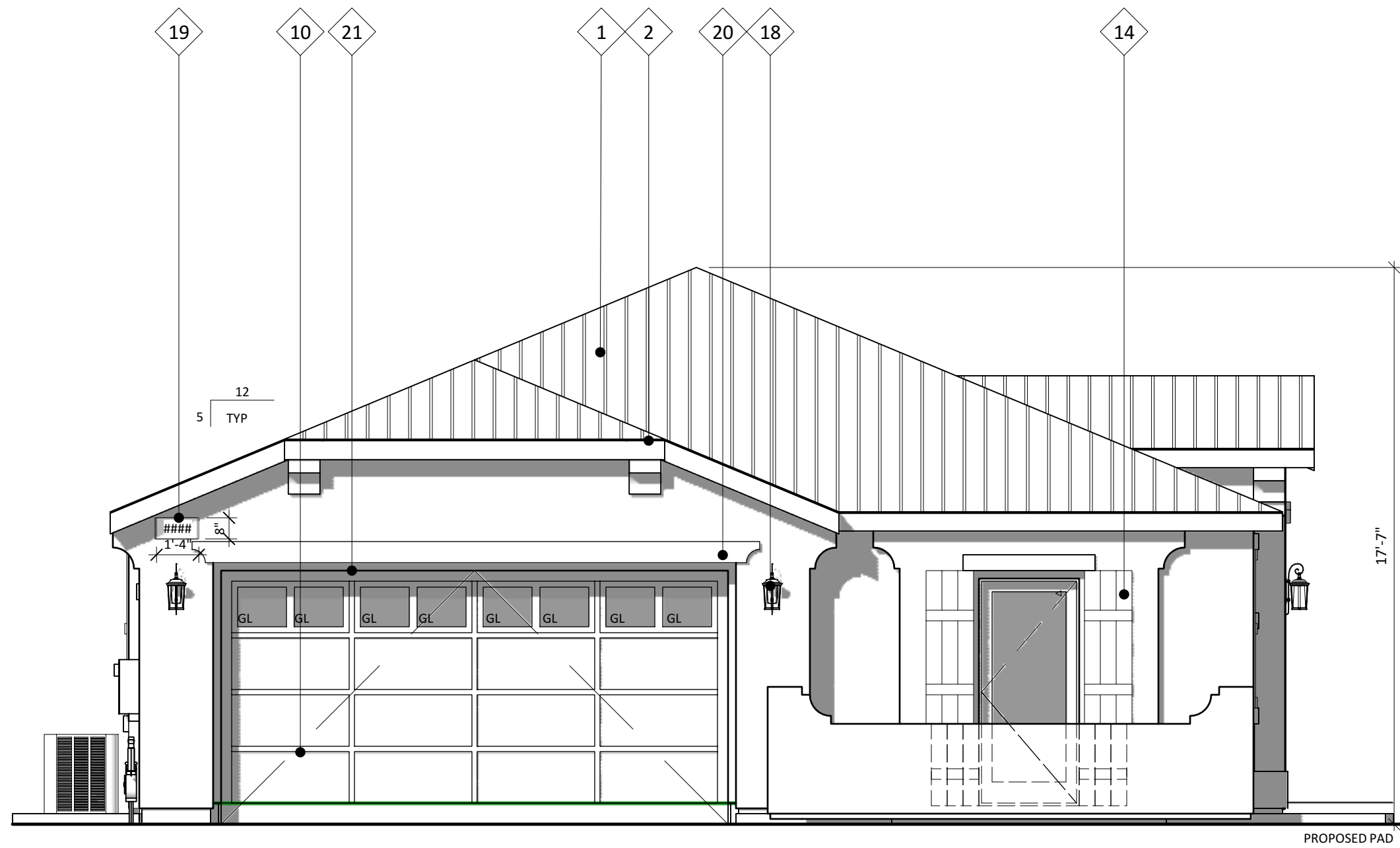
FLOOR AREA CALCULATIONS	
Plan 1	
first floor	1,292 SF
Total living area	1,292 SF
garage	445 SF
porch and deck	16 SF
Non-Habitable Area	21 SF
Roof Overhang Area	178 SF
Coverage Area	1,951 SF
FLOOR AREA CALCULATIONS ARE FOR BUILDING DEPARTMENT PURPOSES ONLY	

FIRST & ROOF LEVEL
- PLAN 1

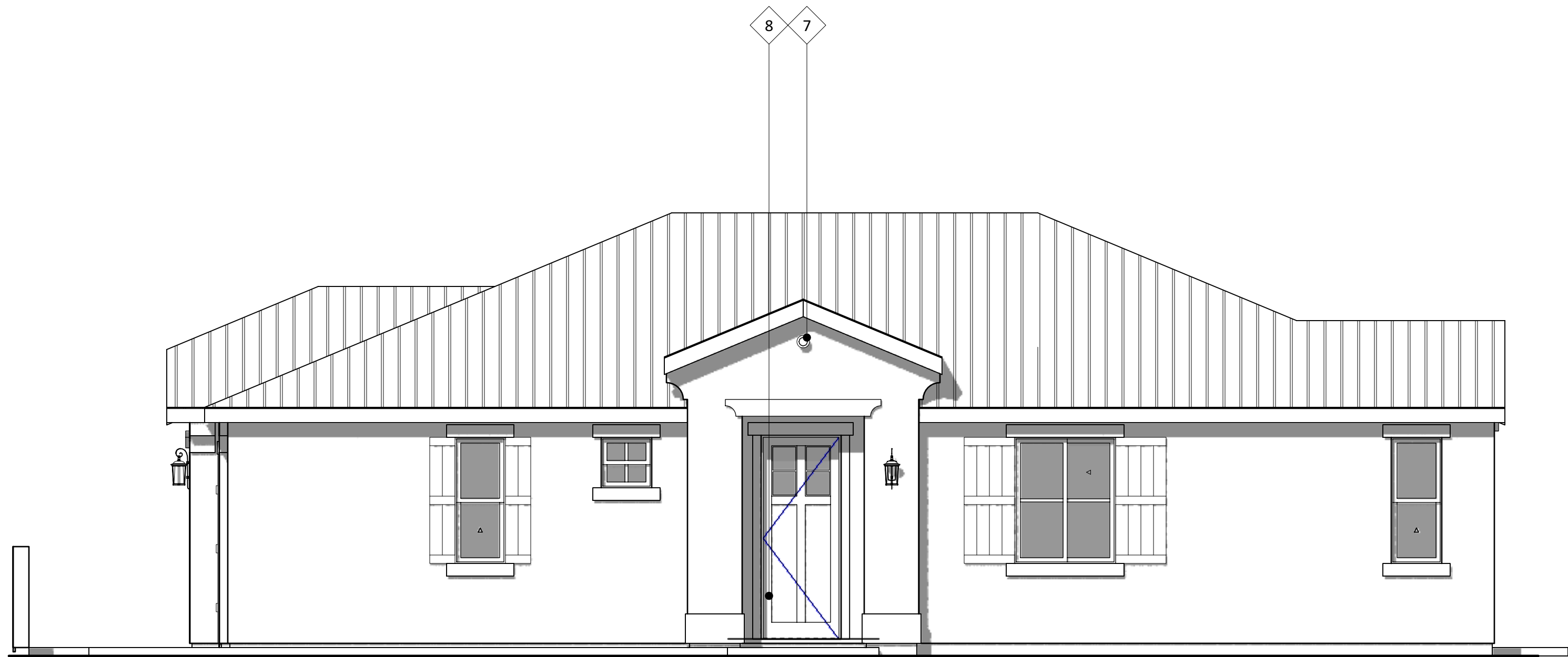
JOB NUMBER:	21BPM07
DATE PUBLISHED:	04.12.2023
DRAWN BY:	YU, DS
REV DATE:	DESCRIPTION:



2 LEFT ELEVATION 1A - SPANISH
A201.1 Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 1A - SPANISH
A201.1 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 1A - SPANISH
A201.1 Scale: 1/4" = 1'-0"



3 REAR ELEVATION 1A - SPANISH
A201.1 Scale: 1/4" = 1'-0"

OPENING DIAGRAM NOTES

1. The area of exterior wall openings in of a building with a fire separation distance of 30 feet or greater shall not be limited, per CBC Table 705.8.
2. Refer to sheets A100.1 for dimensions of exterior walls to property lines and table 705.8 for allowances.
3. Protected openings noted on the elevation.
4. ☐ No openings

LEFT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	42 SF
Wall Area	493 SF
Opening To Wall Area Ratio	8.5%
Allowed per Table 705.8	25.0%

RIGHT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	69 SF
Wall Area	478 SF
Opening To Wall Area Ratio	14.4%
Allowed per Table 705.8	25.0%

REAR ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	136 SF
Wall Area	338 SF
Opening To Wall Area Ratio	40.2%
Allowed per Table 705.8	45.0%

MATERIAL LIST - A ELEVATION

- # MATERIAL
- 1 CONCRETE S/TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO CORBEL
 - 5 STUCCO TRIM
 - 6 STUCCO POT SHELF
 - 7 CLAY PIPE
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 11 ARCHED OPENING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 AC CONDENSER
 - 18 COACH LIGHTING
 - 19 ADDRESS SIGN
 - 20 SHAPED STUCCO TRIM
 - 21 RECESSED GARAGE DOOR
 - 22 RECESSED WINDOW
 - 23 WOOD RAILING



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 1A

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS

#	REV DATE	DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A201.1



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

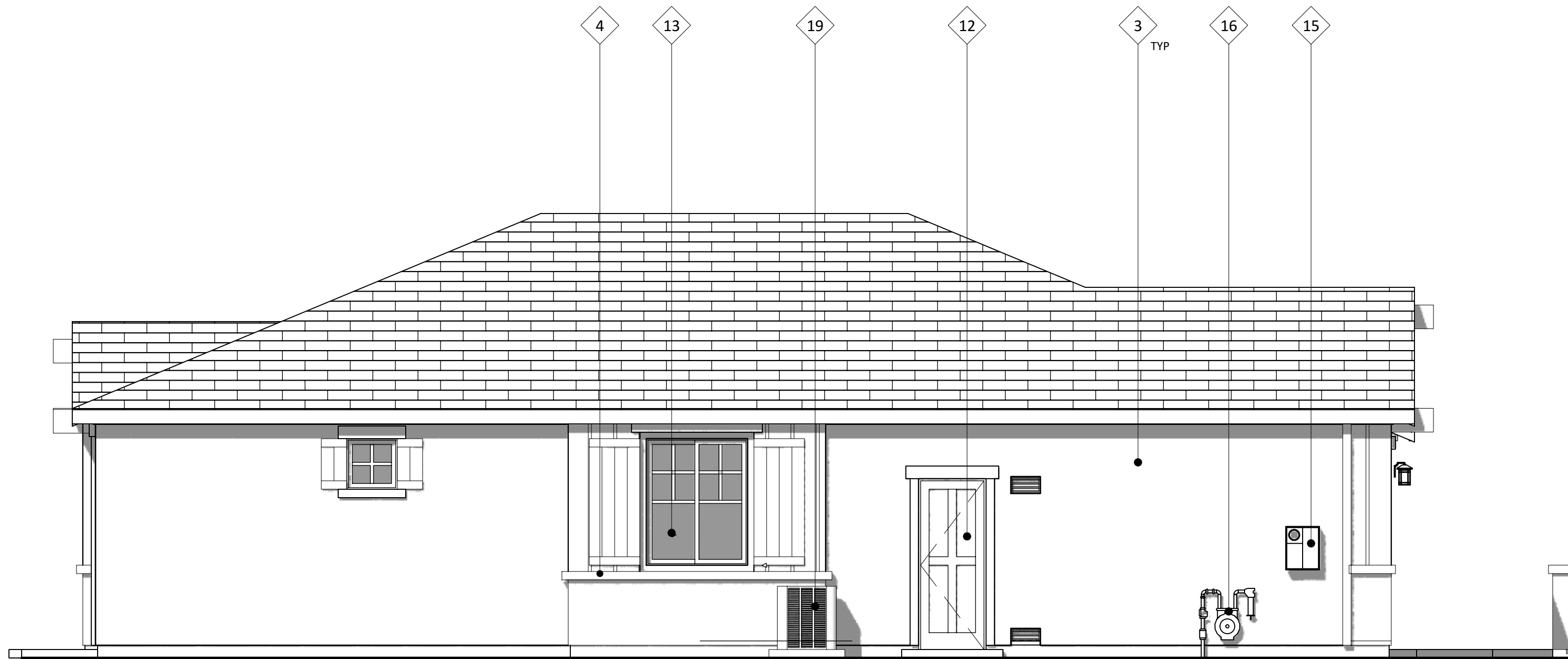
CORONADO
THORNTON AVENUE
MENIFEE, CA 92586
Flot Properties, LLC w/Quinn Communities

ELEVATIONS 1B

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A202.1



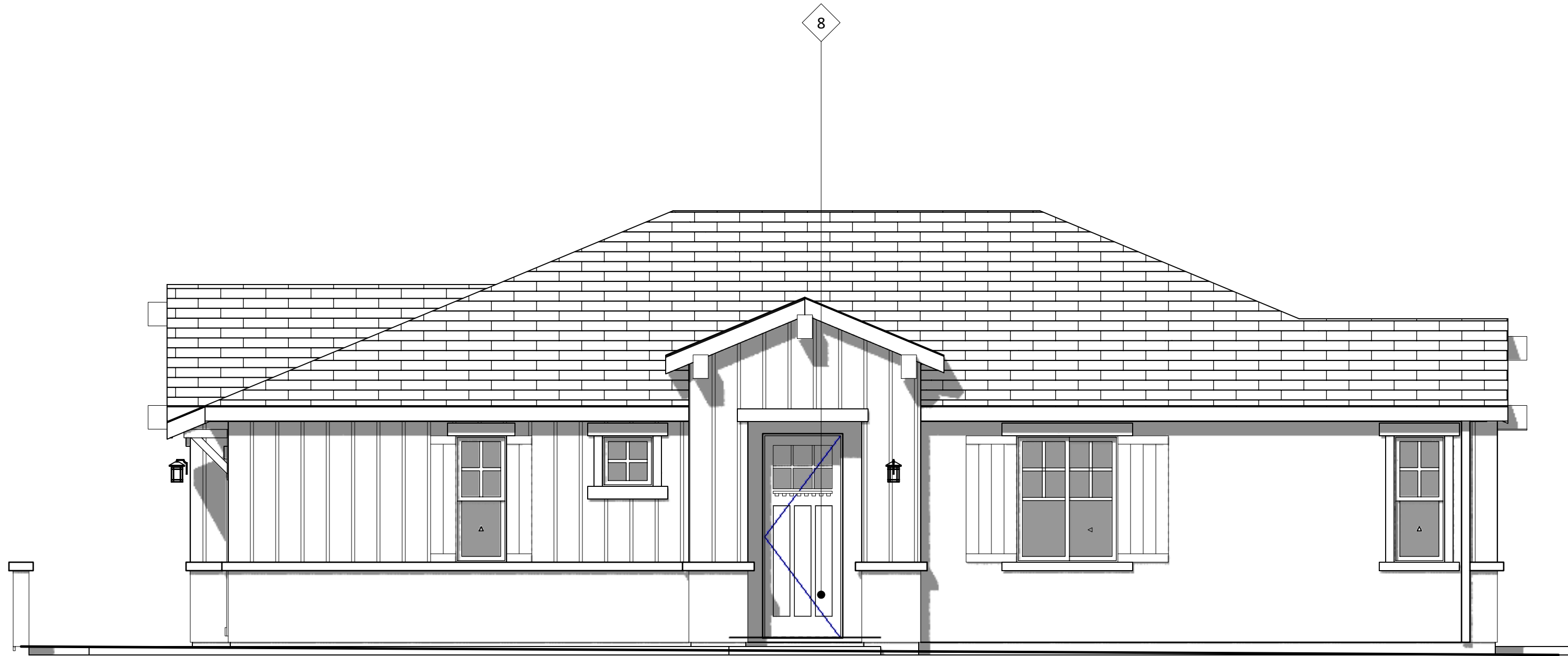
2 LEFT ELEVATION 1B - FARMHOUSE
A202.1 Scale: 1/4" = 1'-0"

0 4 8 FT



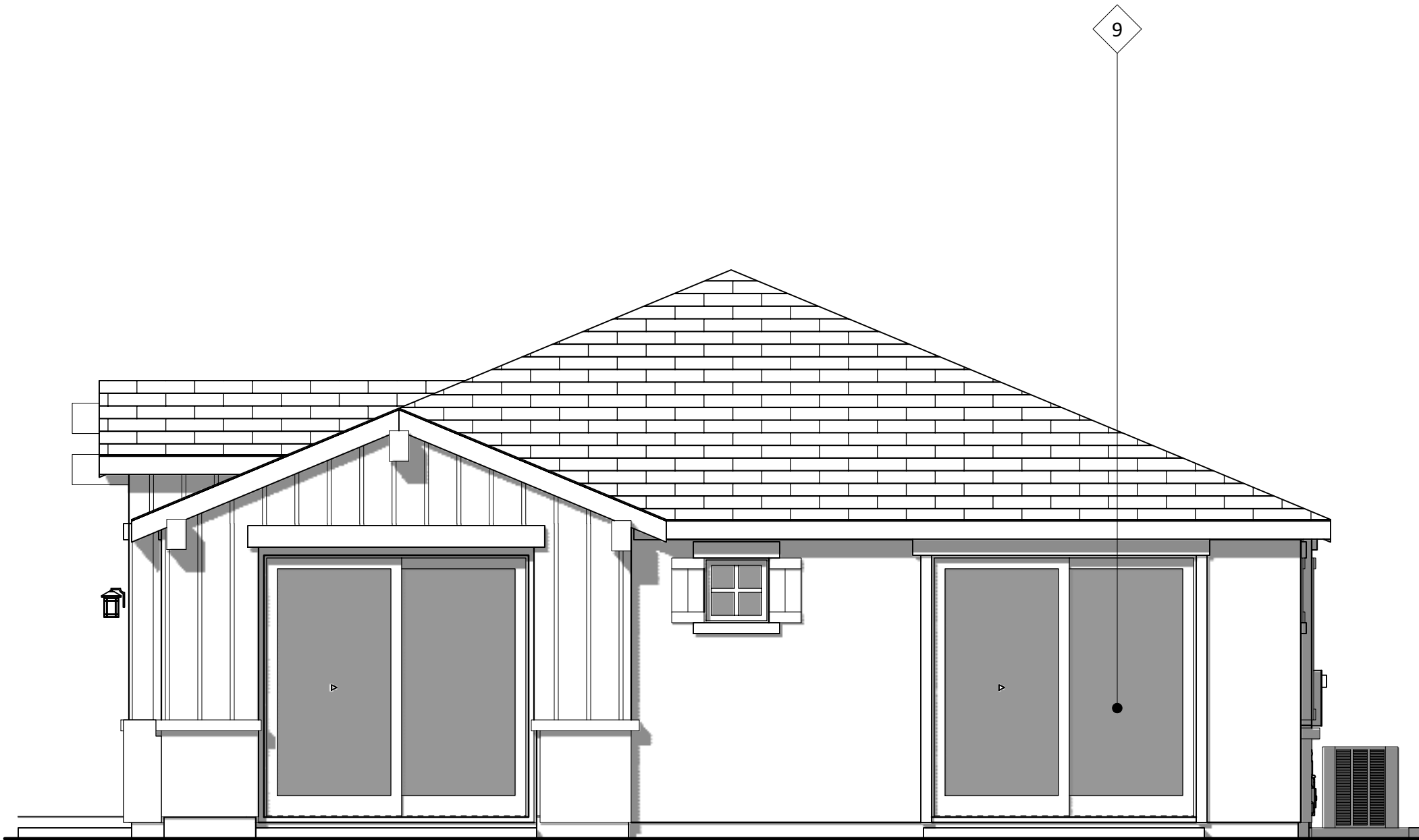
1 FRONT ELEVATION 1B - FARMHOUSE
A202.1 Scale: 1/4" = 1'-0"

0 4 8 FT



4 RIGHT ELEVATION 1B - FARMHOUSE
A202.1 Scale: 1/4" = 1'-0"

0 4 8 FT

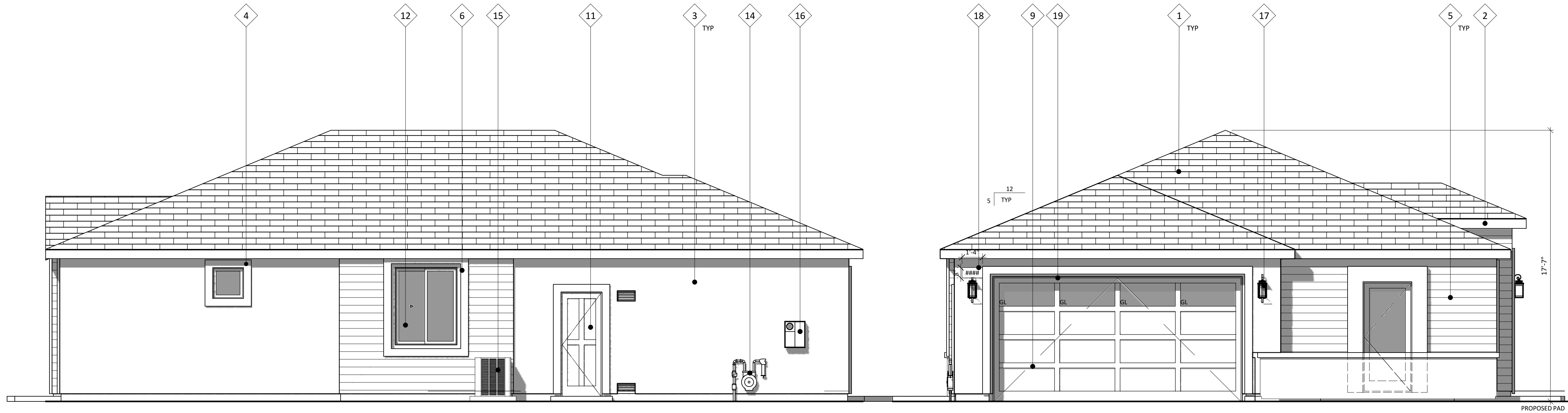


3 REAR ELEVATION 1B - FARMHOUSE
A202.1 Scale: 1/4" = 1'-0"

0 4 8 FT

MATERIAL LIST - B ELEVATION

- | # | MATERIAL |
|----|-----------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (BOARD & BATT) |
| 6 | HARDIE TRIM |
| 7 | WOOD OUTLOOKER |
| 8 | WOOD DOOR |
| 9 | VINYL SLIDING DOOR |
| 10 | METAL SECTIONAL GARAGE DOOR |
| 11 | WOOD RAILING |
| 12 | FIBERGLASS DOOR |
| 13 | VINYL WINDOW |
| 14 | WOOD SHUTTER |
| 15 | ELECTRICAL METER |
| 16 | GAS METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | AC CONDENSER |
| 20 | RECESSED WINDOW |
| 21 | RECESSED GARAGE DOOR |
| 22 | AWNING WITH WOOD BRACKETS |



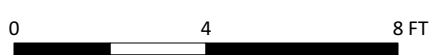
2 LEFT ELEVATION 1C - CONTEMPORARY
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 1C - CONTEMPORARY
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 1C - CONTEMPORARY
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 1C - CONTEMPORARY
Scale: 1/4" = 1'-0"



MATERIAL LIST - C ELEVATION

- | # | MATERIAL |
|----|--------------------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (LAP) |
| 6 | HARDIE TRIM |
| 7 | WOOD DOOR |
| 8 | VINYL SLIDING DOOR |
| 9 | METAL SECTIONAL GARAGE DOOR W/ GLASS |
| 10 | METAL RAILING |
| 11 | FIBERGLASS DOOR |
| 12 | VINYL WINDOW |
| 13 | RECESSED WINDOW |
| 14 | GAS METER |
| 15 | AC CONDENSER |
| 16 | ELECTRICAL METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | RECESSED GARAGE DOOR |



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

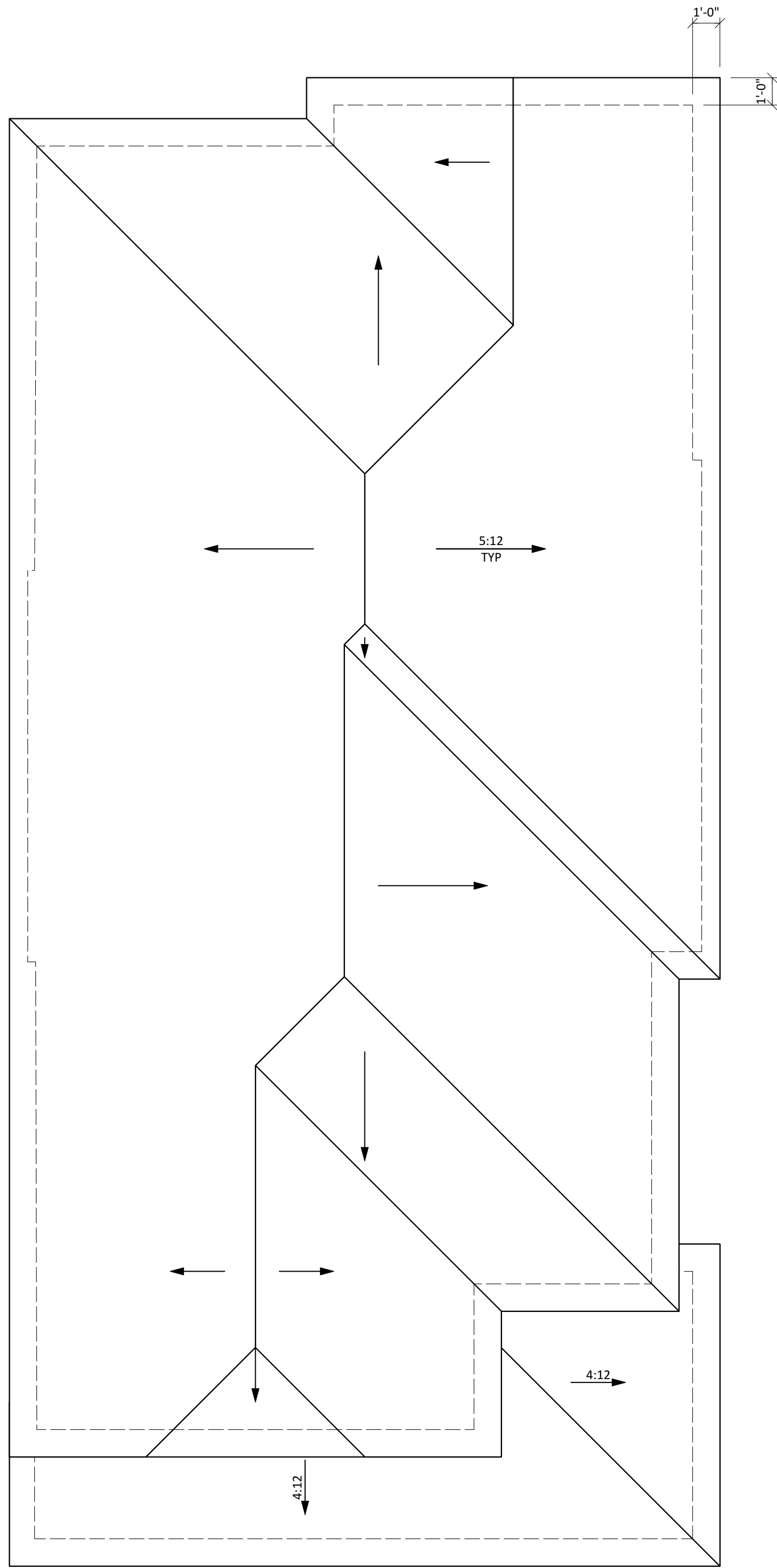
Floit Properties, LLC w/Quinn Communities

ELEVATIONS 1C

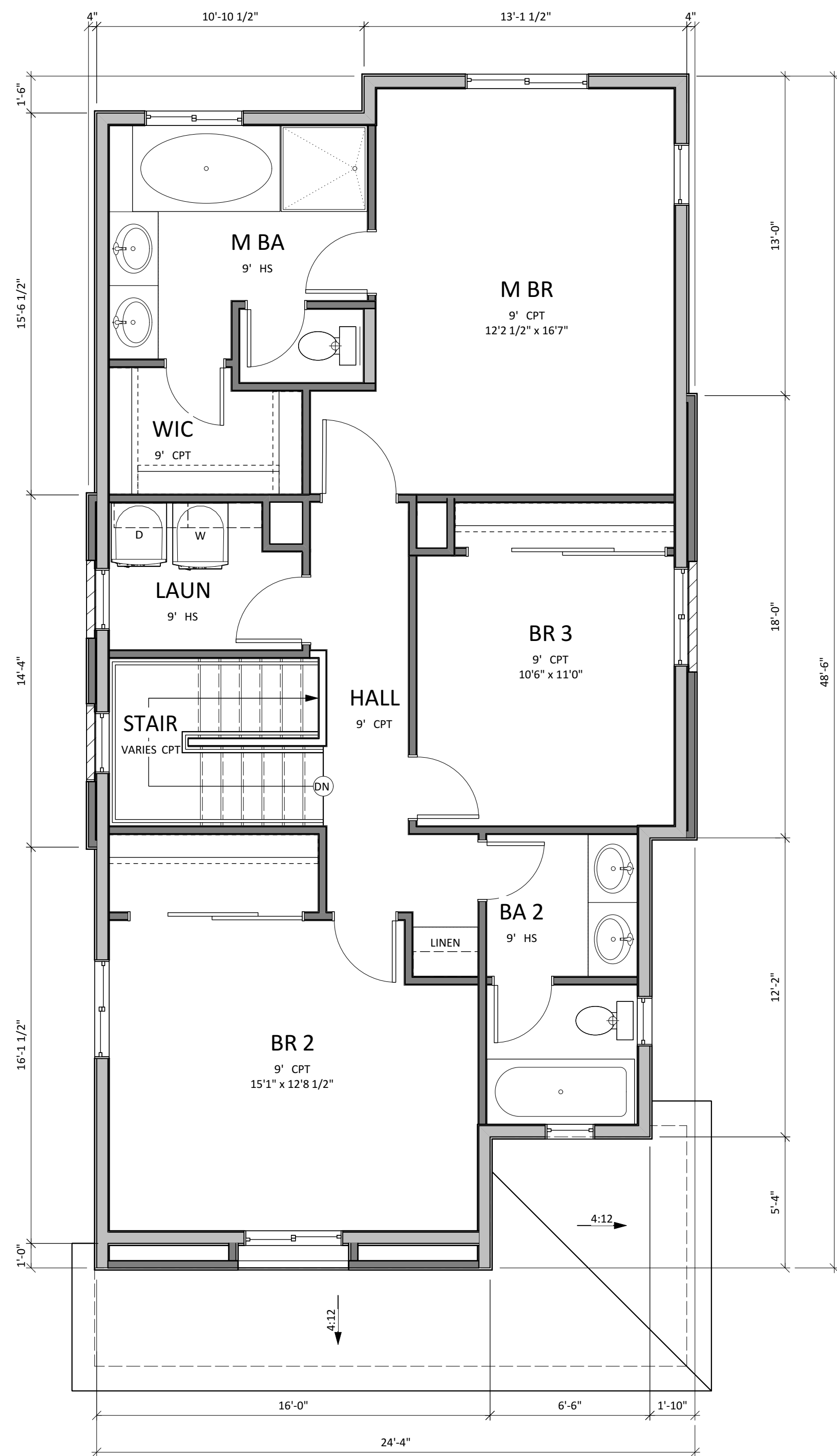
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

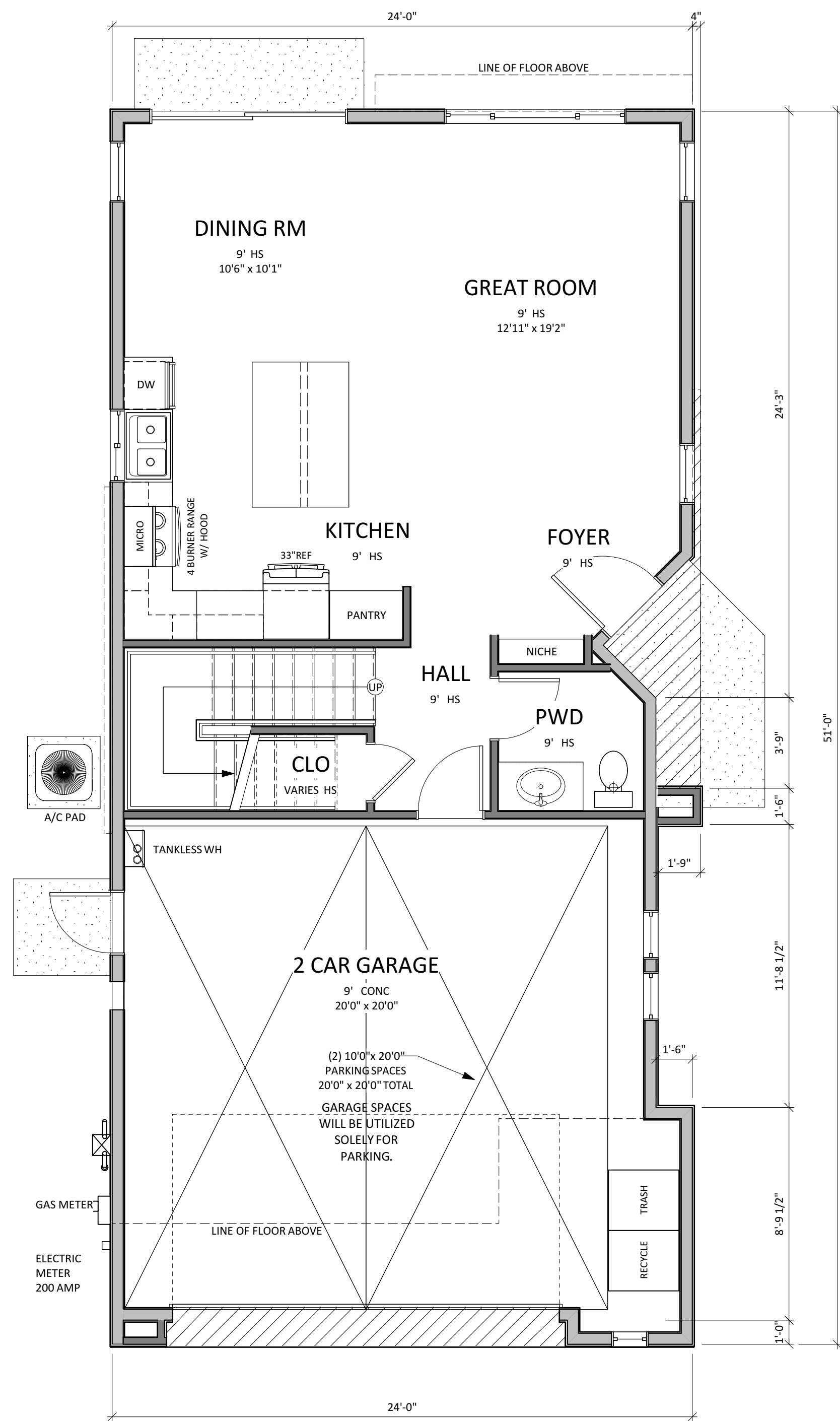
A203.1



3
A101.2
ROOF PLAN 2
Scale: 1/4" = 1'-0"



2
A101.2
SECOND FLOOR PLAN 2
Scale: 1/4" = 1'-0"



1
A101.2
FIRST FLOOR PLAN 2
Scale: 1/4" = 1'-0"



FLOOR AREA CALCULATIONS	
Plan 2	
first floor	682 SF
second floor	1,010 SF
Total living area	1,692 SF
garage	477 SF
porch and deck	19 SF
Non-Habitable Area	23 SF
Roof Overhang Area	
Coverage Area	1,378 SF
FLOOR AREA CALCULATIONS ARE FOR BUILDING DEPARTMENT PURPOSES ONLY.	



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586
Flot Properties, LLC w/Quinn Communities

FIRST, SECOND &
ROOF LEVEL - PLAN 2

JOB NUMBER:	21BPM07
DATE PUBLISHED:	04.12.2023
DRAWN BY:	YU, DS
REV DATE:	DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A101.2



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court • 120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 2A

JOB NUMBER: 21BPM07

DATE PUBLISHED: 04.12.2023

DRAWN BY: YU, DS

REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A201.2

OPENING DIAGRAM NOTES

- The area of exterior wall openings in of a building with a fire separation distance of 30 feet or greater shall not be limited, per CBC Table 705.8.
- Refer to sheets A100.1 for dimensions of exterior walls to property lines and table 705.8 for allowances.
- Protected openings noted on the elevation.
- ☐ No openings

LEFT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	43 SF
Wall Area	493 SF
Opening To Wall Area Ratio	8.6%
Allowed per Table 705.8	25.0%

LEFT ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	40 SF
Wall Area	454 SF
Opening To Wall Area Ratio	8.8%
Allowed per Table 705.8	25.0%

RIGHT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	59 SF
Wall Area	493 SF
Opening To Wall Area Ratio	12.0%
Allowed per Table 705.8	25.0%

RIGHT ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	33 SF
Wall Area	417 SF
Opening To Wall Area Ratio	7.8%
Allowed per Table 705.8	25.0%

REAR ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	104 SF
Wall Area	233 SF
Opening To Wall Area Ratio	44.5%
Allowed per Table 705.8	45.0%

REAR ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	41 SF
Wall Area	233 SF
Opening To Wall Area Ratio	17.6%
Allowed per Table 705.8	45.0%

MATERIAL LIST - A ELEVATION

- # MATERIAL
- CONCRETE S TILE
 - WOOD FASCIA & RAKE BOARD
 - STUCCO FINISH
 - STUCCO CORBEL
 - STUCCO TRIM
 - STUCCO POT SHELF
 - CLAY PIPE
 - WOOD DOOR
 - VINYL SLIDING DOOR
 - METAL SECTIONAL GARAGE DOOR W/ GLASS
 - ARCHED OPENING
 - FIBERGLASS DOOR
 - VINYL WINDOW
 - WOOD SHUTTER
 - ELECTRICAL METER
 - GAS METER
 - AC CONDENSER
 - COACH LIGHTING
 - ADDRESS SIGN
 - SHAPED STUCCO TRIM
 - RECESSED GARAGE DOOR
 - RECESSED WINDOW
 - WOOD RAILING



2 LEFT ELEVATION 2A - SPANISH
A201.2

Scale: 1/4" = 1'-0"

0 4 8 FT



1 FRONT ELEVATION 2A - SPANISH
A201.2

Scale: 1/4" = 1'-0"

0 4 8 FT



4 RIGHT ELEVATION 2A - SPANISH
A201.2

Scale: 1/4" = 1'-0"

0 4 8 FT



3 REAR ELEVATION 2A - SPANISH
A201.2

Scale: 1/4" = 1'-0"

0 4 8 FT



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586
Flot Properties, LLC w/Quinn Communities

ELEVATIONS 2B

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

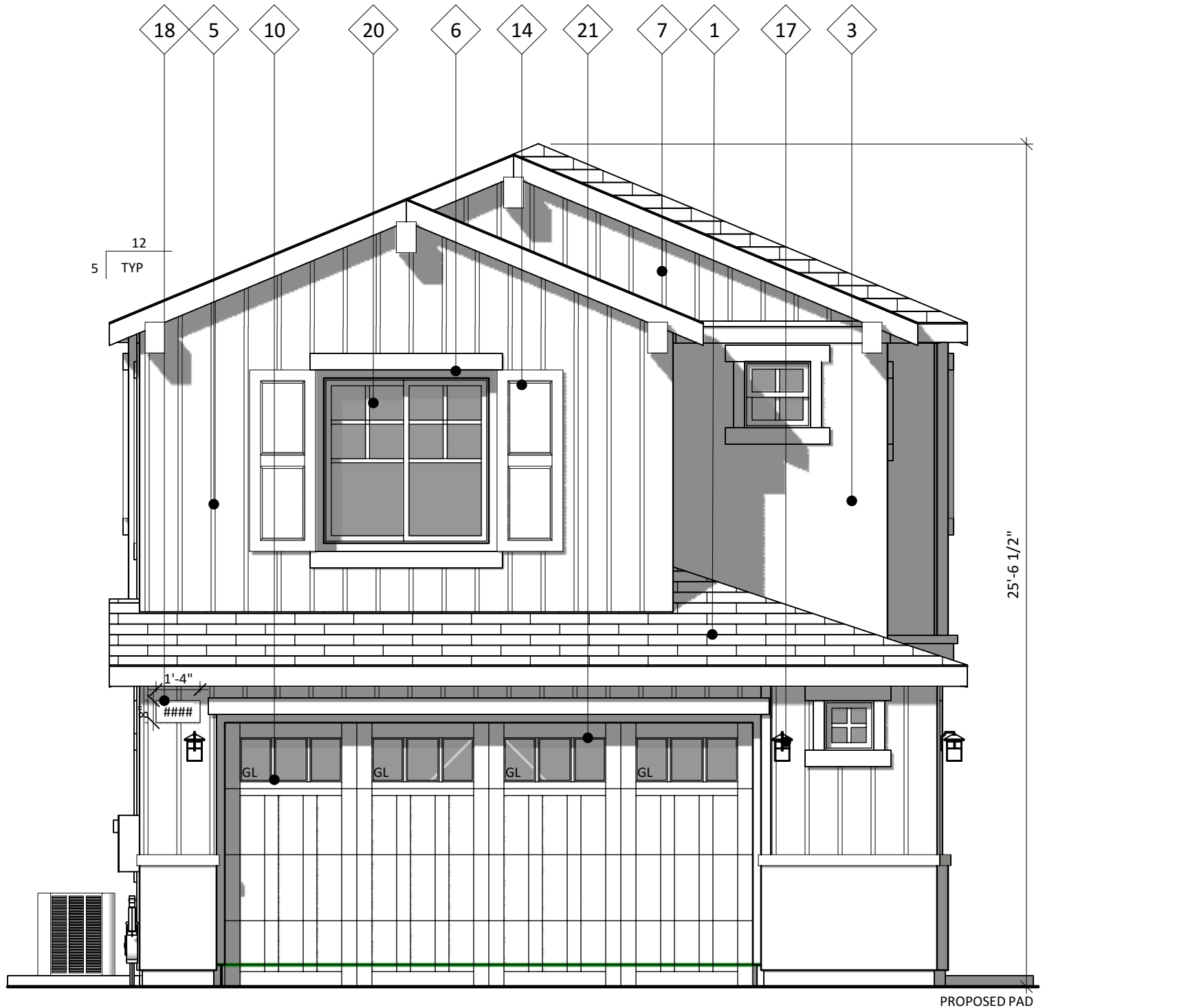
© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A202.2



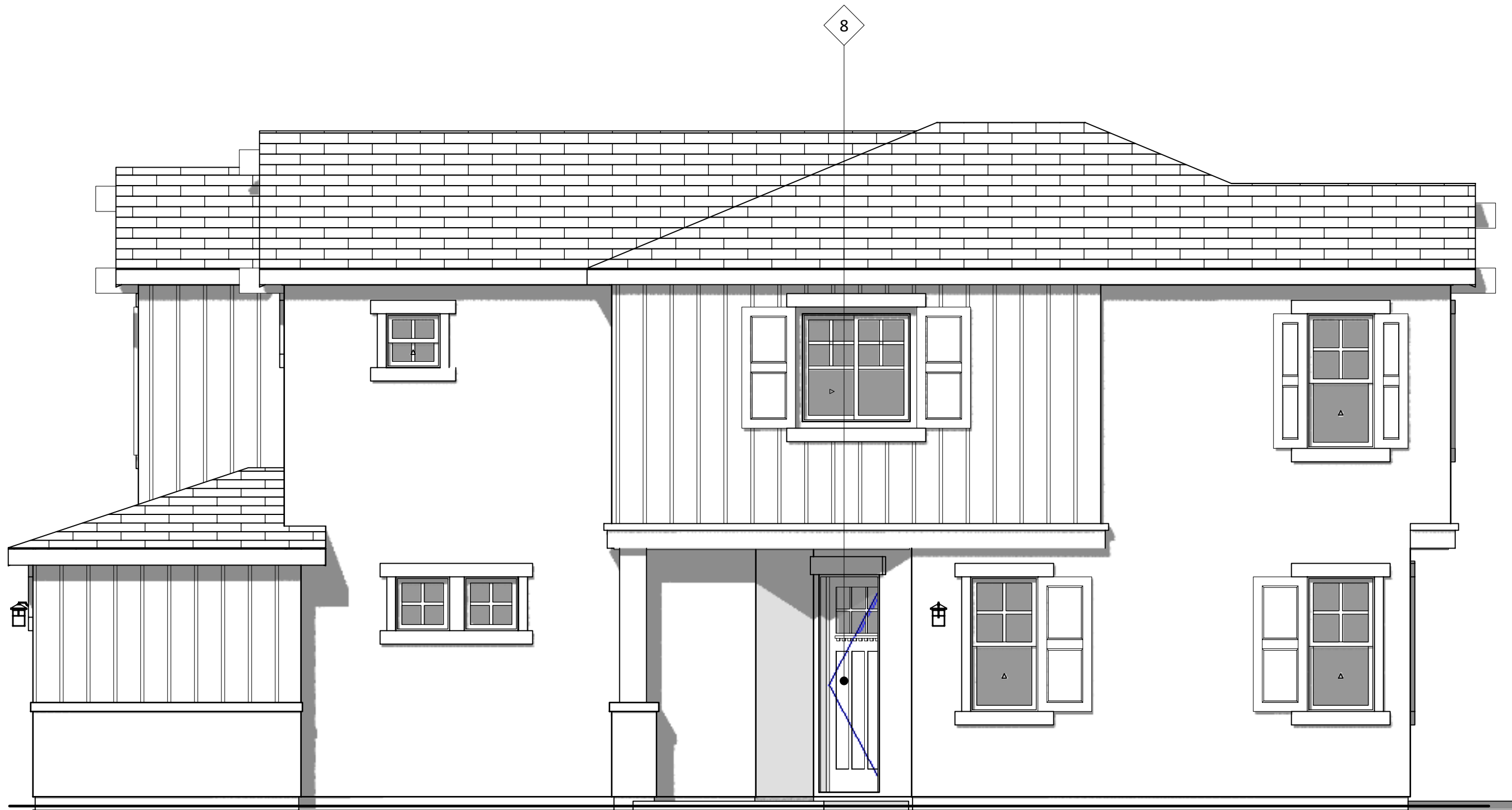
2 LEFT ELEVATION 2B- FARMHOUSE
Scale: 1/4" = 1'-0"

0 4 8 FT



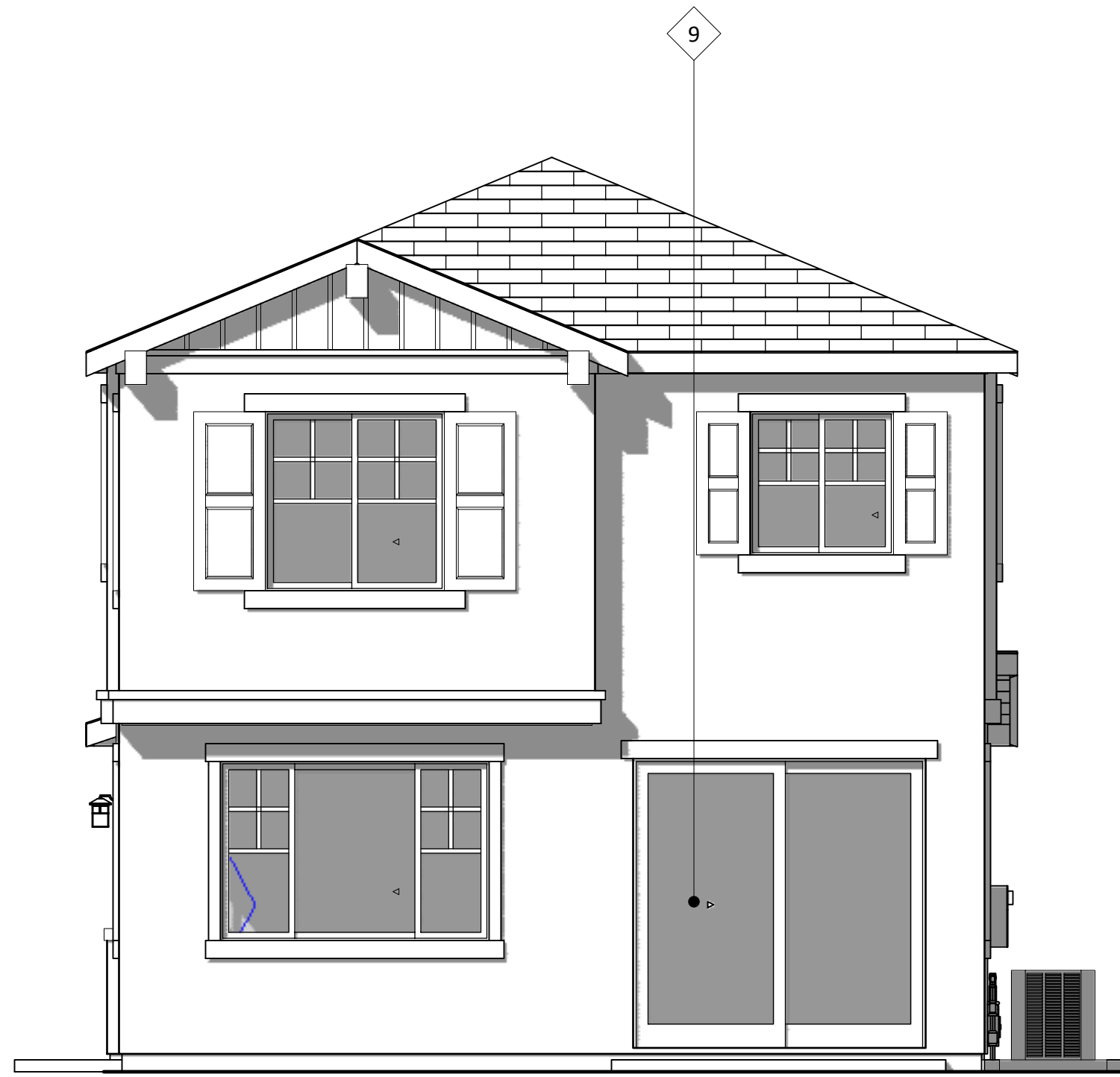
1 FRONT ELEVATION 2B- FARMHOUSE
Scale: 1/4" = 1'-0"

0 4 8 FT



4 RIGHT ELEVATION 2B- FARMHOUSE
Scale: 1/4" = 1'-0"

0 4 8 FT



3 REAR ELEVATION 2B- FARMHOUSE
Scale: 1/4" = 1'-0"

0 4 8 FT

MATERIAL LIST - B ELEVATION

- | # | MATERIAL |
|----|-----------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (BOARD & BATT) |
| 6 | HARDIE TRIM |
| 7 | WOOD OUTLOOKER |
| 8 | WOOD DOOR |
| 9 | VINYL SLIDING DOOR |
| 10 | METAL SECTIONAL GARAGE DOOR |
| 11 | WOOD RAILING |
| 12 | FIBERGLASS DOOR |
| 13 | VINYL WINDOW |
| 14 | WOOD SHUTTER |
| 15 | ELECTRICAL METER |
| 16 | GAS METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | AC CONDENSER |
| 20 | RECESSED WINDOW |
| 21 | RECESSED GARAGE DOOR |
| 22 | AWNING WITH WOOD BRACKETS |



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 2C

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

MATERIAL LIST - C ELEVATION

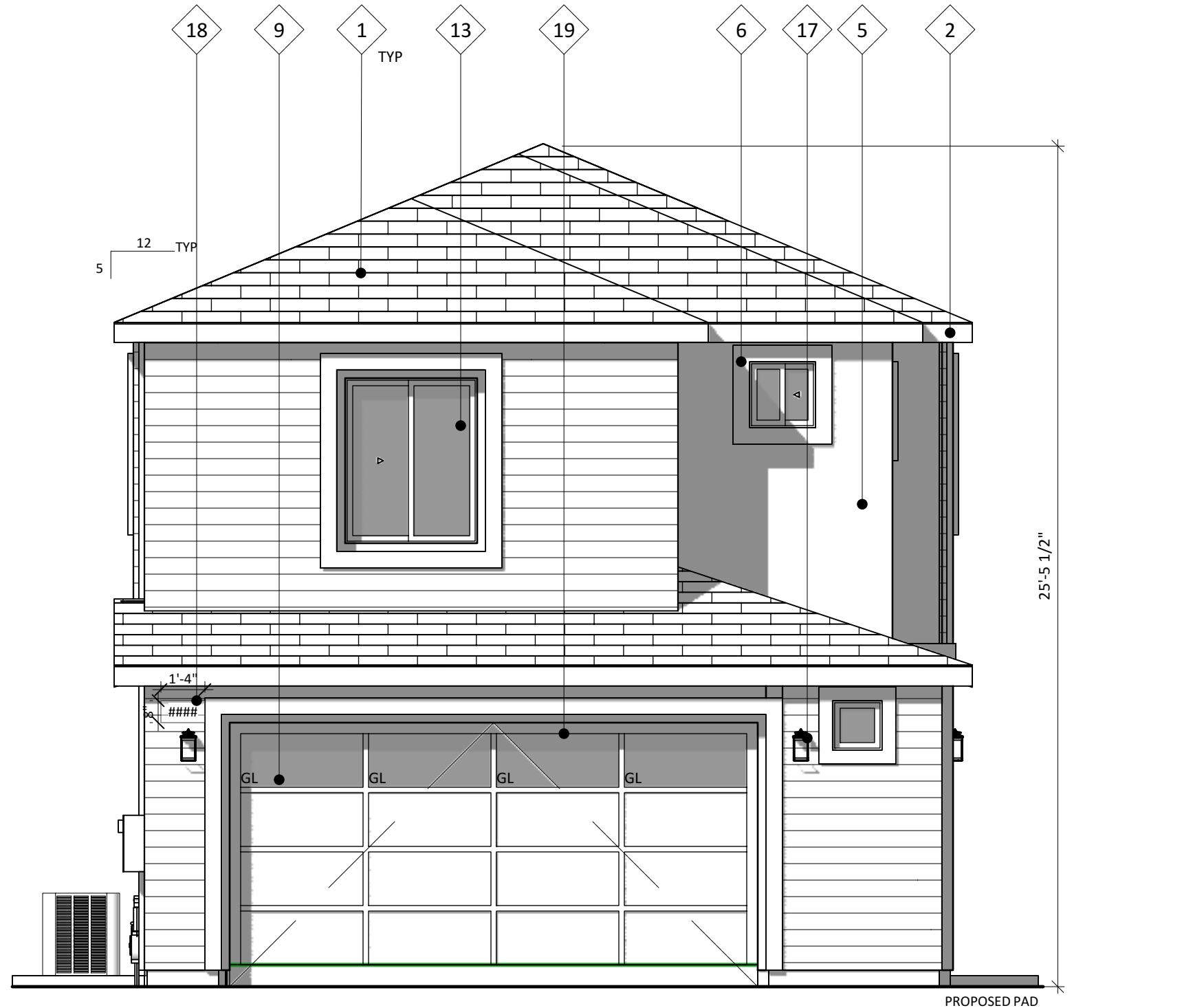
- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (LAP)
 - 6 HARDIE TRIM
 - 7 WOOD DOOR
 - 8 VINYL SLIDING DOOR
 - 9 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 10 METAL RAILING
 - 11 FIBERGLASS DOOR
 - 12 VINYL WINDOW
 - 13 RECESSED WINDOW
 - 14 GAS METER
 - 15 AC CONDENSER
 - 16 ELECTRICAL METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 RECESSED GARAGE DOOR

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

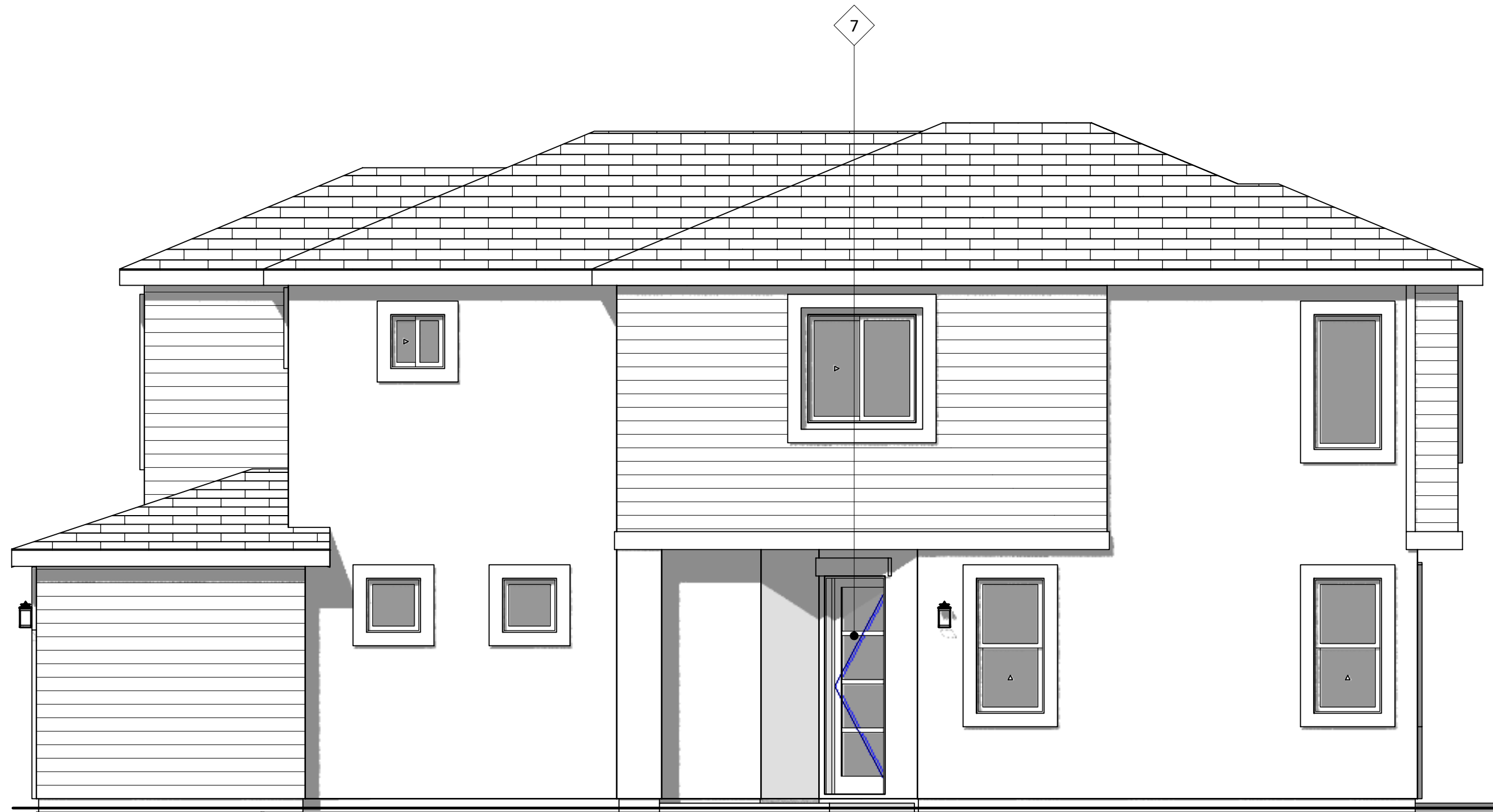
A203.2



2 LEFT ELEVATION 2C - CONTEMPORARY
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 2C - CONTEMPORARY
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 2C - CONTEMPORARY
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 2C - CONTEMPORARY
Scale: 1/4" = 1'-0"



THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

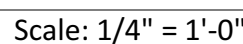
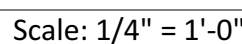
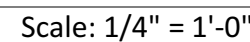
FIRST, SECOND &
ROOF LEVEL - PLAN 3

DRAWN BY: YU, DS

	REV DATE:	DESCRIPTION
---	-----------	-------------

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A101.3



**FLOOR AREA CALCULATIONS ARE FOR
BUILDING DEPARTMENT PURPOSES ONLY**

**FLOOR AREA CALCULATIONS ARE FOR
BUILDING DEPARTMENT PURPOSES ONLY**



2 LEFT ELEVATION 3A - SPANISH
A201.3 Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 3A - SPANISH
A201.3 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 3A - SPANISH
A201.3 Scale: 1/4" = 1'-0"



3 REAR ELEVATION 3A - SPANISH
A201.3 Scale: 1/4" = 1'-0"



OPENING DIAGRAM NOTES

1. The area of exterior wall openings in of a building with a fire separation distance of 30 feet or greater shall not be limited, per CBC Table 705.8.
2. Refer to sheets A100.1 for dimensions of exterior walls to property lines and table 705.8 for allowances.
3. Protected openings noted on the elevation.
4. ☐ No openings

LEFT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	41 SF
Wall Area	498 SF
Opening To Wall Area Ratio	8.1%
Allowed per Table 705.8	25.0%

LEFT ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	49 SF
Wall Area	459 SF
Opening To Wall Area Ratio	10.7%
Allowed per Table 705.8	25.0%

RIGHT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	70 SF
Wall Area	498 SF
Opening To Wall Area Ratio	14.1%
Allowed per Table 705.8	25.0%

RIGHT ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	34 SF
Wall Area	507 SF
Opening To Wall Area Ratio	6.7%
Allowed per Table 705.8	25.0%

REAR ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	63 SF
Wall Area	242 SF
Opening To Wall Area Ratio	26.1%
Allowed per Table 705.8	45.0%

REAR ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	32 SF
Wall Area	242 SF
Opening To Wall Area Ratio	13.2%
Allowed per Table 705.8	45.0%

MATERIAL LIST - A ELEVATION

#	MATERIAL
1	CONCRETE S/TILE
2	WOOD FASCIA & RAKE BOARD
3	STUCCO FINISH
4	STUCCO CORBEL
5	STUCCO TRIM
6	STUCCO POT SHELF
7	CLAY PIPE
8	WOOD DOOR
9	VINYL SLIDING DOOR
10	METAL SECTIONAL GARAGE DOOR W/ GLASS
11	ARCHED OPENING
12	FIBERGLASS DOOR
13	VINYL WINDOW
14	WOOD SHUTTER
15	ELECTRICAL METER
16	GAS METER
17	AC CONDENSER
18	COACH LIGHTING
19	ADDRESS SIGN
20	SHAPED STUCCO TRIM
21	RECESSED GARAGE DOOR
22	RECESSED WINDOW
23	WOOD RAILING



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS - 3A

JOB NUMBER: 21BPM07

DATE PUBLISHED: 04.12.2023

DRAWN BY: YU, DS

REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A201.3



2 LEFT ELEVATION 3B - FARMHOUSE
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 3B - FARMHOUSE
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 3B - FARMHOUSE
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 3B - FARMHOUSE
Scale: 1/4" = 1'-0"

MATERIAL LIST - B ELEVATION

- | # | MATERIAL |
|----|-----------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (BOARD & BATT) |
| 6 | HARDIE TRIM |
| 7 | WOOD OUTLOOKER |
| 8 | WOOD DOOR |
| 9 | VINYL SLIDING DOOR |
| 10 | METAL SECTIONAL GARAGE DOOR |
| 11 | WOOD RAILING |
| 12 | FIBERGLASS DOOR |
| 13 | VINYL WINDOW |
| 14 | WOOD SHUTTER |
| 15 | ELECTRICAL METER |
| 16 | GAS METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | AC CONDENSER |
| 20 | RECESSED WINDOW |
| 21 | RECESSED GARAGE DOOR |
| 22 | AWNING WITH WOOD BRACKETS |



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

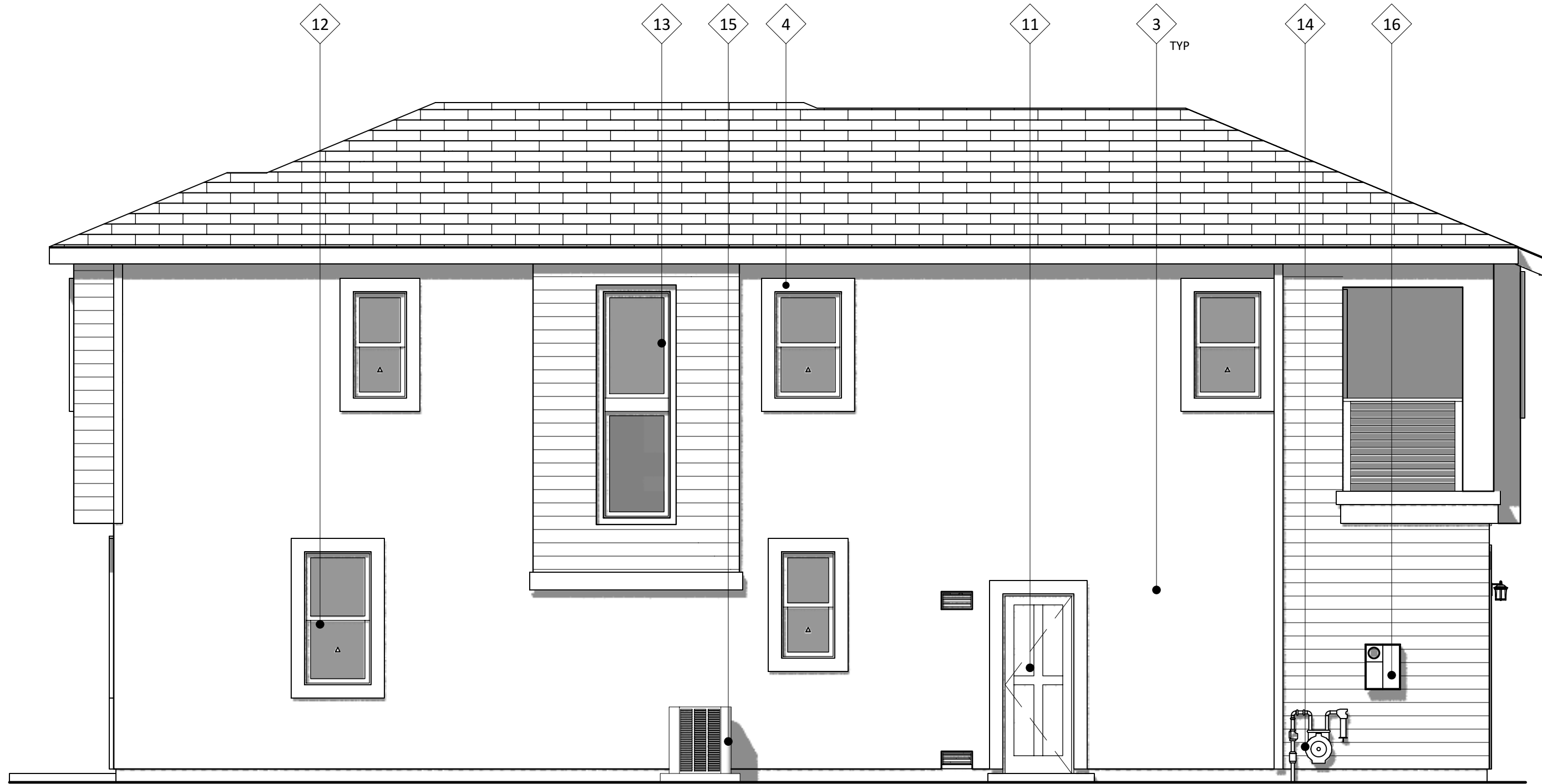
CORONADO
THORNTON AVENUE
MENIFEE, CA 92586
Flot Properties, LLC w/Quinn Communities

ELEVATIONS - 3B

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A202.3



2 LEFT ELEVATION 3C - CONTEMPORARY
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 3C - CONTEMPORARY
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 3C - CONTEMPORARY
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 3C - CONTEMPORARY
Scale: 1/4" = 1'-0"

MATERIAL LIST - C ELEVATION

- | # | MATERIAL |
|----|--------------------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (LAP) |
| 6 | HARDIE TRIM |
| 7 | WOOD DOOR |
| 8 | VINYL SLIDING DOOR |
| 9 | METAL SECTIONAL GARAGE DOOR W/ GLASS |
| 10 | METAL RAILING |
| 11 | FIBERGLASS DOOR |
| 12 | VINYL WINDOW |
| 13 | RECESSED WINDOW |
| 14 | GAS METER |
| 15 | AC CONDENSER |
| 16 | ELECTRICAL METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | RECESSED GARAGE DOOR |



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS - 3C

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS

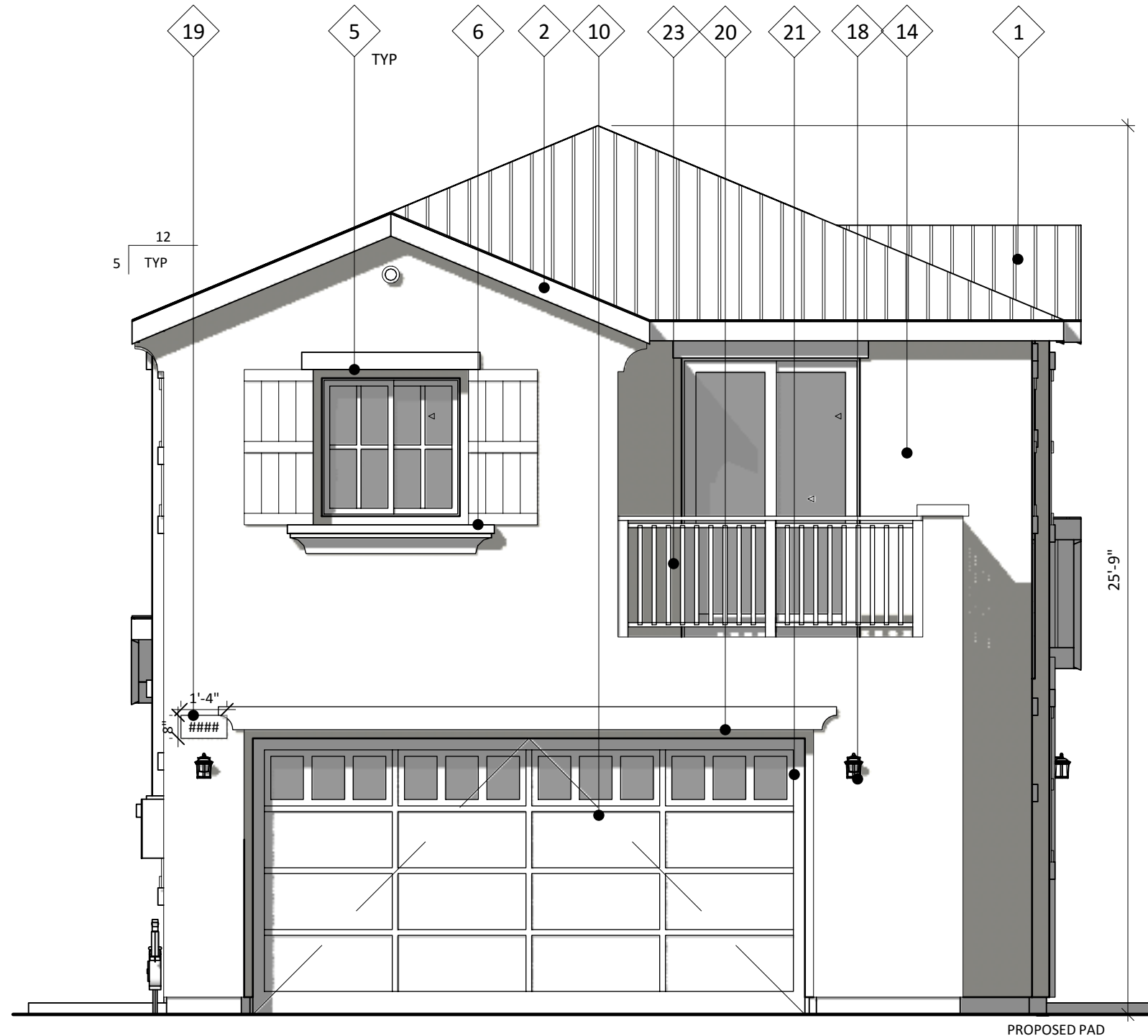
#	REV DATE	DESCRIPTION

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

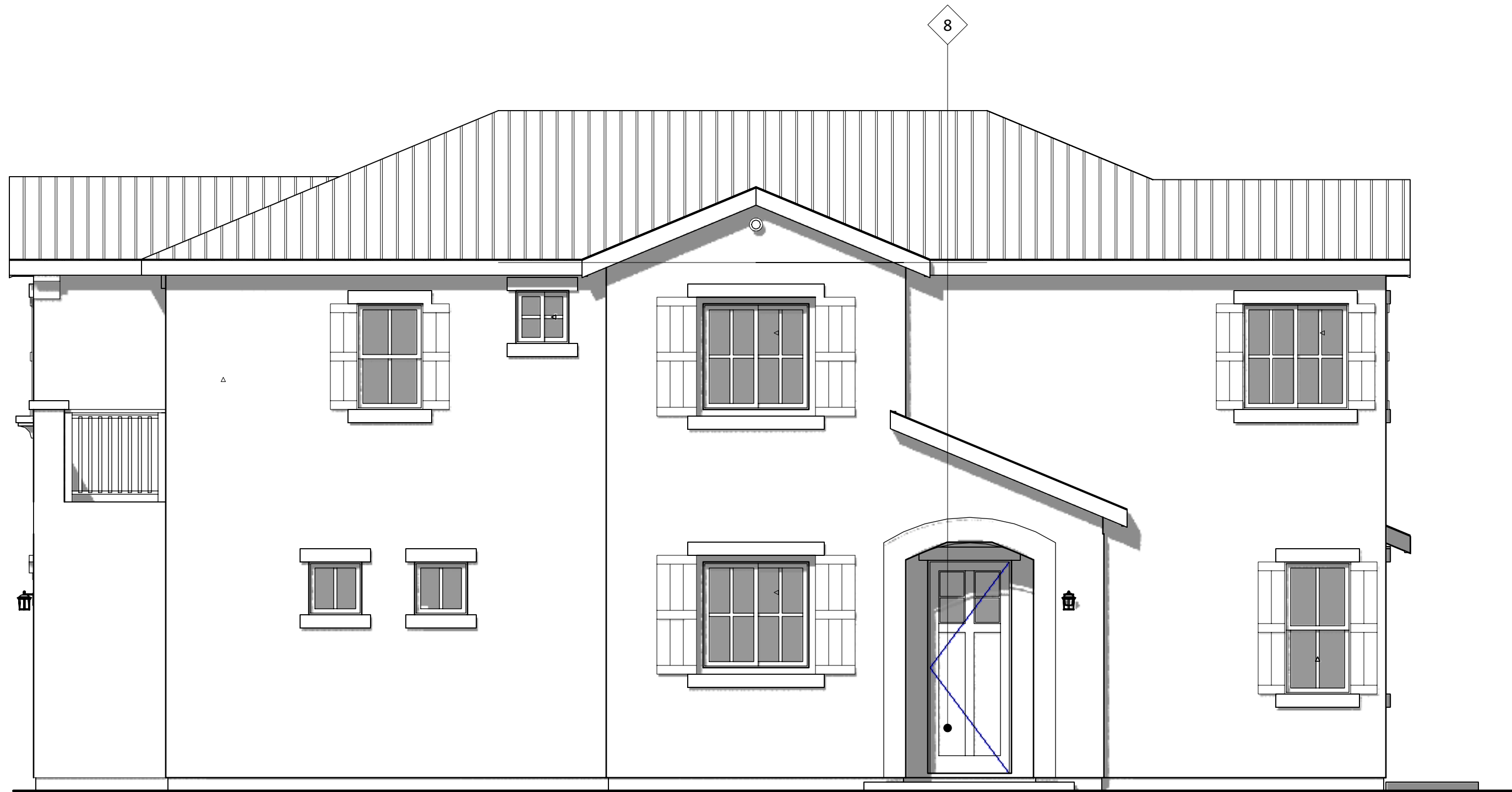
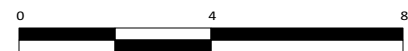
A203.3



2 LEFT ELEVATION 4A - SPANISH
A201.4 Scale: 1/4" = 1'-0"



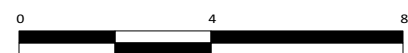
1 FRONT ELEVATION 4A - SPANISH
A201.4 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 4A - SPANISH
A201.4 Scale: 1/4" = 1'-0"



3 REAR ELEVATION 4A - SPANISH
A201.4 Scale: 1/4" = 1'-0"



OPENING DIAGRAM NOTES

1. The area of exterior wall openings in of a building with a fire separation distance of 30 feet or greater shall not be limited, per CBC Table 705.8.
2. Refer to sheets A100.1 for dimensions of exterior walls to property lines and table 705.8 for allowances.
3. Protected openings noted on the elevation.
4. ☐ No openings

LEFT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	33 SF
Wall Area	447 SF
Opening To Wall Area Ratio	7.4%
Allowed per Table 705.8	15.0%

LEFT ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	48 SF
Wall Area	445 SF
Opening To Wall Area Ratio	10.7%
Allowed per Table 705.8	15.0%

RIGHT ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	85 SF
Wall Area	445 SF
Opening To Wall Area Ratio	19.0%
Allowed per Table 705.8	25.0%

RIGHT ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	46 SF
Wall Area	445 SF
Opening To Wall Area Ratio	10.3%
Allowed per Table 705.8	25.0%

REAR ELEVATION 1ST FL OPENING/WALL RATIO

Opening Area	104 SF
Wall Area	242 SF
Opening To Wall Area Ratio	42.8%
Allowed per Table 705.8	45.0%

REAR ELEVATION 2ND FL OPENING/WALL RATIO

Opening Area	27 SF
Wall Area	242 SF
Opening To Wall Area Ratio	11.3%
Allowed per Table 705.8	45.0%

MATERIAL LIST - A ELEVATION

#	MATERIAL
1	CONCRETE S TILE
2	WOOD FASCIA & RAKE BOARD
3	STUCCO FINISH
4	STUCCO CORBEL
5	STUCCO TRIM
6	STUCCO POT SHELF
7	CLAY PIPE
8	WOOD DOOR
9	VINYL SLIDING DOOR
10	METAL SECTIONAL GARAGE DOOR W/ GLASS
11	ARCHED OPENING
12	FIBERGLASS DOOR
13	VINYL WINDOW
14	WOOD SHUTTER
15	ELECTRICAL METER
16	GAS METER
17	AC CONDENSER
18	COACH LIGHTING
19	ADDRESS SIGN
20	SHAPED STUCCO TRIM
21	RECESSED GARAGE DOOR
22	RECESSED WINDOW
23	WOOD RAILING



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court • 120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS - 4A

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS

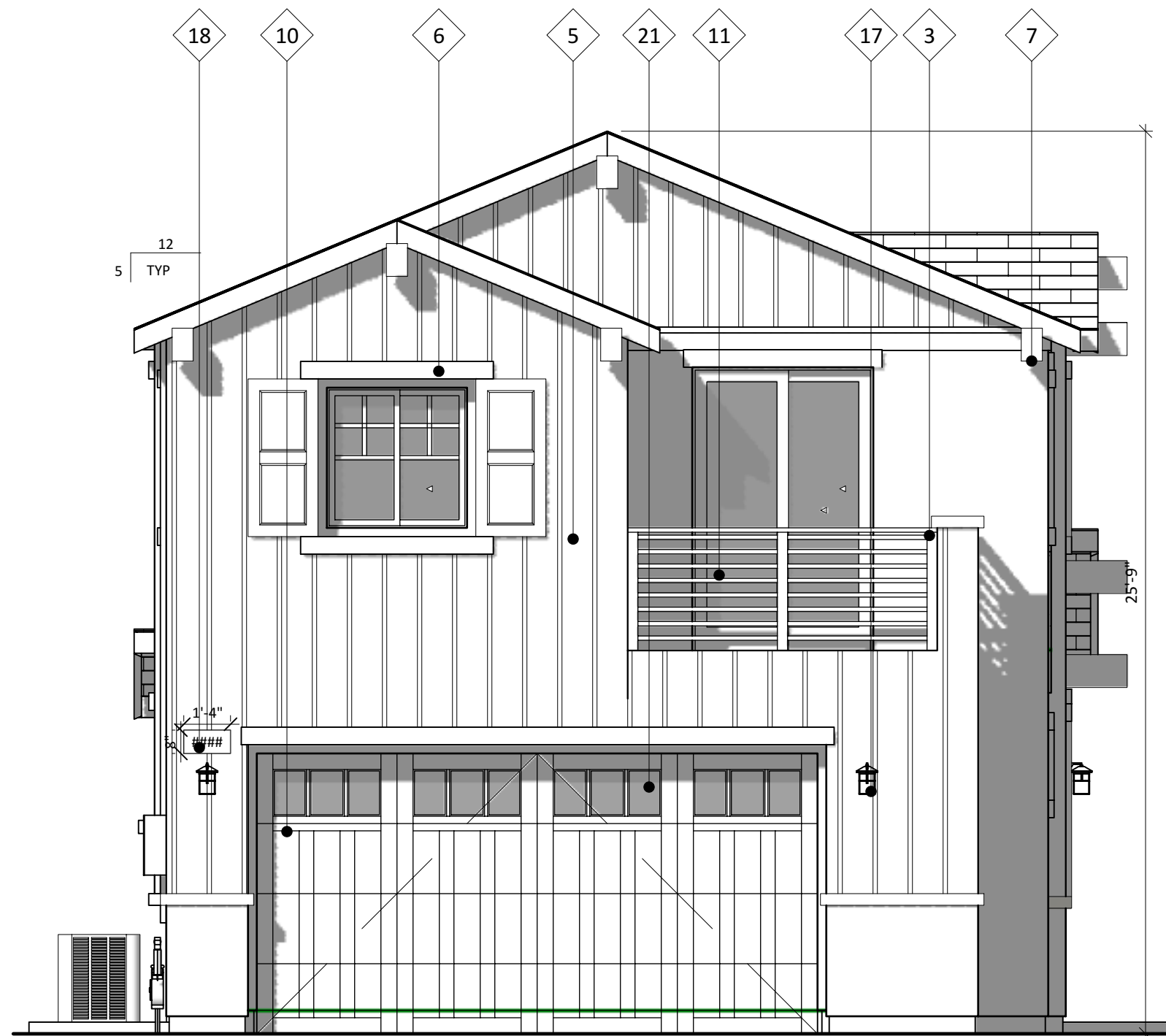
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A201.4



2 LEFT ELEVATION 4B - FARMHOUSE
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 4B - FARMHOUSE
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 4B - FARMHOUSE
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 4B - FARMHOUSE
Scale: 1/4" = 1'-0"

MATERIAL LIST - B ELEVATION

- | # | MATERIAL |
|----|-----------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (BOARD & BATT) |
| 6 | HARDIE TRIM |
| 7 | WOOD OUTLOOKER |
| 8 | WOOD DOOR |
| 9 | VINYL SLIDING DOOR |
| 10 | METAL SECTIONAL GARAGE DOOR |
| 11 | WOOD RAILING |
| 12 | FIBERGLASS DOOR |
| 13 | VINYL WINDOW |
| 14 | WOOD SHUTTER |
| 15 | ELECTRICAL METER |
| 16 | GAS METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | AC CONDENSER |
| 20 | RECESSED WINDOW |
| 21 | RECESSED GARAGE DOOR |
| 22 | AWNING WITH WOOD BRACKETS |



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

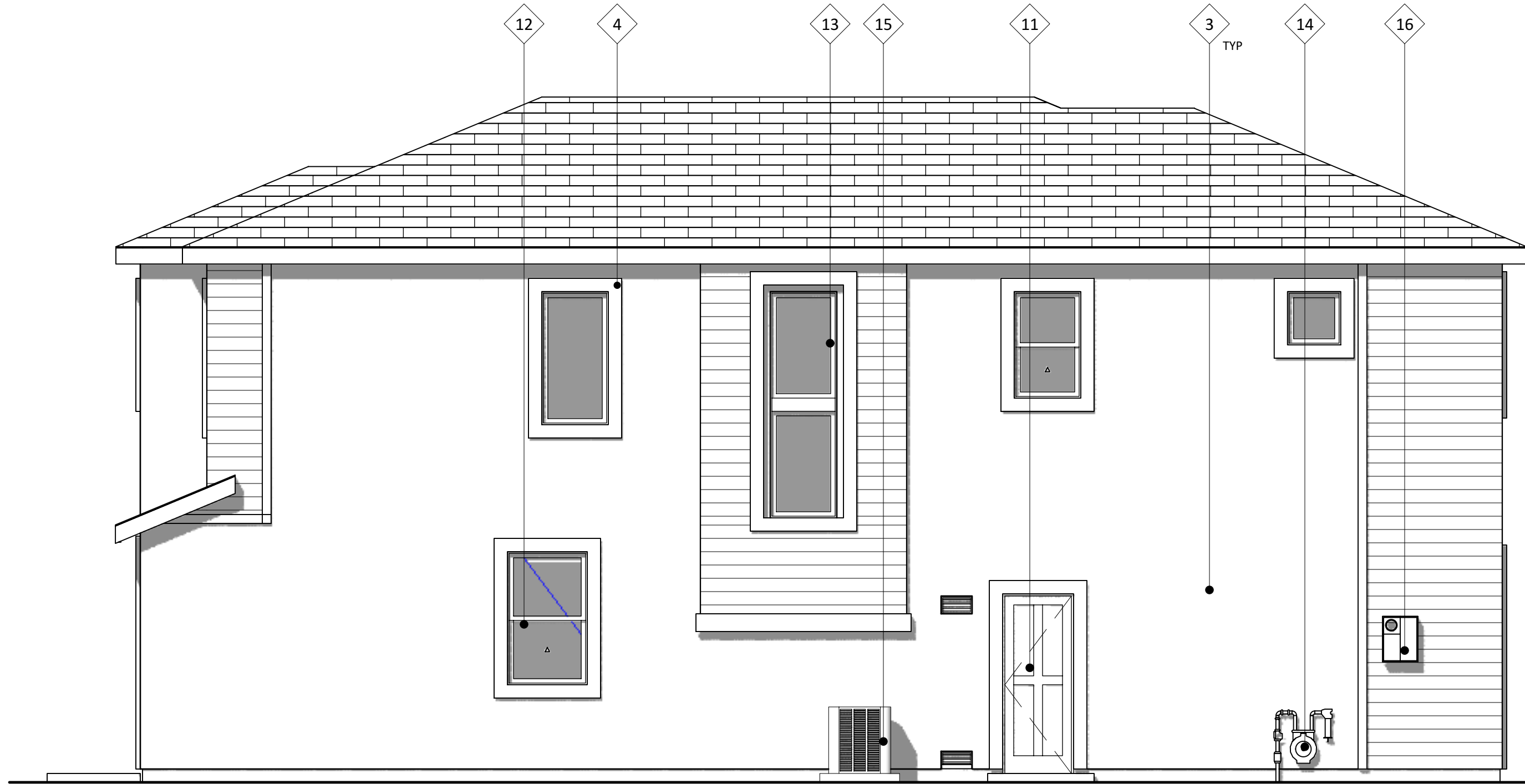
Floit Properties, LLC w/Quinn Communities

ELEVATIONS - 4B

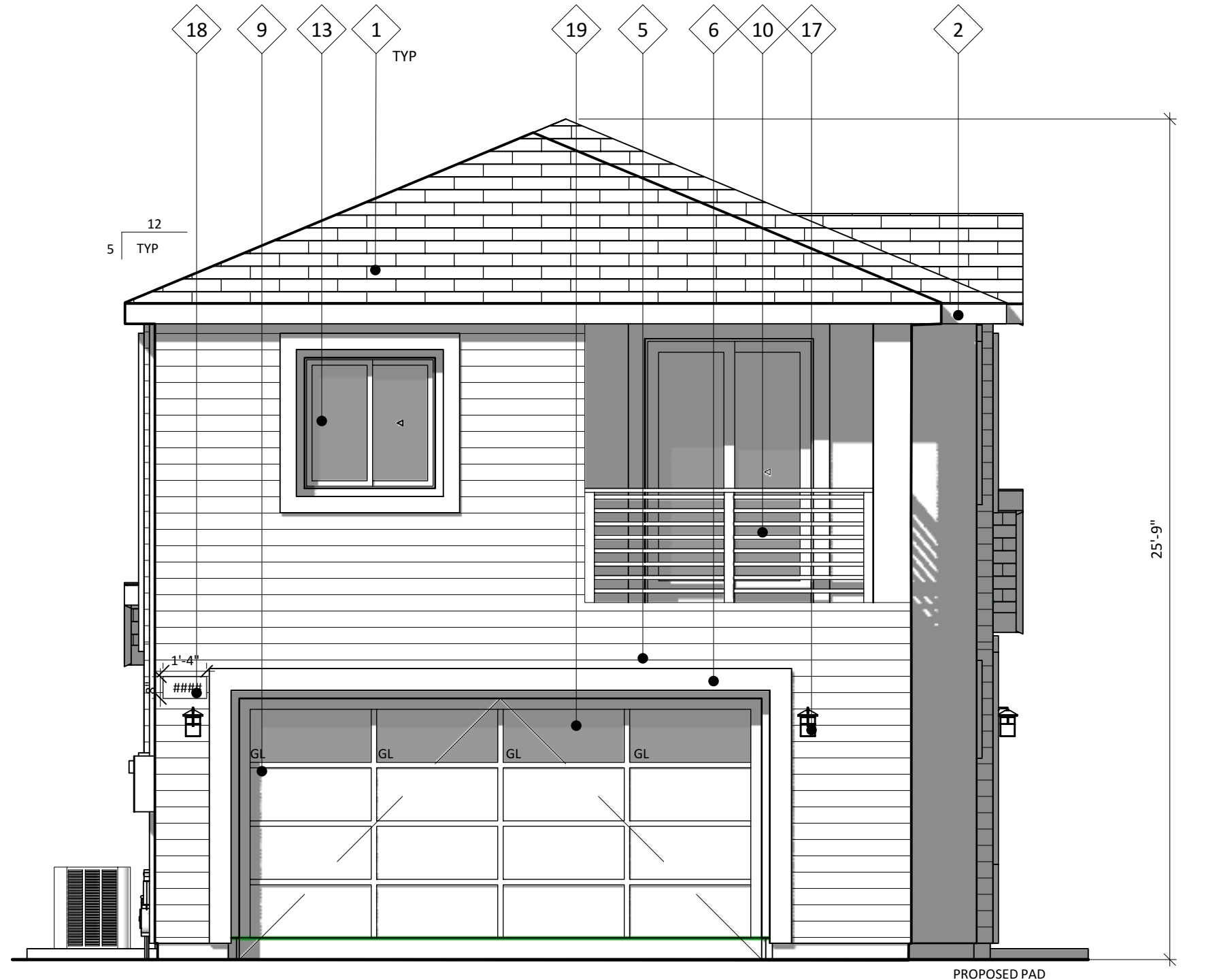
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A202.4



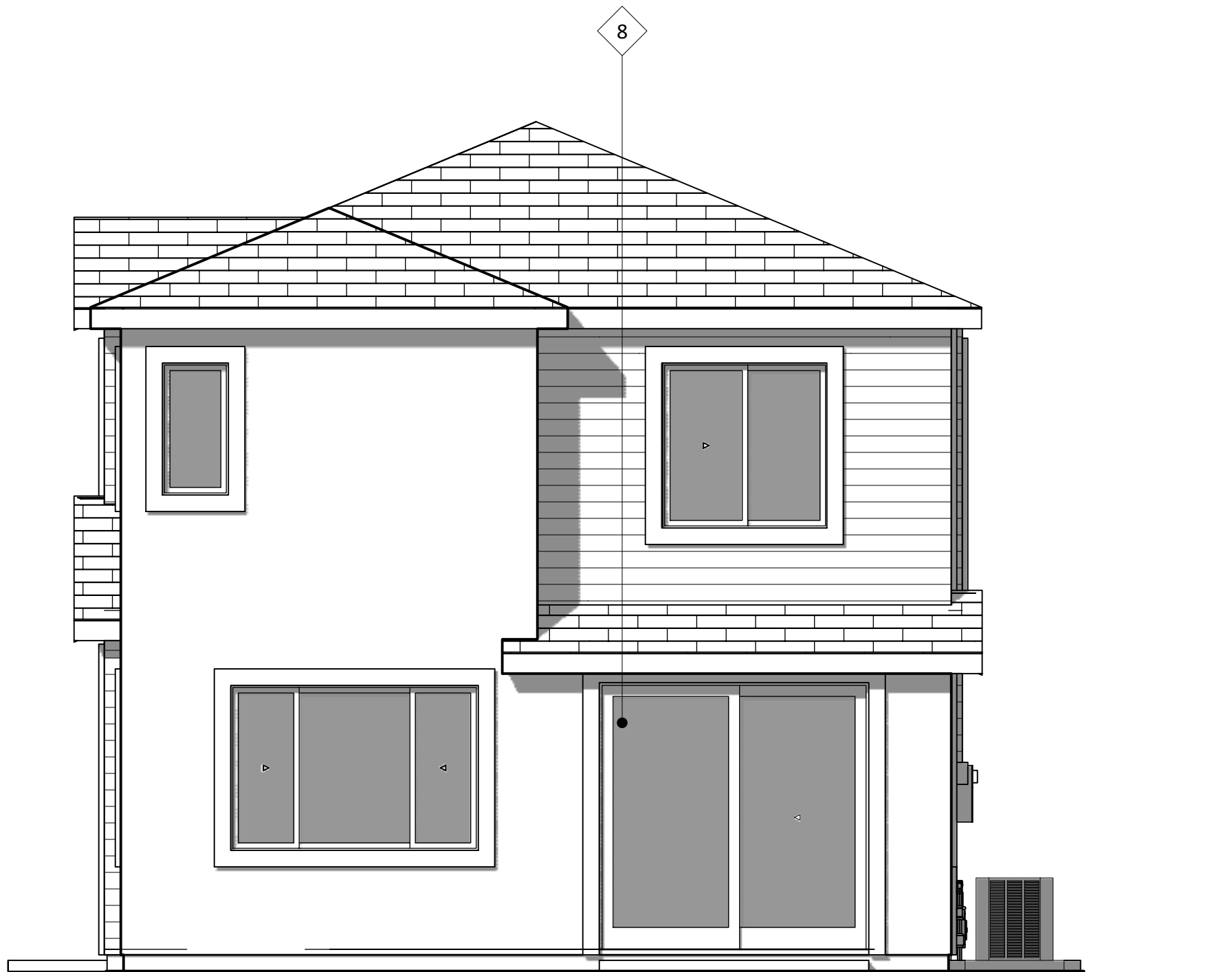
2 LEFT ELEVATION 4C - CONTEMPORARY
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 4C - CONTEMPORARY
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 4C - CONTEMPORARY
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 4C - CONTEMPORARY
Scale: 1/4" = 1'-0"

MATERIAL LIST - C ELEVATION

- | # | MATERIAL |
|----|--------------------------------------|
| 1 | CONCRETE FLAT TILE |
| 2 | WOOD FASCIA & RAKE BOARD |
| 3 | STUCCO FINISH |
| 4 | STUCCO TRIM |
| 5 | SIDING (LAP) |
| 6 | HARDIE TRIM |
| 7 | WOOD DOOR |
| 8 | VINYL SLIDING DOOR |
| 9 | METAL SECTIONAL GARAGE DOOR W/ GLASS |
| 10 | METAL RAILING |
| 11 | FIBERGLASS DOOR |
| 12 | VINYL WINDOW |
| 13 | RECESSED WINDOW |
| 14 | GAS METER |
| 15 | AC CONDENSER |
| 16 | ELECTRICAL METER |
| 17 | COACH LIGHTING |
| 18 | ADDRESS SIGN |
| 19 | RECESSED GARAGE DOOR |



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

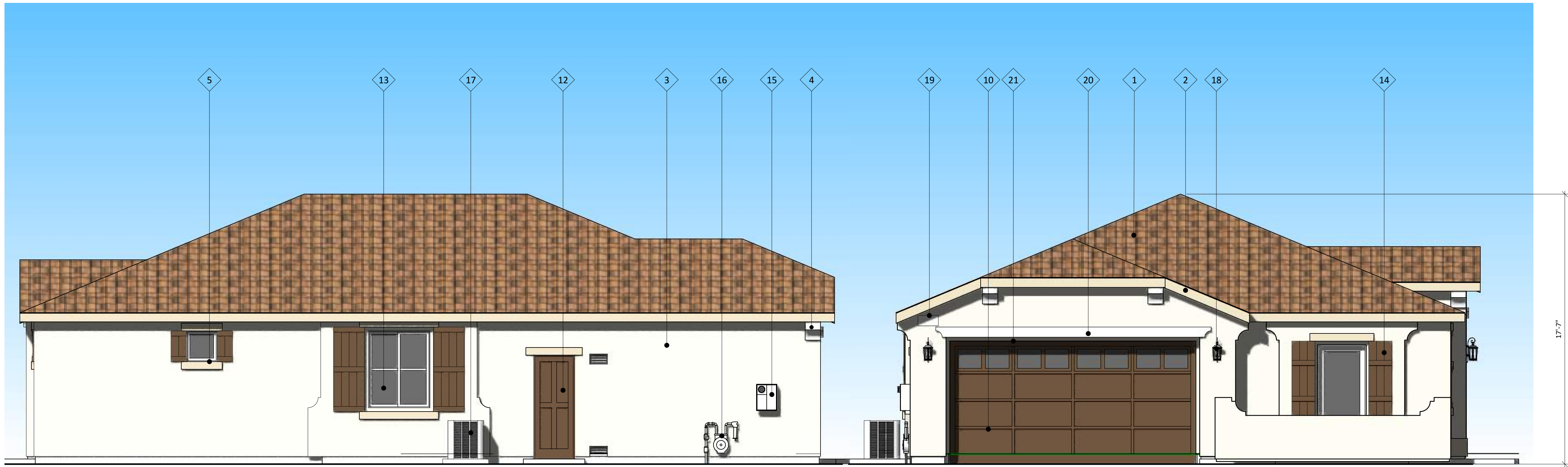
Floit Properties, LLC w/Quinn Communities

ELEVATIONS - 4C

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

A203.4



2 LEFT ELEVATION 1A - COLOR SCHEME V
Scale: 1/4" = 1'-0"

1 FRONT ELEVATION 1A - COLOR SCHEME V
Scale: 1/4" = 1'-0"



4 RIGHTELEVATION 1A - COLOR SCHEME V
Scale: 1/4" = 1'-0"

3 REAR ELEVATION 1A - COLOR SCHEME V
Scale: 1/4" = 1'-0"

MATERIAL LIST - A ELEVATION

- # MATERIAL
- 1 CONCRETE S TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO CORBEL
 - 5 STUCCO TRIM
 - 6 STUCCO POT SHELF
 - 7 CLAY PIPE
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 11 ARCHED OPENING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 AC CONDENSER
 - 18 COACH LIGHTING
 - 19 ADDRESS SIGN
 - 20 SHAPED STUCCO TRIM
 - 21 RECESSED GARAGE DOOR
 - 22 RECESSED WINDOW
 - 23 WOOD RAILING

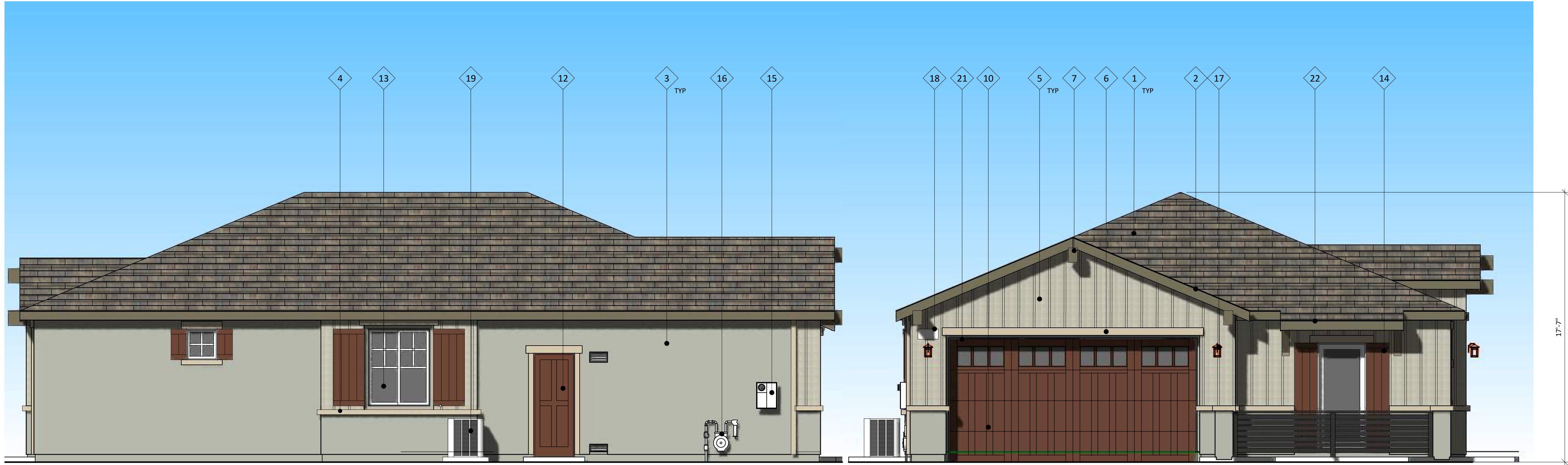
COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondrenza King Canyon Blend	5691/17502 Fondrenza Anadia	5699 Fondrenza Charcoal Range	5687 Fondrenza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer
Stucco	Omega	Omega	Omega	Omega	Omega	Omega
Siding	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Sherrin Williams	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer
Trim	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer
Shutters	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer
Front Door	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer
Garage Door	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer
Railing	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6355 Captivan Brown	SW6119 - Antique White	SW6104 - Kiefer

ELEVATIONS 1A - V

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.



2 LEFT ELEVATION 1B - COLOR SCHEME I
Scale: 1/4" = 1'-0"

1 FRONT ELEVATION 1B - COLOR SCHEME I
Scale: 1/4" = 1'-0"



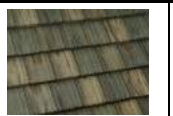

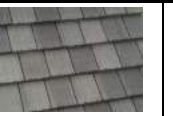
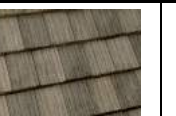
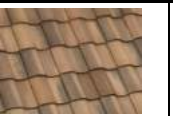

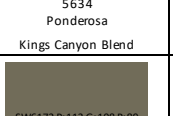

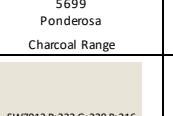
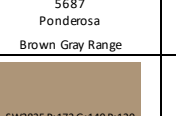
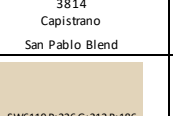
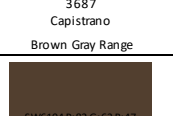

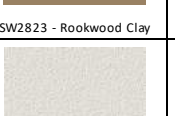




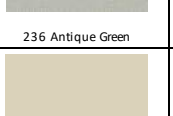
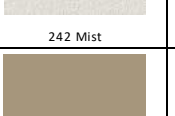
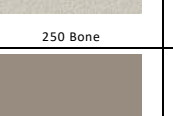

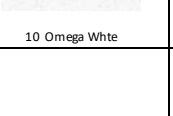
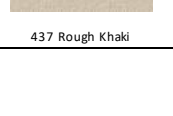
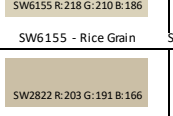
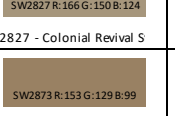

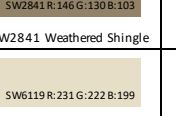
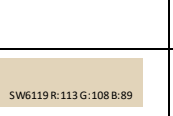
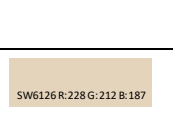
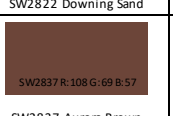
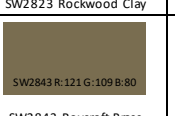
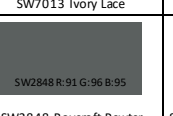
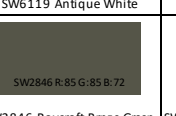
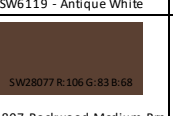
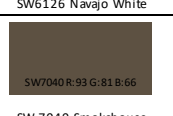


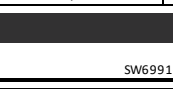
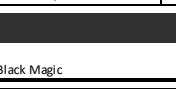


4 RIGHT ELEVATION 1B - COLOR SCHEME I
Scale: 1/4" = 1'-0"

3 REAR ELEVATION 1B - COLOR SCHEME I
Scale: 1/4" = 1'-0"

MATERIAL LIST - B ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (BOARD & BATT)
 - 6 HARDIE TRIM
 - 7 WOOD OUTLOOKER
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR
 - 11 WOOD RAILING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 AC CONDENSER
 - 20 RECESSED WINDOW
 - 21 RECESSED GARAGE DOOR
 - 22 AWNING WITH WOOD BRACKETS

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof	 5634 Fondamenta Eagle Roofing Products	 5639 13702 Fondamenta Kings Canyon Brand	 5639 Fondamenta Charcoal Range	 5637 Fondamenta Brown Clay Range	 3814 Capistrano San Pablo Brand	 3887 Capistrano Brown Clay Range
Fascia/ Outlookers	 566113 - Canyon Sherwin Williams	 566213 - Rockwood Clay Sherwin Williams	 566213 Navy Lace Sherwin Williams	 566213 Canyon Brown Sherwin Williams	 566119 - Antique White Sherwin Williams	 566104 - Kaffee Sherwin Williams
Stucco	 216 Antique Green Omega	 242 Mist Omega	 250 Bone Omega	 251 Lace Omega	 10 Omega White Omega	 437 Rough Khaki Omega
Siding	 566119 - Canyon Brown Sherwin Williams	 566213 - Rockwood Clay Sherwin Williams	 566213 Navy Lace Sherwin Williams	 566213 Canyon Brown Sherwin Williams	 566119 - Antique White Sherwin Williams	 566104 - Kaffee Sherwin Williams
Trim	 566213 - Rockwood Clay Sherwin Williams	 566213 Navy Lace Sherwin Williams	 566213 Navy Lace Sherwin Williams	 566213 Canyon Brown Sherwin Williams	 566119 - Antique White Sherwin Williams	 566104 - Kaffee Sherwin Williams
Shutters Front Door Garage Door	 566213 - Canyon Brown Sherwin Williams	 566213 - Rockwood Clay Sherwin Williams	 566213 Navy Lace Sherwin Williams	 566213 Canyon Brown Sherwin Williams	 566119 - Antique White Sherwin Williams	 566104 - Kaffee Sherwin Williams
Railing	 566213 - Canyon Brown Sherwin Williams	 566213 - Rockwood Clay Sherwin Williams	 566213 Navy Lace Sherwin Williams	 566213 Canyon Brown Sherwin Williams	 566119 - Antique White Sherwin Williams	 566104 - Kaffee Sherwin Williams



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

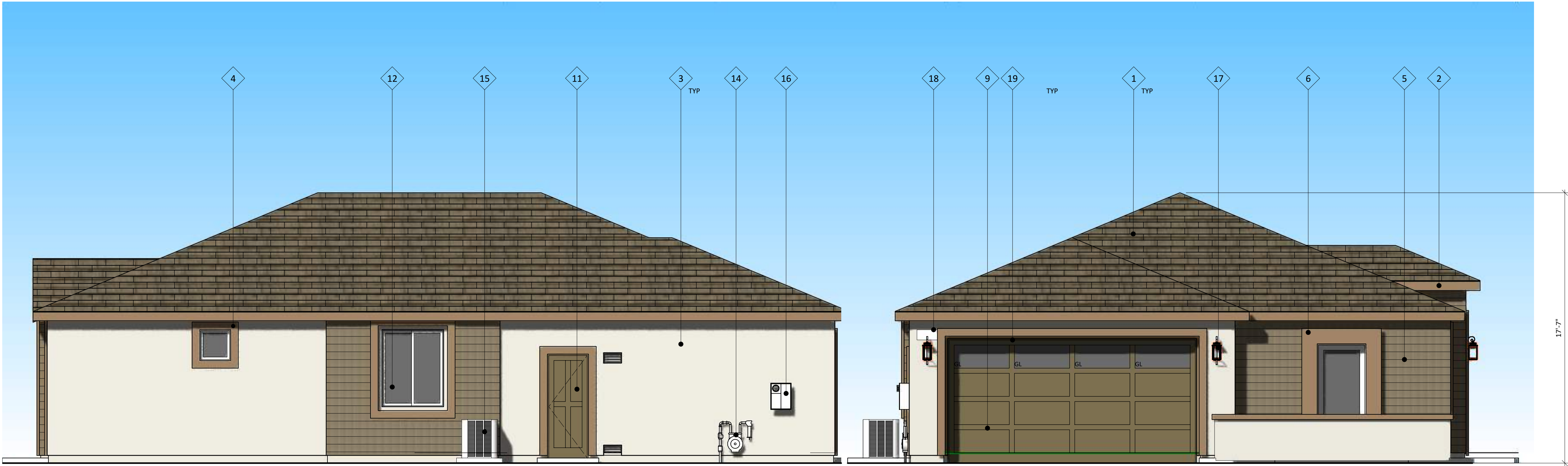
CORONADO
THORNTON AVENUE
MENIFEE, CA 92586
Flot Properties, LLC w/Quinn Communities

ELEVATIONS 1B - I

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC202.1



2 LEFT ELEVATION 1C - COLOR SCHEME II
Scale: 1/4" = 1'-0"

1 FRONT ELEVATION 1C - COLOR SCHEME II
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 1C - COLOR SCHEME II
Scale: 1/4" = 1'-0"

3 REAR ELEVATION 1C - COLOR SCHEME II
Scale: 1/4" = 1'-0"

MATERIAL LIST - C ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (LAP)
 - 6 HARDIE TRIM
 - 7 WOOD DOOR
 - 8 VINYL SLIDING DOOR
 - 9 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 10 METAL RAILING
 - 11 FIBERGLASS DOOR
 - 12 VINYL WINDOW
 - 13 RECESSED WINDOW
 - 14 GAS METER
 - 15 AC CONDENSER
 - 16 ELECTRICAL METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 RECESSED GARAGE DOOR

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondrenza Kings Canyon Blend	569171922 Fondrenza Anasazi	5699 Fondrenza Charcoal Range	5687 Fondrenza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee
Stucco	Omega	Omega	Omega	Omega	Omega	Omega
Siding	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee
Trim	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee
Shutters	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee
Front Door	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee
Garage Door	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee
Railing	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Holly Lace	SW7013 Holly Lace	SW6119 - Antique White	SW6104 - Kaffee



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 1C - II

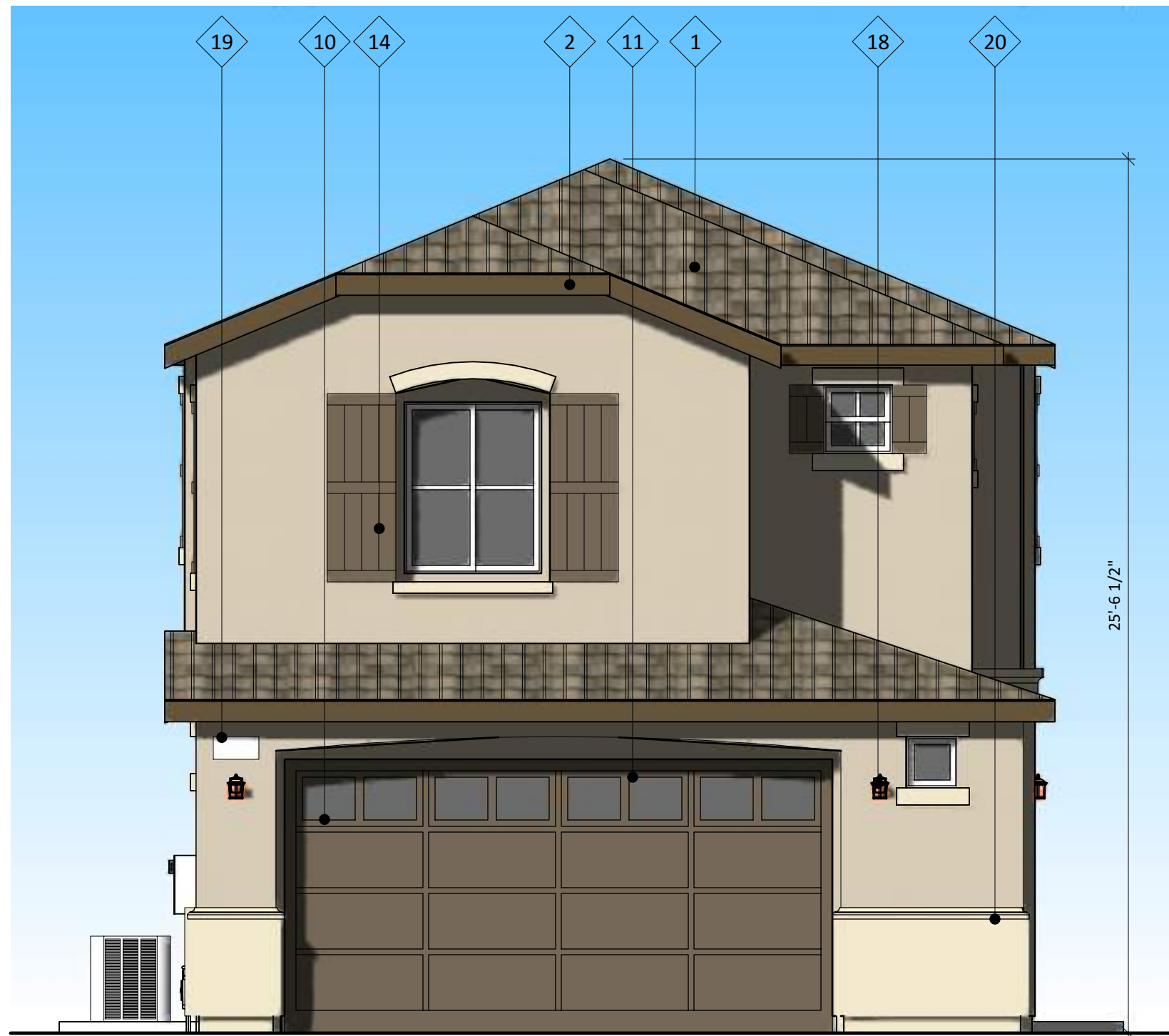
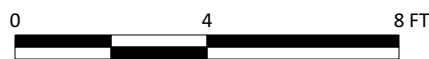
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC203.1



2 LEFT ELEVATION 2A - COLOR SCHEME VI
Scale: 1/4" = 1'-0"



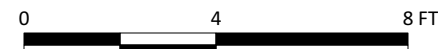
1 FRONT ELEVATION 2A - COLOR SCHEME VI
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 2A - COLOR SCHEME VI
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 2A - COLOR SCHEME VI
Scale: 1/4" = 1'-0"



MATERIAL LIST - A ELEVATION

- # MATERIAL
- 1 CONCRETE S TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO CORBEL
 - 5 STUCCO TRIM
 - 6 STUCCO POT SHELF
 - 7 CLAY PIPE
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 11 ARCHED OPENING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 AC CONDENSER
 - 18 COACH LIGHTING
 - 19 ADDRESS SIGN
 - 20 SHAPED STUCCO TRIM
 - 21 RECESSED GARAGE DOOR
 - 22 RECESSED WINDOW
 - 23 WOOD RAILING

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondanza King Canyon Blend	5691 Fondanza Angeles	5699 Fondanza Charcoal Range	5687 Fondanza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers						
Sherwin Williams	5961 - Cotton	5922 - Rosewood Clay	5973 - Ivory Lace	5925 - Cottonwood Brown	5919 - Antique White	5904 - Kaffee
Stucco						
Omega	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Siding						
Sherwin Williams	5961 - Rice Gate	5922 - Colonial Revival S	5973 - Harvested Shale	5925 - Harvested Shale		
Trim						
Sherwin Williams	5961 - Rice Gate	5922 - Colonial Revival S	5973 - Ivory Lace	5925 - Cottonwood Brown	5919 - Antique White	5904 - Kaffee
Shutters						
Front Door						
Garage Door						
Sherwin Williams	5961 - Rice Gate	5922 - Colonial Revival S	5973 - Ivory Lace	5925 - Cottonwood Brown	5919 - Antique White	5904 - Kaffee
Railing						
Sherwin Williams	5961 - Rice Gate	5922 - Colonial Revival S	5973 - Ivory Lace	5925 - Cottonwood Brown	5919 - Antique White	5904 - Kaffee



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 2A - VI

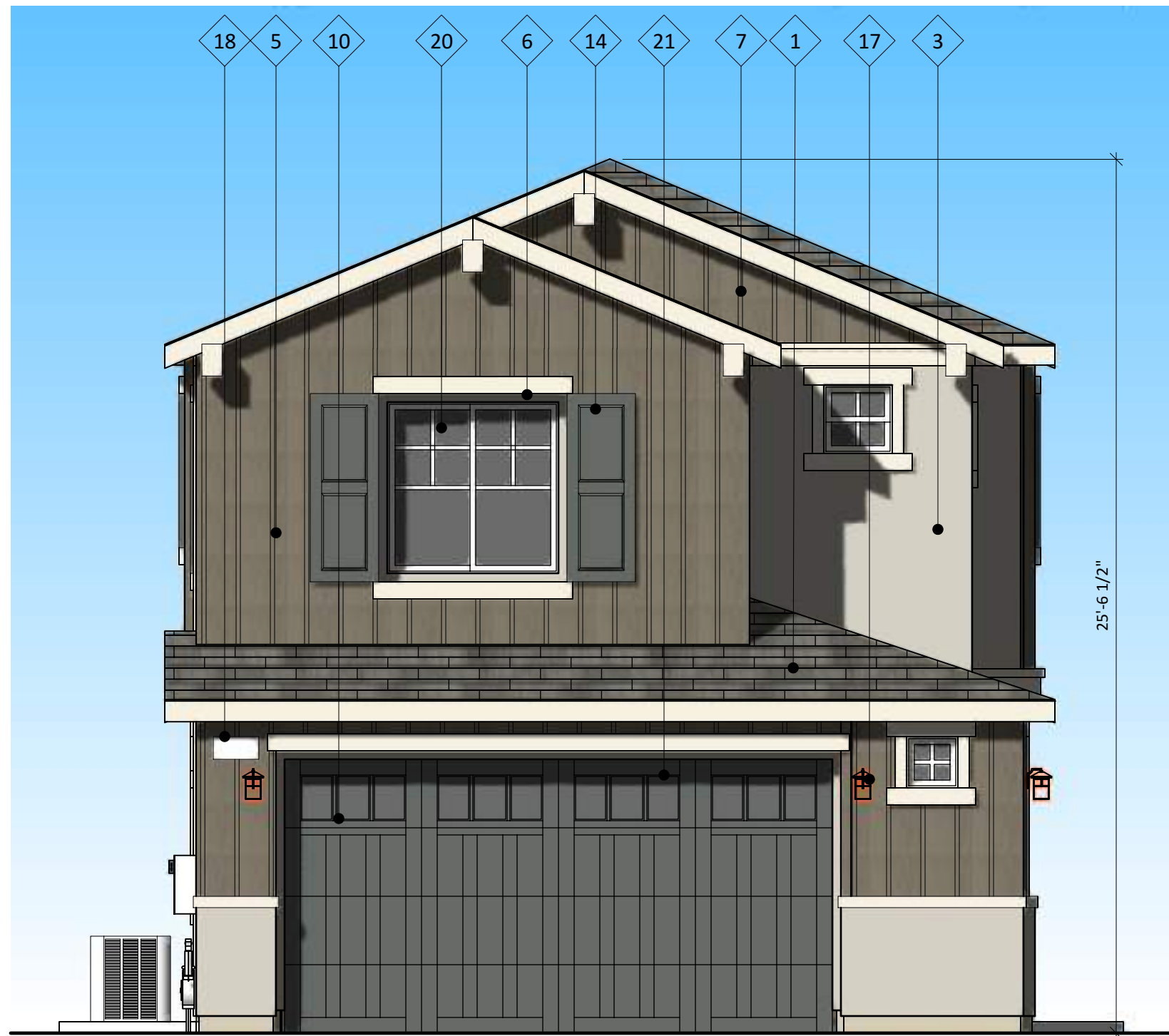
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

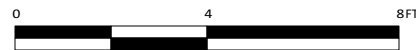
AC201.2



2 LEFT ELEVATION 2B- COLOR SCHEME III
AC202.2 Scale: 1/4" = 1'-0"



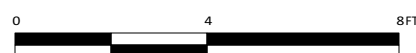
1 FRONT ELEVATION 2B - COLOR SCHEME III
AC202.2 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 2B - COLOR SCHEME III
AC202.2 Scale: 1/4" = 1'-0"



3 REAR ELEVATION 2B - COLOR SCHEME III
AC202.2 Scale: 1/4" = 1'-0"



MATERIAL LIST - B ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (BOARD & BATT)
 - 6 HARDIE TRIM
 - 7 WOOD OUTLOOKER
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR
 - 11 WOOD RAILING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 AC CONDENSER
 - 20 RECESSED WINDOW
 - 21 RECESSED GARAGE DOOR
 - 22 AWNING WITH WOOD BRACKETS

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondrenza King Canyon Blend	50913702 Fondrenza Angela	5699 Fondrenza Charcoal Range	5687 Fondrenza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Canyon	SW6218 - Rockwood Clay	SW7013 Holly Lace	SW6215 - Rockwood Clay	SW6119 - Antique White	SW6104 - Kaffee
Sherrin Williams						
Stucco						
Omega	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Siding						
Sherwin Williams	SW6119 - Canyon	SW6218 - Rockwood Clay	SW7013 Holly Lace	SW6215 - Rockwood Clay	SW6119 - Antique White	SW6104 - Kaffee
Trim						
Sherwin Williams	SW6119 - Canyon	SW6218 - Rockwood Clay	SW7013 Holly Lace	SW6215 - Rockwood Clay	SW6119 - Antique White	SW6104 - Kaffee
Shutters Front Door Garage Door						
Sherwin Williams	SW6119 - Canyon	SW6218 - Rockwood Clay	SW7013 Holly Lace	SW6215 - Rockwood Clay	SW6119 - Antique White	SW6104 - Kaffee
Railing						
Sherwin Williams	SW6119 - Canyon	SW6218 - Rockwood Clay	SW7013 Holly Lace	SW6215 - Rockwood Clay	SW6119 - Antique White	SW6104 - Kaffee



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 2B - III

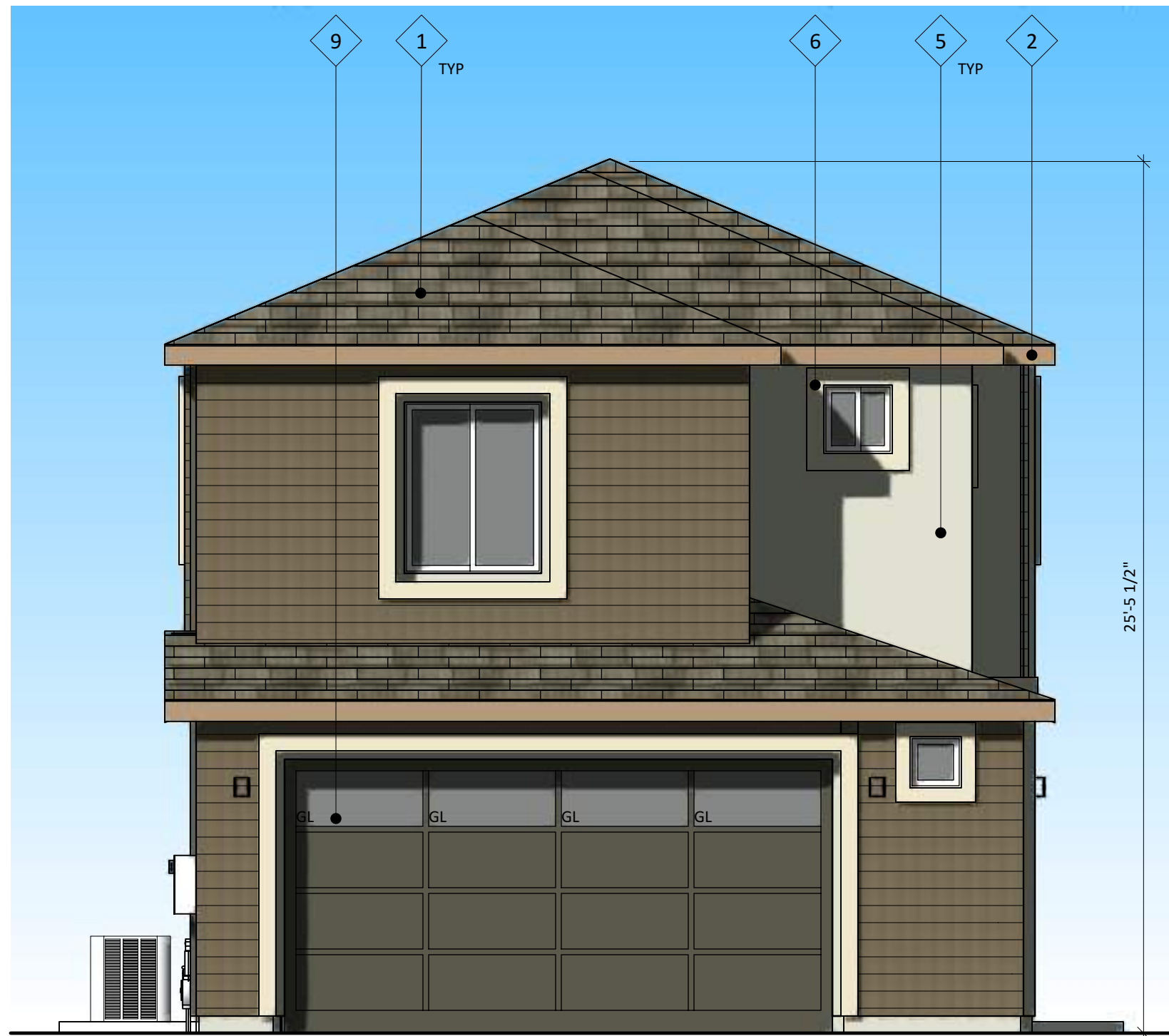
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC202.2



2 LEFT ELEVATION 2C - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 2C - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 2C - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 2C - COLOR SCHEME IV
Scale: 1/4" = 1'-0"

MATERIAL LIST - C ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (LAP)
 - 6 HARDIE TRIM
 - 7 WOOD DOOR
 - 8 VINYL SLIDING DOOR
 - 9 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 10 METAL RAILING
 - 11 FIBERGLASS DOOR
 - 12 VINYL WINDOW
 - 13 RECESSED WINDOW
 - 14 GAS METER
 - 15 AC CONDENSER
 - 16 ELECTRICAL METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 RECESSED GARAGE DOOR

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondamenta King Canyon Blend	50913702 Fondamenta Alaska	5699 Fondamenta Charcoal Range	5687 Fondamenta Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW7013 Ivory Lace	SW6119 - Antique White	SW6104 - Kaffee
Shervin Williams						
Stucco						
Omega	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Siding						
Sherwin Williams	SW6119 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW7013 Ivory Lace	SW6119 - Antique White	SW6104 - Kaffee
Trim						
Shervin Williams						
Shutters Front Door Garage Door						
Shervin Williams	SW6173 - Canyon	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW7013 Ivory Lace	SW6119 - Antique White	SW6104 - Kaffee
Railing						
Shervin Williams						



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 2C - IV

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC203.2



2 LEFT ELEVATION 3A - COLOR SCHEME V
AC201.3 Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 3A - COLOR SCHEME V
AC201.3 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 3A - COLOR SCHEME V
AC201.3 Scale: 1/4" = 1'-0"



3 REAR ELEVATION 3A- COLOR SCHEME V
AC201.3 Scale: 1/4" = 1'-0"

MATERIAL LIST - A ELEVATION

- # MATERIAL
- 1 CONCRETE S TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO CORBEL
 - 5 STUCCO TRIM
 - 6 STUCCO POT SHELF
 - 7 CLAY PIPE
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 11 ARCHED OPENING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 AC CONDENSER
 - 18 COACH LIGHTING
 - 19 ADDRESS SIGN
 - 20 SHAPED STUCCO TRIM
 - 21 RECESSED GARAGE DOOR
 - 22 RECESSED WINDOW
 - 23 WOOD RAILING

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondanza King Canyon Blend	50913702 Fondanza Azulita	5699 Fondanza Charcoal Range	5687 Fondanza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Colonial	SW6213 - Rosewood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6104 - Kaffee	
Stucco Omega	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Siding	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Trim	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Shutters Front Door Garage Door	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Railing	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 3A - V

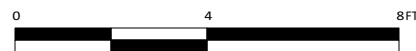
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

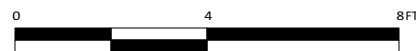
AC201.3



2 LEFT ELEVATION 3B- COLOR SCHEME II
Scale: 1/4" = 1'-0"



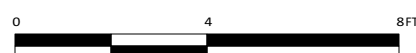
1 FRONT ELEVATION 3B - COLOR SCHEME II
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 3B- COLOR SCHEME II
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 3B - COLOR SCHEME II
Scale: 1/4" = 1'-0"



MATERIAL LIST - B ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (BOARD & BATT)
 - 6 HARDIE TRIM
 - 7 WOOD OUTLOOKER
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR
 - 11 WOOD RAILING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 AC CONDENSER
 - 20 RECESSED WINDOW
 - 21 RECESSED GARAGE DOOR
 - 22 AWNING WITH WOOD BRACKETS

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondrenza King Canyon Blend	50913702 Fondrenza Alaska	5699 Fondrenza Charcoal Range	5687 Fondrenza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Colonial	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Stucco	Omega	Omega	Omega	Omega	Omega	Omega
Siding	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams
Trim	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams
Shutters	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams
Front Door	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams
Garage Door	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams
Railing	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams	Sherrin Williams



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 3B - II

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC202.3



2 LEFT ELEVATION 3C - COLOR SCHEME I
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 3C - COLOR SCHEME I
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 3C - COLOR SCHEME I
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 3C - COLOR SCHEME I
Scale: 1/4" = 1'-0"

MATERIAL LIST - C ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (LAP)
 - 6 HARDIE TRIM
 - 7 WOOD DOOR
 - 8 VINYL SLIDING DOOR
 - 9 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 10 METAL RAILING
 - 11 FIBERGLASS DOOR
 - 12 VINYL WINDOW
 - 13 RECESSED WINDOW
 - 14 GAS METER
 - 15 AC CONDENSER
 - 16 ELECTRICAL METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 RECESSED GARAGE DOOR

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondamenta King Canyon Blend	5691/17102 Fondamenta Angeles	5699 Fondamenta Charcoal Range	5687 Fondamenta Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Cotton	SW6213 - Rosewood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Stucco Omega	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Siding	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Sherrin Williams	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Trim	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Sherrin Williams	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Shutters Front Door Garage Door	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Sherrin Williams	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Railing	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White
Sherrin Williams	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White	SW6119 - Antique White



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 3C - I

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC203.3

aBP_a

Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 4A - VI

JOB NUMBER: 21BPM07

DATE PUBLISHED: 04.12.2023

DRAWN BY: YU, DS

REV DATE: DESCRIPTION:

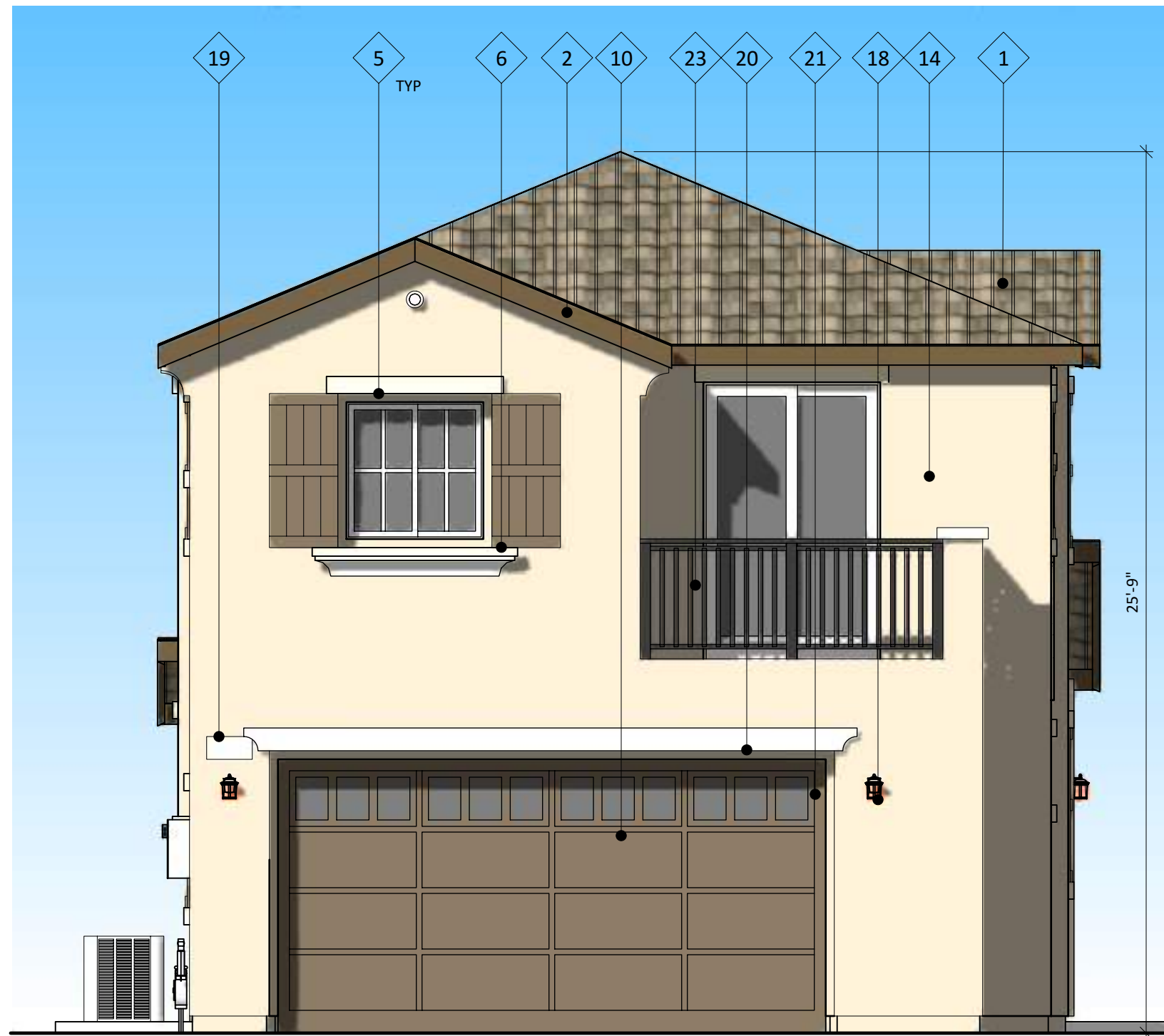
© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC201.4



2 LEFT ELEVATION 4A - COLOR SCHEME VI

Scale: 1/4" = 1'-0"



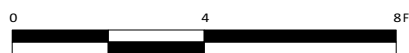
1 FRONT ELEVATION 4A - COLOR SCHEME VI

Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 4A - COLOR SCHEME VI

Scale: 1/4" = 1'-0"



3 REAR ELEVATION 4A - COLOR SCHEME VI

Scale: 1/4" = 1'-0"



MATERIAL LIST - A ELEVATION

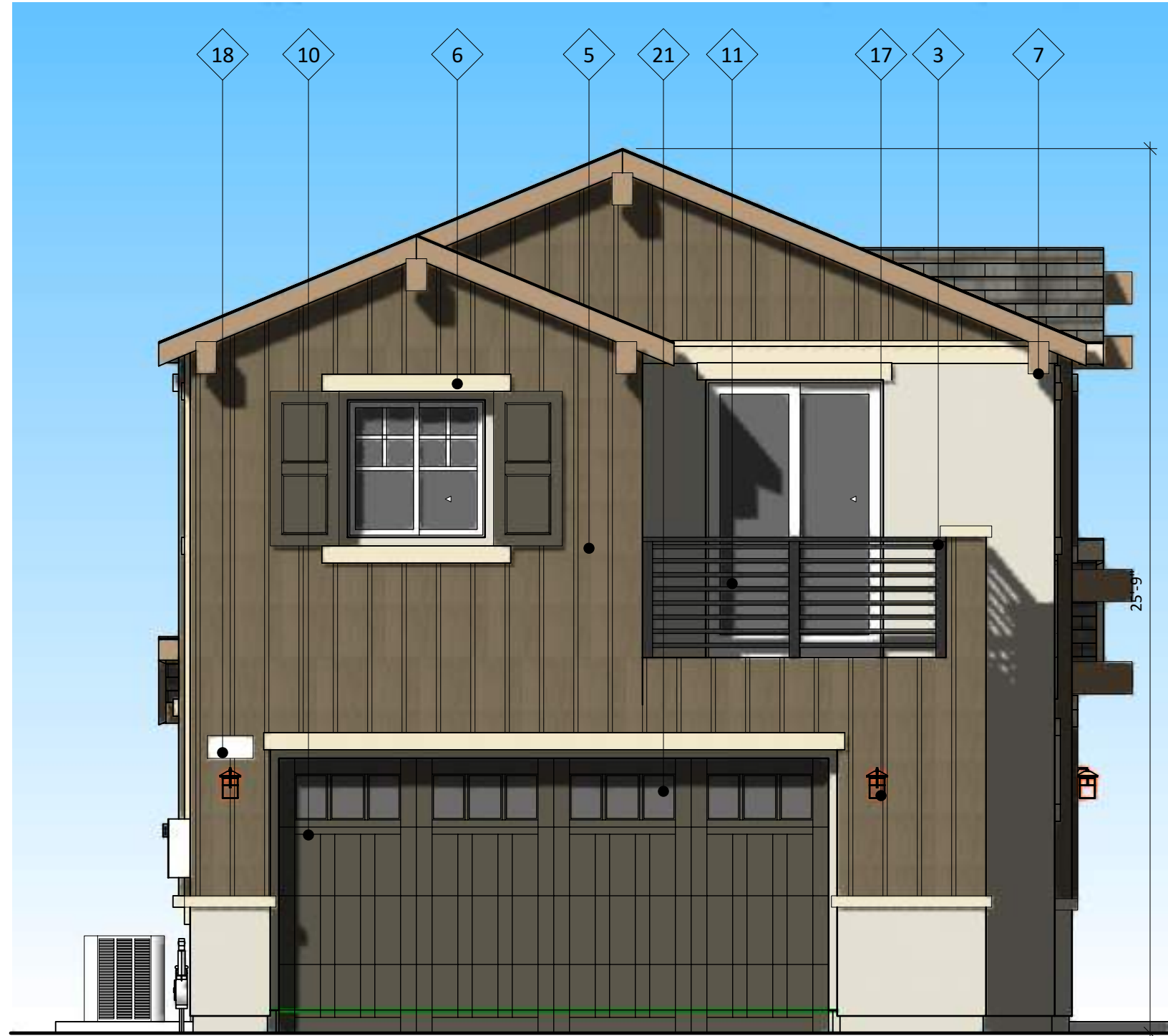
- # MATERIAL
- 1 CONCRETE S TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO CORBEL
 - 5 STUCCO TRIM
 - 6 STUCCO POT SHELF
 - 7 CLAY PIPE
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 11 ARCHED OPENING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 AC CONDENSER
 - 18 COACH LIGHTING
 - 19 ADDRESS SIGN
 - 20 SHAPED STUCCO TRIM
 - 21 RECESSED GARAGE DOOR
 - 22 RECESSED WINDOW
 - 23 WOOD RAILING

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Fascia/Outlookers						
Stucco						
Siding						
Trim						
Shutters						
Front Door						
Garage Door						
Railing						



2 LEFT ELEVATION 4B - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



1 FRONT ELEVATION 4B - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 4B - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



3 REAR ELEVATION 4B - COLOR SCHEME IV
Scale: 1/4" = 1'-0"



MATERIAL LIST - B ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (BOARD & BATT)
 - 6 HARDIE TRIM
 - 7 WOOD OUTLOOKER
 - 8 WOOD DOOR
 - 9 VINYL SLIDING DOOR
 - 10 METAL SECTIONAL GARAGE DOOR
 - 11 WOOD RAILING
 - 12 FIBERGLASS DOOR
 - 13 VINYL WINDOW
 - 14 WOOD SHUTTER
 - 15 ELECTRICAL METER
 - 16 GAS METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 AC CONDENSER
 - 20 RECESSED WINDOW
 - 21 RECESSED GARAGE DOOR
 - 22 AWNING WITH WOOD BRACKETS

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondanza King Canyon Blend	5691/17102 Fondanza Alaska	5699 Fondanza Charcoal Range	5687 Fondanza Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	SW6173 - Colonial	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Sherwin Williams						
Stucco	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White	437 Rough Khaki
Omega						
Siding	SW6119 - Colonial	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Sherwin Williams						
Trim	SW6119 - Colonial	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Sherwin Williams						
Shutters Front Door Garage Door	SW6119 - Colonial	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Sherwin Williams						
Railing	SW6119 - Colonial	SW6213 - Rockwood Clay	SW7013 Ivory Lace	SW6119 - Antique White	SW6119 - Antique White	SW6104 - Kaffee
Sherwin Williams						



Architects BP Associates
Planning Design Architecture
11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO
THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 4B - IV

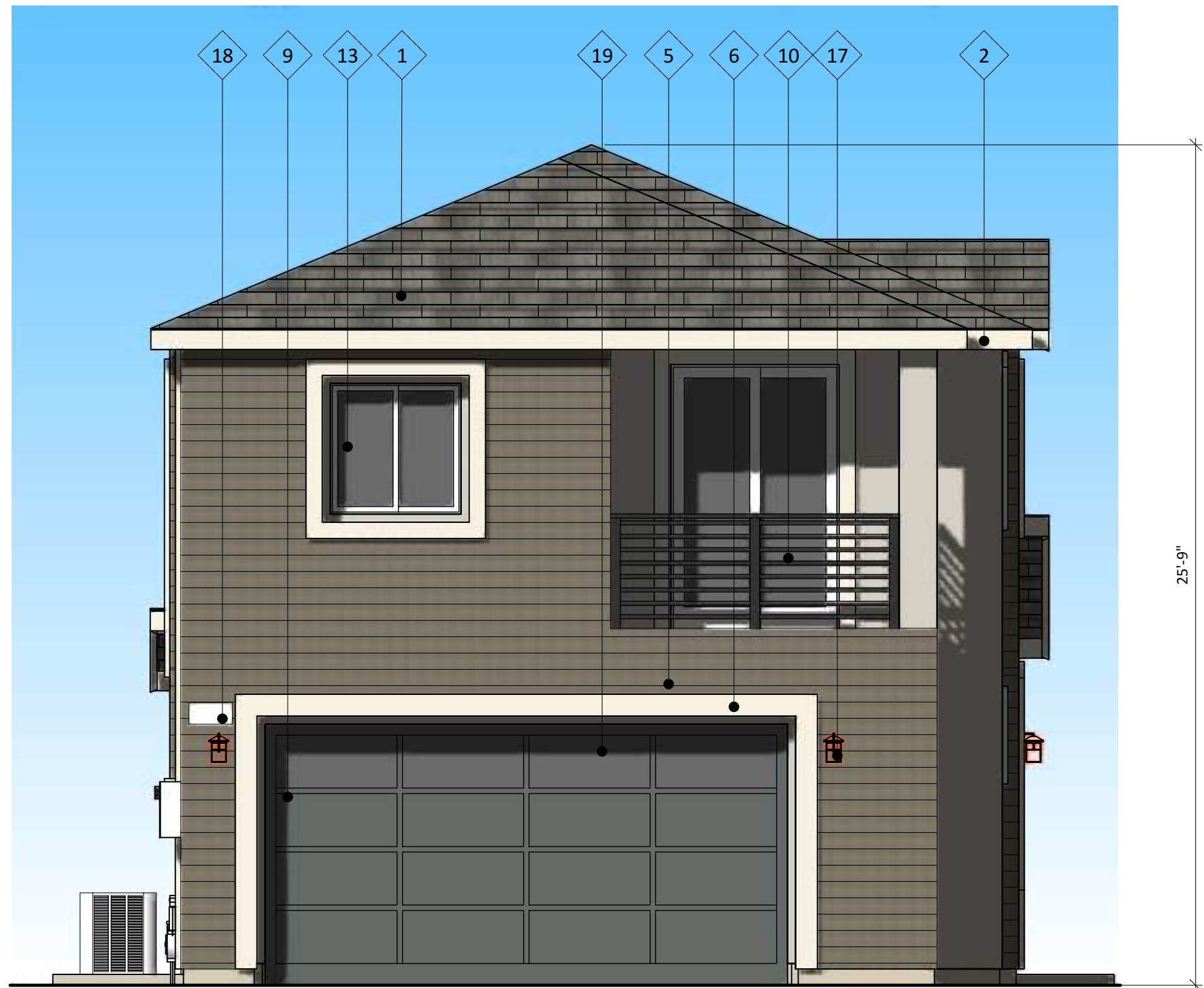
JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

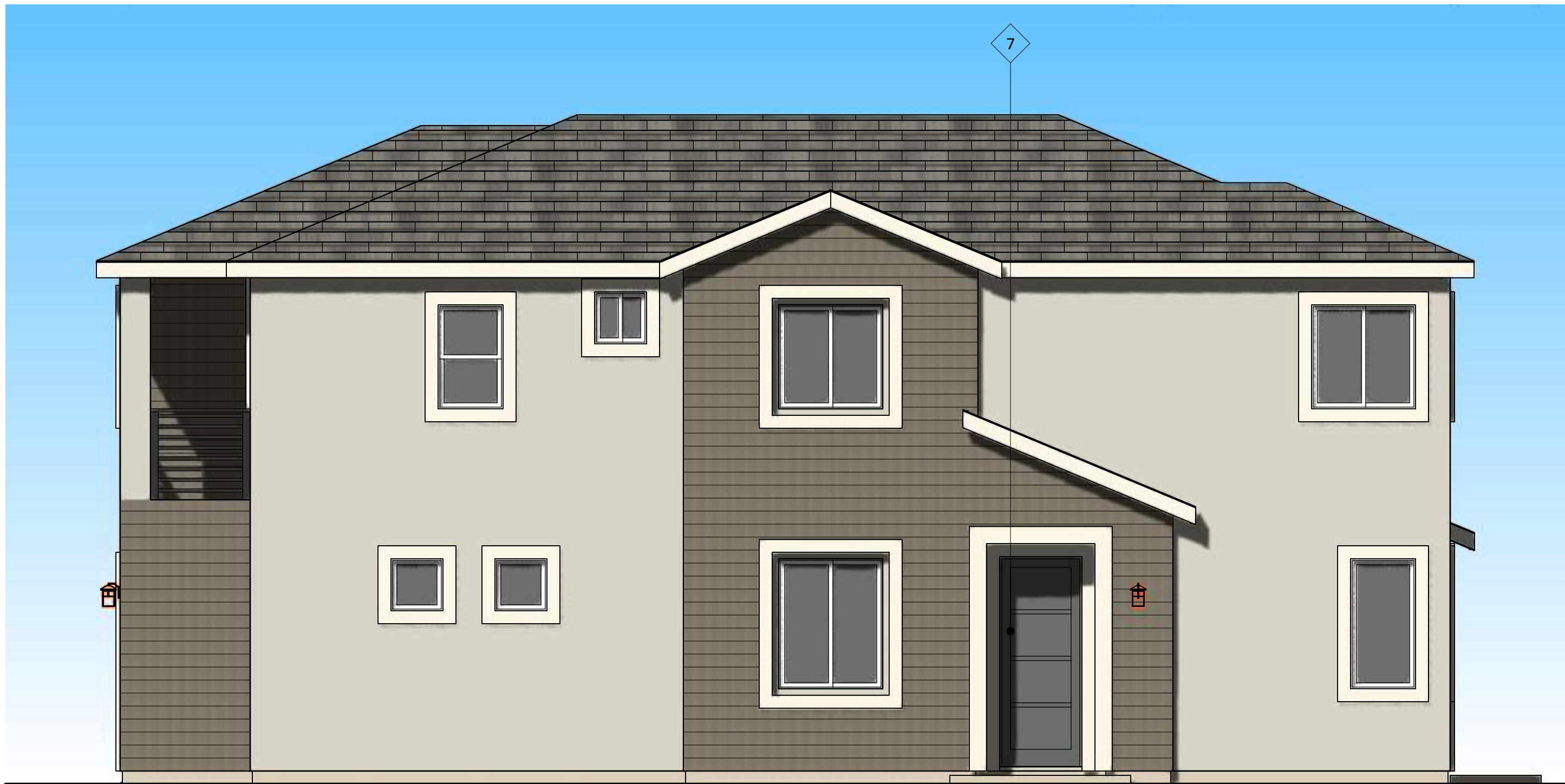
AC202.4



2 LEFT ELEVATION 4C - COLOR SCHEME III
AC203.4 Scale: 1/4" = 1'-0"



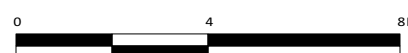
1 FRONT ELEVATION 4C - COLOR SCHEME III
AC203.4 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION 4C - COLOR SCHEME III
AC203.4 Scale: 1/4" = 1'-0"



3 REAR ELEVATION 4C - COLOR SCHEME III
AC203.4 Scale: 1/4" = 1'-0"



MATERIAL LIST - C ELEVATION

- # MATERIAL
- 1 CONCRETE FLAT TILE
 - 2 WOOD FASCIA & RAKE BOARD
 - 3 STUCCO FINISH
 - 4 STUCCO TRIM
 - 5 SIDING (LAP)
 - 6 HARDIE TRIM
 - 7 WOOD DOOR
 - 8 VINYL SLIDING DOOR
 - 9 METAL SECTIONAL GARAGE DOOR W/ GLASS
 - 10 METAL RAILING
 - 11 FIBERGLASS DOOR
 - 12 VINYL WINDOW
 - 13 RECESSED WINDOW
 - 14 GAS METER
 - 15 AC CONDENSER
 - 16 ELECTRICAL METER
 - 17 COACH LIGHTING
 - 18 ADDRESS SIGN
 - 19 RECESSED GARAGE DOOR

COLOR SCHEME

SCHEME	I	II	III	IV	V	VI
Roof						
Eagle Roofing Products	5634 Fondamenta King Canyon Blend	569137922 Fondamenta Anasazi	5699 Fondamenta Charcoal Range	5687 Fondamenta Brown Clay Range	3814 Capistrano San Pablo Blend	3887 Capistrano Brown Clay Range
Fascia/ Outlookers	566173 - Cotton	566213 - Rockwood Clay	567013 Holly Lace	567013 Holly Lace	566119 - Antique White	566104 - Kaffee
Stucco	Omega	216 Antique Green	242 Mist	250 Bone	251 Lace	10 Omega White
Siding	Sherrin Williams 566155 - Rice Grain	566157 - Colonial Harvest S	566240 - Harvested Shale	566241 - Harvested Shale		
Trim	566155 - Rice Grain	566157 - Colonial Harvest S	566240 - Harvested Shale	566241 - Harvested Shale	566119 - Antique White	566104 - Kaffee
Shutters Front Door Garage Door	566173 - Cotton	566213 - Rockwood Clay	567013 Holly Lace	567013 Holly Lace	566119 - Antique White	566104 - Kaffee
Railing	566173 - Cotton	566213 - Rockwood Clay	567013 Holly Lace	567013 Holly Lace	566119 - Antique White	566104 - Kaffee



Architects BP Associates
Planning Design Architecture

11858 Bernardo Plaza Court #120
San Diego California 92128
P 858-592-4710 F 858-592-4193
www.abpa-inc.com

CORONADO

THORNTON AVENUE
MENIFEE, CA 92586

Floit Properties, LLC w/Quinn Communities

ELEVATIONS 4C - III

JOB NUMBER: 21BPM07
DATE PUBLISHED: 04.12.2023
DRAWN BY: YU, DS
REV DATE: DESCRIPTION:

© 2023 All drawings & written material contained herein are the property of Architects BP Associates. Additionally, the documents contained herein are proprietary in nature & provided to the recipient for specific purposes only, and shall not be copied or otherwise reproduced or distributed for any other purposes, without written permission of Architects BP Associates.

AC203.4

APPLICANT / OWNER

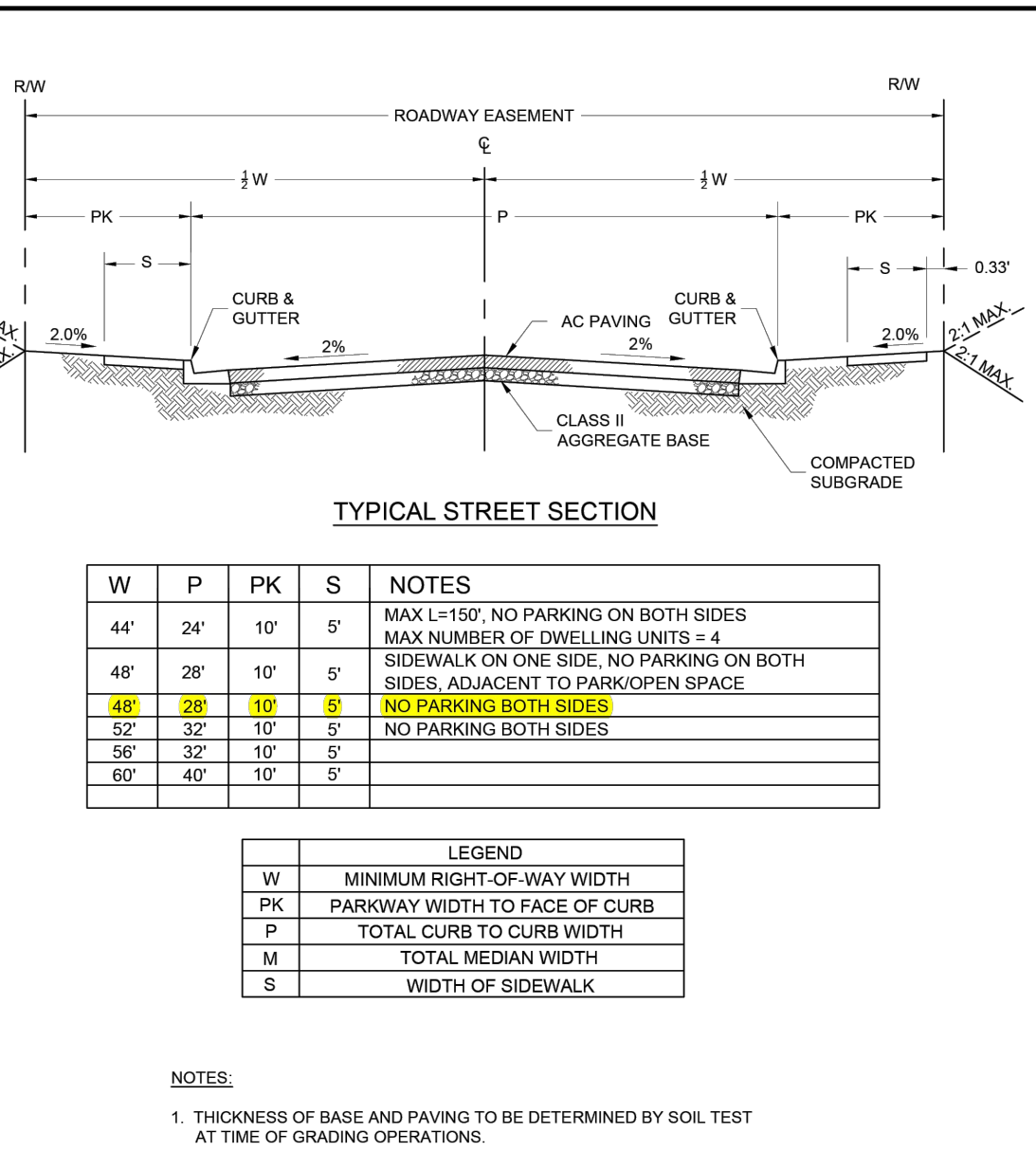
FLOIT PROPERTIES
C/O QUINN COMMUNITIES
364 2ND STREET, #5
ENCINITAS, CA 92024
CONTACT: STEFAN LACASSE
(TEL)760-942-9991

ENGINEER

FMCIVIL ENGINEERS, INC.
41870 KALMIA ST., SUITE 120
MURRIETA, CA 92562
CONTACT: FRANCISCO MARTINEZ
(TEL)951-973-0201

ARCHITECT

ARCHITECTS BP ASSOCIATES, INC.
11858 BERNARDO PLAZA CT. SUITE 120
SAN DIEGO, CA 92128
CONTACT: ROGER BASINGER
(TEL)619-592-4710



APPROVED BY: *[Signature]* 1/15/2016 DATE

DIRECTOR OF PUBLIC WORKS JONATHAN GEORGE SMITH

REVISION BY: APPROVED DATE

CITY OF MENIFEE

PRIVATE RESIDENTIAL STREET

STANDARD PLAN NO. 124 SHEET 1 OF 2

PRIVATE RESIDENTIAL STREET STANDARD NOTES

- BUILDING SET BACKS SHALL BEGIN FROM THE ROADWAY RIGHT-OF-WAY LINE.
- TREE SPACING SHALL BE 35' TO 45' ON CENTER OR ONE TREE PER LOT, AS DETERMINED BY THE PARKS & COMMUNITY SERVICE DIRECTOR.
- SEE CITY OF MENIFEE STANDARD 1303.05 THROUGH 1303.11 FOR STREET TREE PLANTING.
- FIRE HYDRANT SPACING SHALL BE 300' MAXIMUM, SUBJECT TO THE APPROVAL OF THE FIRE CHIEF.
- SEE CITY OF MENIFEE STANDARD 205, 206 AND 207 FOR DRIVEWAY SIZE AND SEPARATION REQUIREMENT.
- SEE CITY OF MENIFEE STANDARD 815 THROUGH 817 FOR STREET NAME SIGN LOCATION AND 1201 FOR STOP SIGN LOCATION.
- STREET LIGHT SPACING AND LEVEL OF LIGHTING SHALL BE EQUIVALENT TO CITY OF MENIFEE STANDARDS.
- MINIMUM CURB RADIUS RETURN SHALL BE 25'.
- PLANS FOR ALL PRIVATE STREET, INCLUDING STREET LIGHT SYSTEM, TRAFFIC CONTROL MARKING, STRIPING, AND SIGN LOCATIONS SHALL BE DESIGNED BY AN R.C.E. AND BE REVIEWED AND APPROVED BY THE ENGINEERING DEPARTMENT.
- PEDESTRIAN RAMPS ARE REQUIRED AT ALL STREET INTERSECTIONS PER TITLE 24 AND THE LATEST EDITION OF THE ADA MANUAL.
- ALL STREETS SHALL HAVE STREET NAME SIGNS AT EACH INTERSECTION. ALL PRIVATE STREETS SHALL BE LABELED WITH THE NAME PLUS THE WORD "PRIVATE". WHEN PRIVATE STREETS INTERSECT WITH CITY MAINTAINED STREETS, THE STREET NAME SHALL BE IN ACCORDANCE WITH STANDARD PLAN NUMBER 815.

APPROVED BY: *[Signature]* 1/15/2016 DATE

DIRECTOR OF PUBLIC WORKS JONATHAN GEORGE SMITH

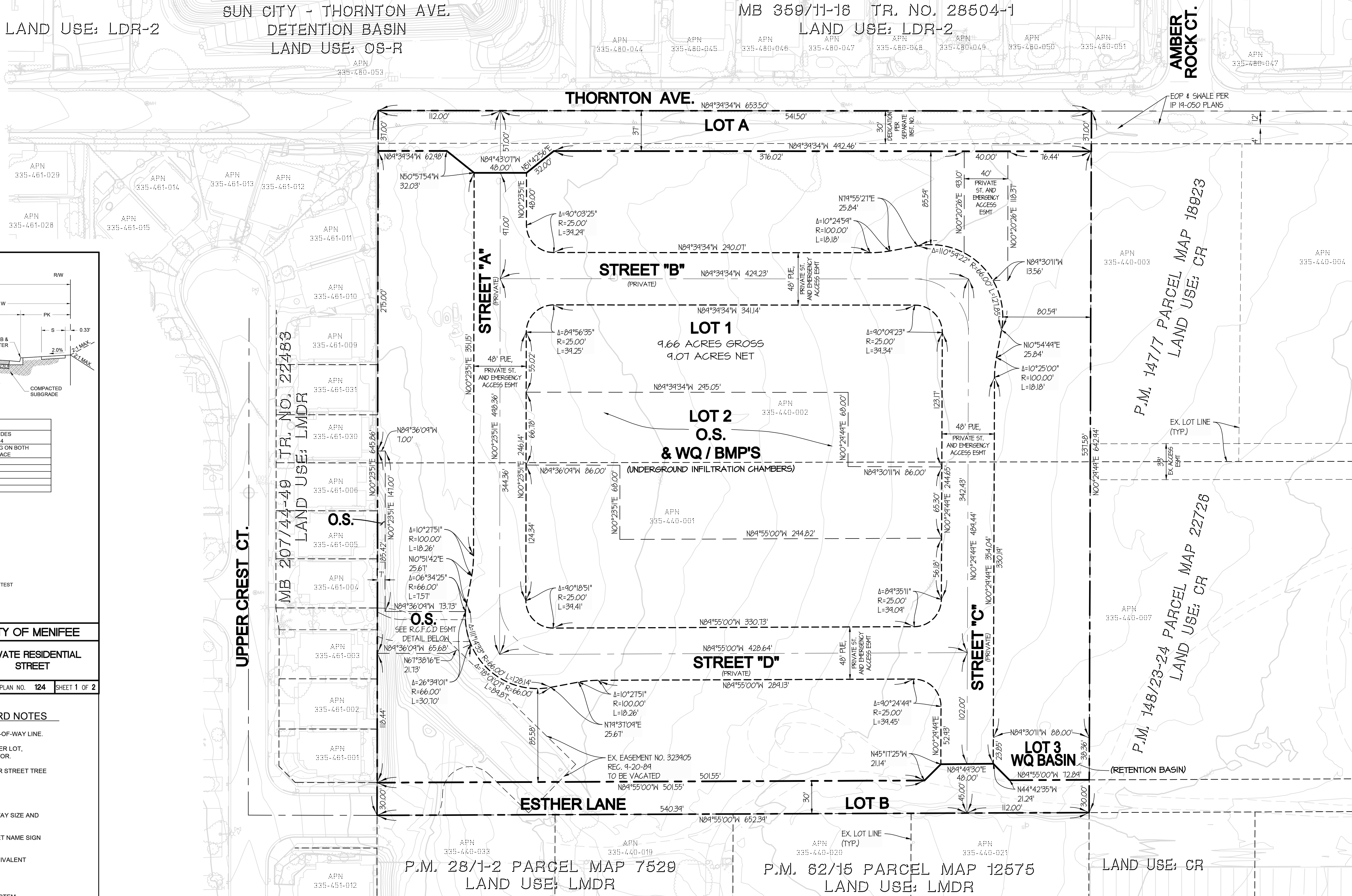
REVISION BY: APPROVED DATE

CITY OF MENIFEE

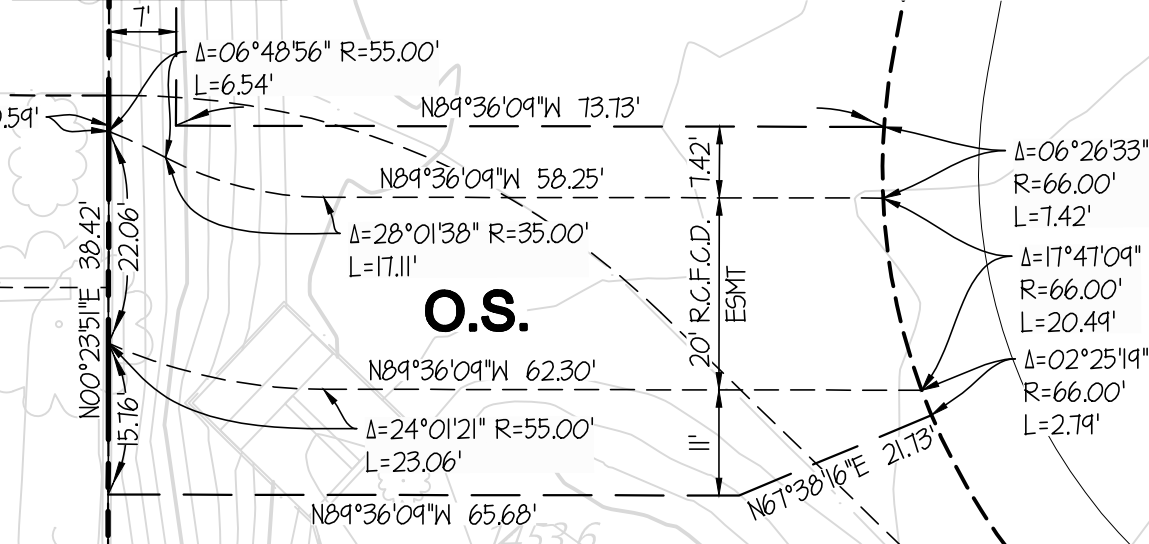
PRIVATE RESIDENTIAL STREET

STANDARD PLAN NO. 124 SHEET 2 OF 2

TENTATIVE TRACT MAP NO. 38577
(FOR CONDOMINIUM PURPOSES)
IN THE CITY OF MENIFEE, CALIFORNIA



SEE ABOVE



ACREAGE

GROSS ACREAGE: 9.66 AC.

LOT AREAS (FOR CONDOMINIUM PURPOSES)

LOT NO.	ADJUSTED GROSS AREA	PROPOSED USE	EXISTING USE
LOT 1	1.62 AC	RESIDENTIAL	VACANT
LOT 2	0.90 AC	OPEN SPACE / WQ	VACANT
LOT 3	0.08 AC	BASIN	VACANT
LOT A	0.54 AC	PUBLIC RIGHT-OF-WAY	VACANT
LOT B	0.47 AC	PUBLIC RIGHT-OF-WAY	VACANT

NO.	DATE	REVISION



PREPARED BY:

FMCIVIL
ENGINEERS, INC.

41870 KALMIA ST., SUITE 120 | MURRIETA | CA 92562
951.973.0201 - FMCIVIL.COM

DATE: R.C.E. 06/46/40

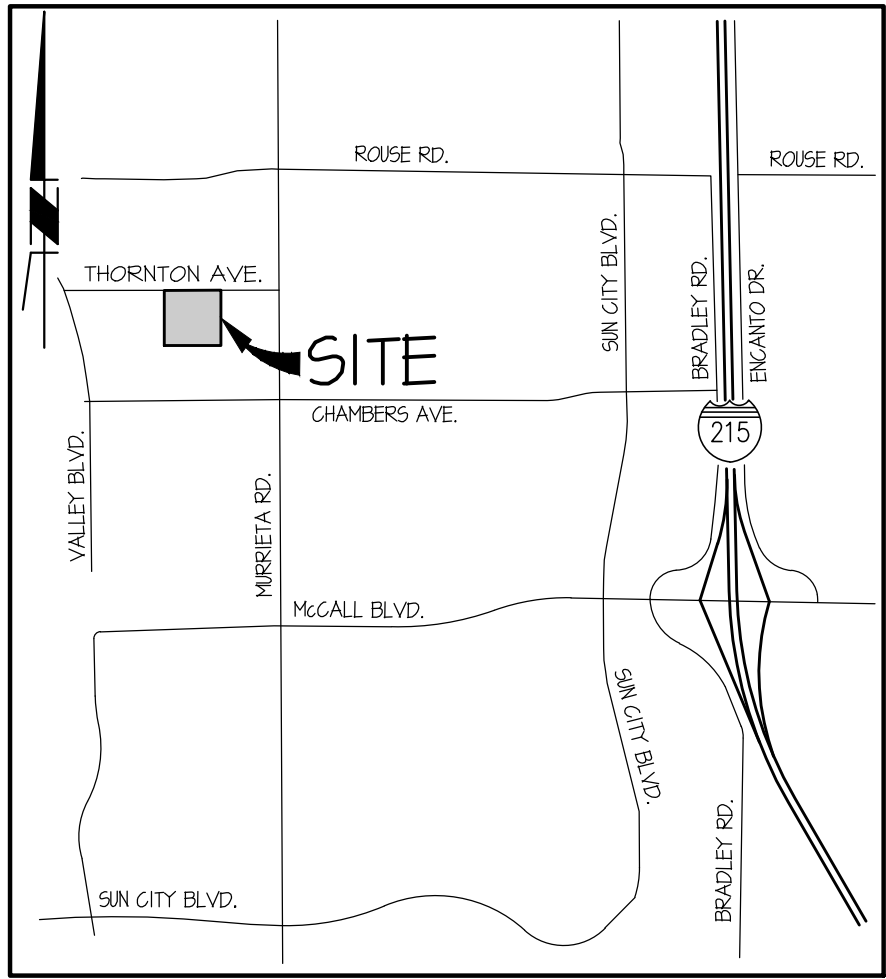
FRANCISCO MARTINEZ JR.

CITY OF MENIFEE
CORONADO SITE MAP
FOR
FLOIT PROPERTIES / QUINN COMMUNITIES

DATE: 1/16/23

OF 2 SHEETS

PROJECT NO. 22-003



VICINITY MAP

T05S, R03W, SEC20
NOT TO SCALE

ASSESSORS PARCEL NO.

335-440-001 AND 335-440-002

LEGAL DESCRIPTION

PARCEL A: (APN: 335-440-001)

THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

PARCEL B:

AN EASEMENT FOR INGRESS AND EGRESS OVER THE NORTH 16.5 FEET OF THE SOUTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

PARCEL C: (APN: 335-440-002)

THE NORTH HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

PARCEL D:

AN EASEMENT FOR INGRESS AND EGRESS OVER THE SOUTH 16.5 FEET OF THE NORTH HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

GENERAL PLAN LAND USE / ZONING

EXISTING: 5.1-8 DU/ACRE RESIDENTIAL (LMDR)
PROPOSED: 5.1-8 DU/ACRE RESIDENTIAL (LMDR)
SURROUNDING: LOW DENSITY RESIDENTIAL (LDR-2)
OPEN SPACE RECREATION (OS-R)
COMMERCIAL/RETAIL (CR)

SHEET INDEX:

- TENTATIVE MAP
- SITE PLAN, CONCEPTUAL GRADING & CONCEPTUAL UTILITY PLAN

TENTATIVE TRACT MAP NO. 38577
(FOR CONDOMINIUM PURPOSES)
CONCEPTUAL GRADING
IN THE CITY OF MENIFEE, CALIFORNIA

LEGEND

1025	INDEX CONTOUR
---	RETAINING WALL
---	FENCE
---	EDGE OF PAVEMENT
---	SIGN
○ MH	MANHOLE
---	RIGHT OF WAY (R/W)
---	EASEMENT
---	PARCEL LINE
---	PARCEL MAP BOUNDARY
---	STREET CENTER LINE
---	RETAINING WALL
---	EXISTING LOT LINE
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING STORM DRAIN PIPE
---	PROPOSED STORM DRAIN PIPE
---	CUT/FILL LINE
---	SLOPE SYMBOL
49	RESIDENTIAL DWELLING UNIT NUMBER
---	FIRE TRUCK TURNING RADIUS

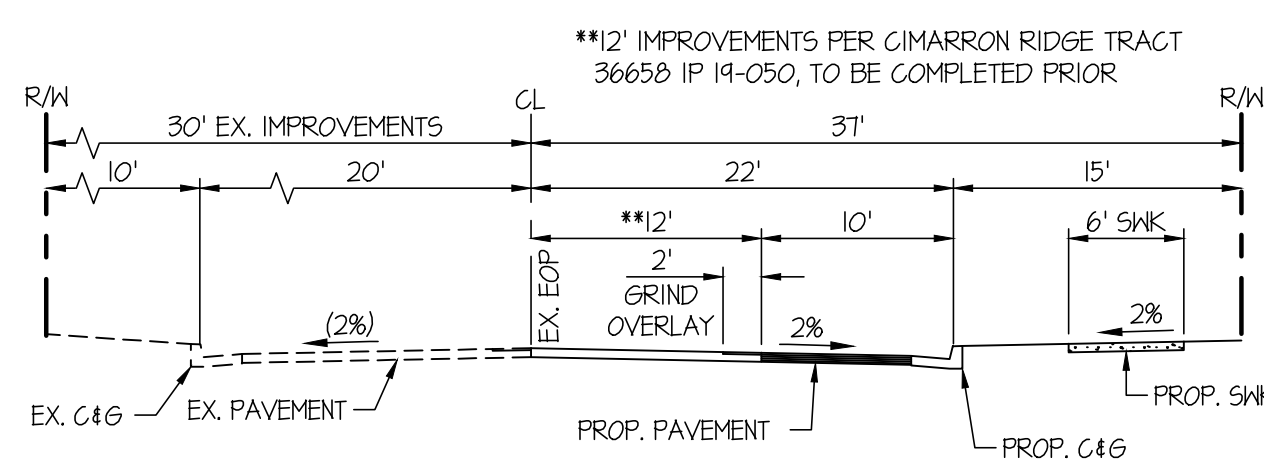
UTILITIES

WATER: EASTERN MUNICIPAL WATER DISTRICT
SEWER: EASTERN MUNICIPAL WATER DISTRICT
GAS: SOUTHERN CALIFORNIA GAS CO.
ELECTRICAL: SOUTHERN CALIFORNIA EDISON

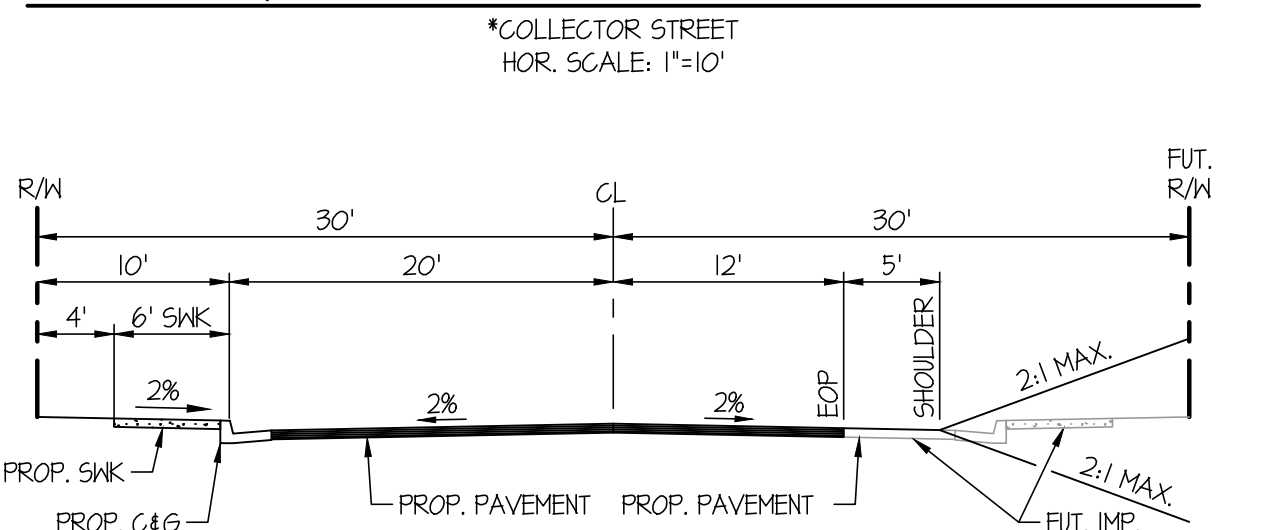
EARTHWORK QUANTITIES

DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
RAW	13,800	12,200	1,600 (EXPORT)

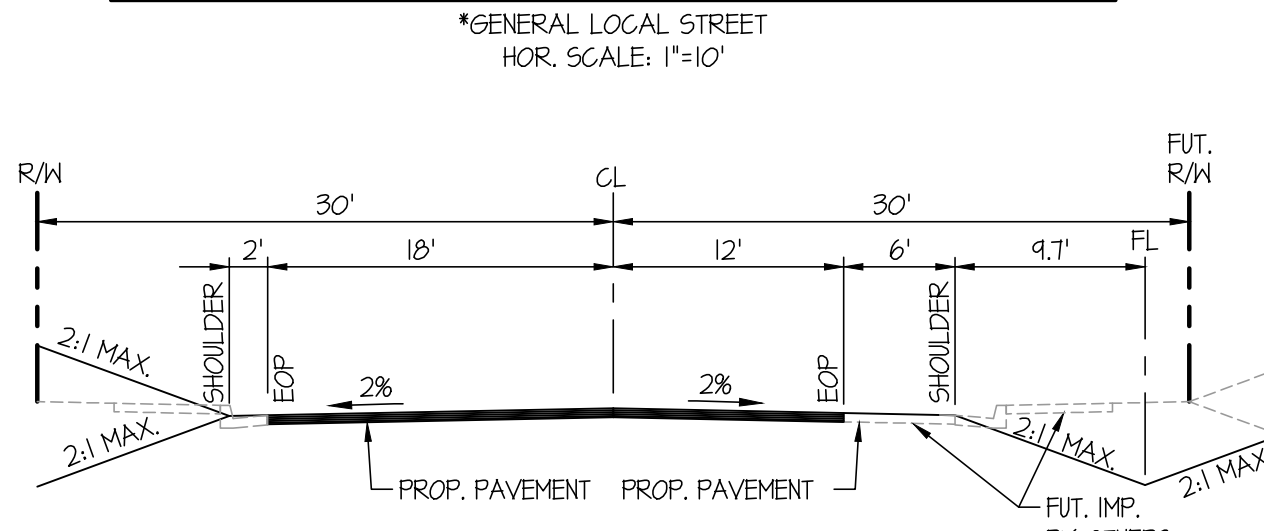
NOTE: THESE EARTHWORK QUANTITIES ARE RAW AND FOR REFERENCE ONLY.



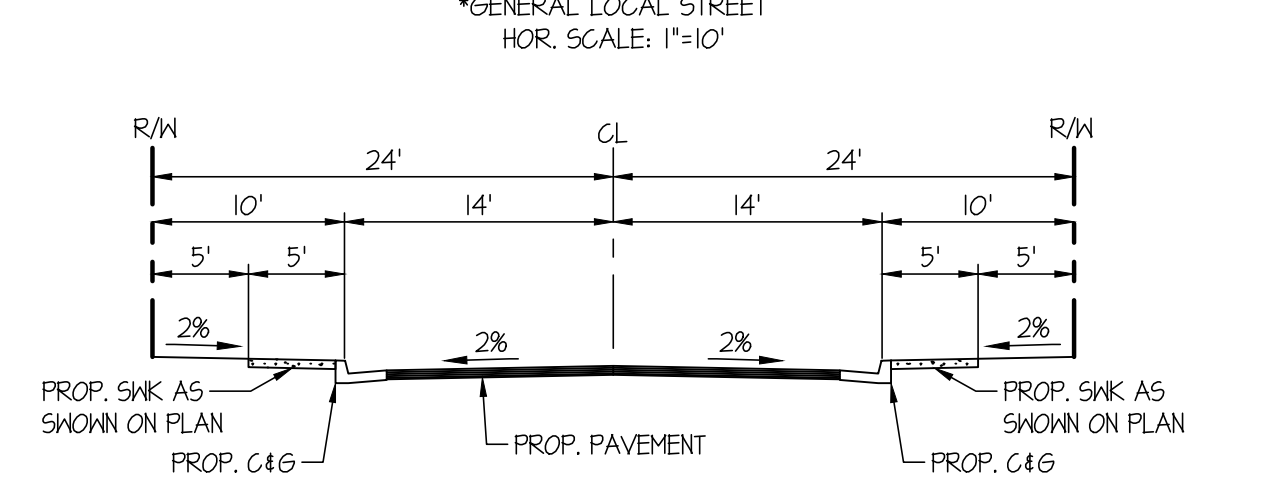
*TYPICAL SECTION PER CITY OF MENIFEE STD. NO. 113
TYPICAL SECTION THORNTON AVENUE
*COLLECTOR STREET
HOR. SCALE: 1"=10'



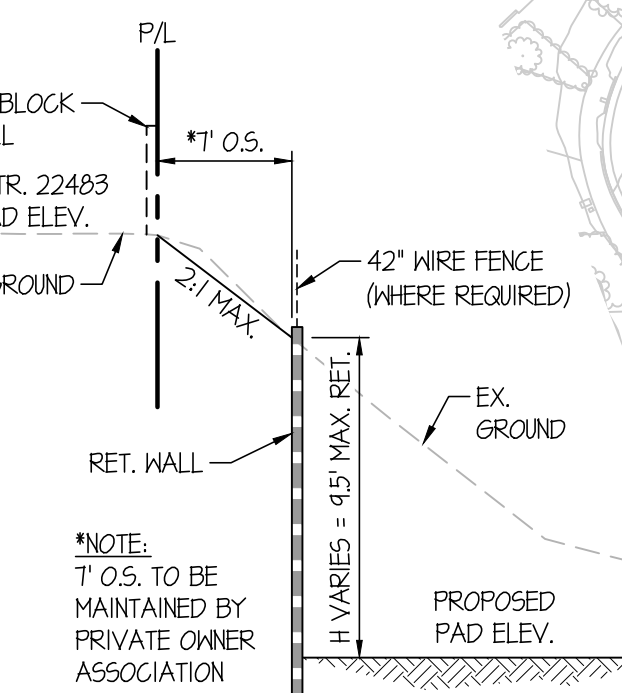
*TYPICAL SECTION PER CITY OF MENIFEE STD. NO. 115B
TYPICAL SECTION ESTHER LANE
*GENERAL LOCAL STREET
HOR. SCALE: 1"=10'



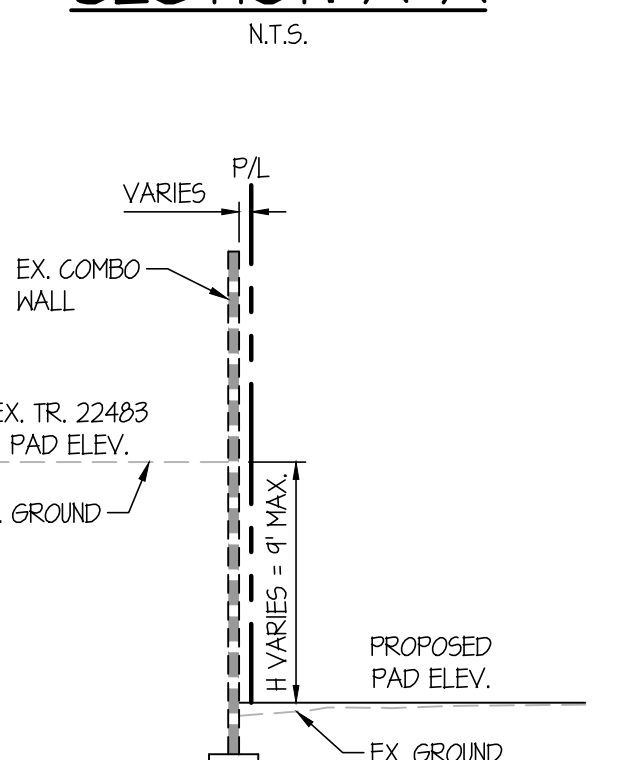
*TYPICAL SECTION PER CITY OF MENIFEE STD. NO. 115B
TYPICAL SECTION ESTHER LANE (OFFSITE)
*GENERAL LOCAL STREET
HOR. SCALE: 1"=10'



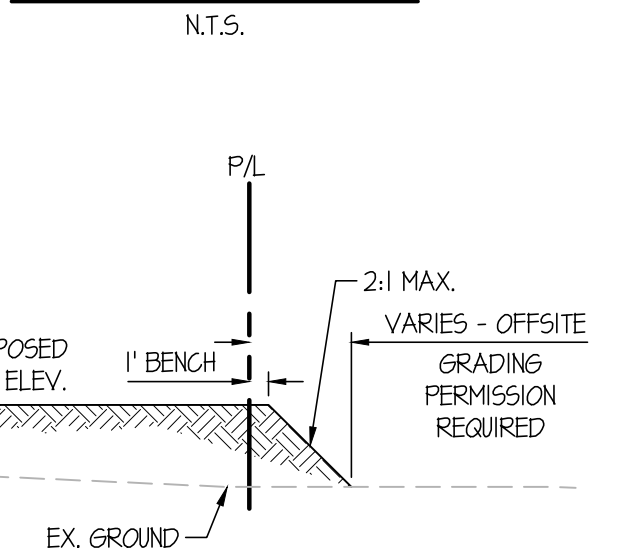
*TYPICAL SECTION PER CITY OF MENIFEE STD. NO. 124 (SEE SHEET I)
TYPICAL SECTION STREETS A, B, C, & D
*PRIVATE RESIDENTIAL STREET
HOR. SCALE: 1"=10'



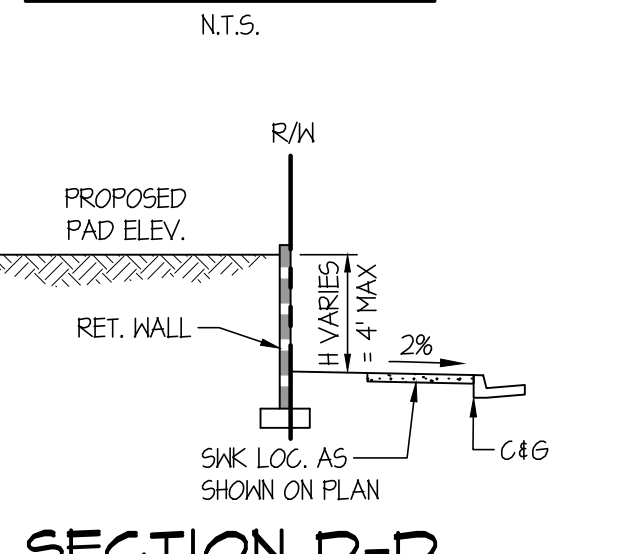
SECTION A-A
NT.S.



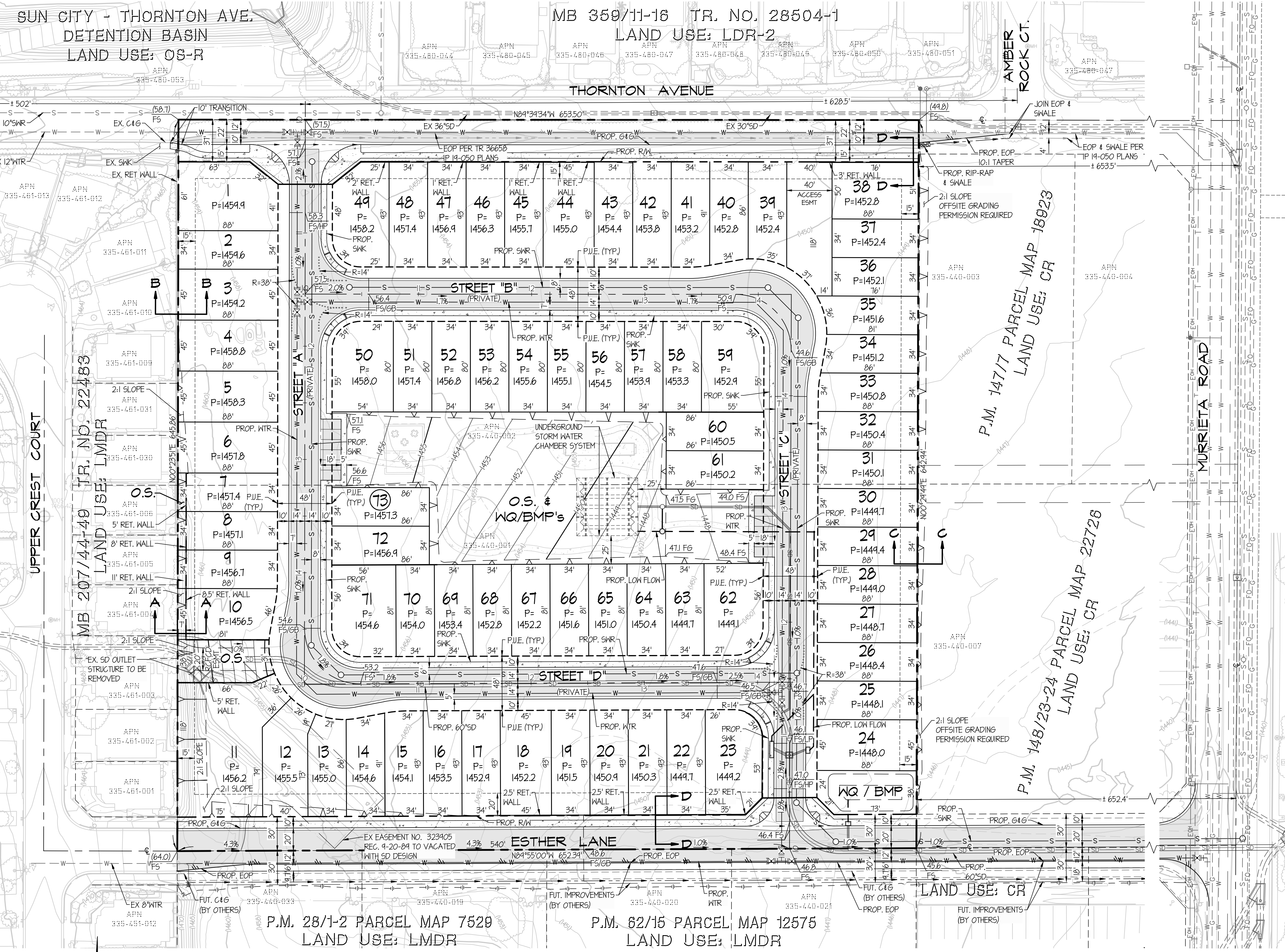
SECTION B-B
NT.S.



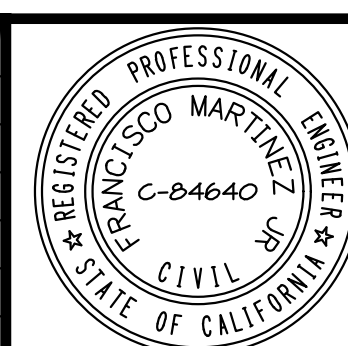
SECTION C-C
NT.S.



SECTION D-D
NT.S.



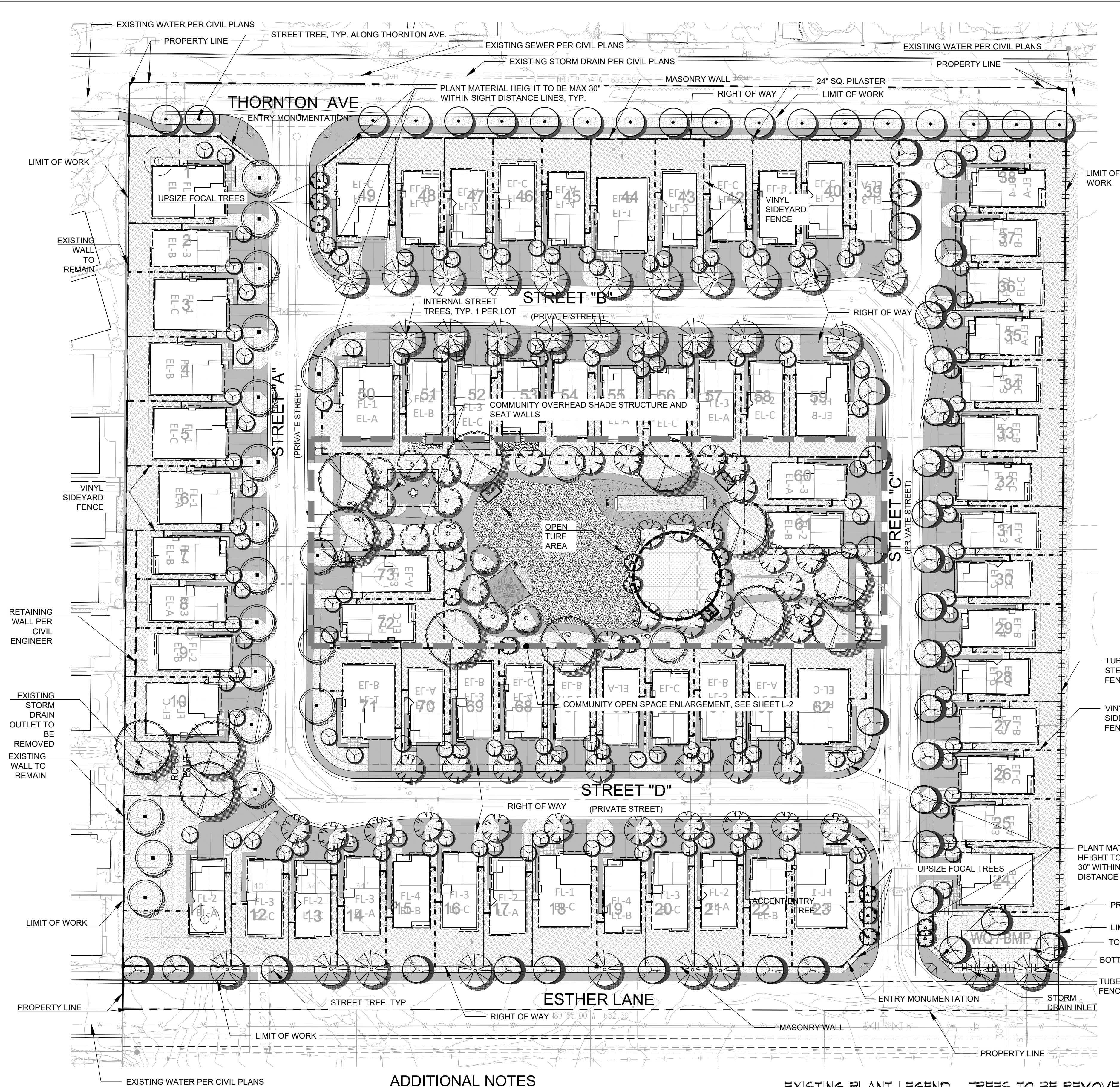
NO.	DATE	REVISION



PREPARED BY:
FM CIVIL
ENGINEERS INC.
41870 KALMA ST., SUITE 120 | MURRIETA, CA 92562
951.413.0201 - FMCIVIL.COM
DATE: R.C.E. 10/6/2023

CITY OF MENIFEE
SITE PLAN, CONCEPTUAL GRADING
& CONCEPTUAL UTILITY PLAN FOR
FLOIT PROPERTIES / QUINN COMMUNITIES

DATE: 10/6/23
2
OF 2 SHEETS
PROJECT NO. 22-003



MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES AND RESIDENTIAL) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 30 FEET
STREETLIGHT - 10 FEET

* TREES SHALL BE COORDINATED AND PLACED TO AVOID CONFLICTS WITH UTILITIES*

CORONADO DEVELOPMENT

QUINN COMMUNITIES
1084 N. EL CAMINO REAL STE B #406
ENCINITAS, CA. 92024

ADDITIONAL NOTES

TOTAL S.F. OF PROPOSED LANDSCAPE AREA: 145,012 S.F.
TOTAL SITE S.F.: 420,752.59 SF
TOTAL REHABILITATED LANDSCAPE AREA: 0 SF
- COMMON AREAS = 25,546 SQ FT
- FRONT YARDS = 46,136 SQ FT
- REAR YARDS = 58,667 SQ FT (REAR YARDS TO BE MAINTAINED BY OWNER)
- TURF = 13,748 SQ FT (9.4% OF TOTAL LANDSCAPE AREA)
- BASIN = 915 SQ FT

EXISTING PLANT LEGEND - TREES TO BE REMOVED

SYMBOL	BOTANICAL	COMMON NAME	HEIGHT	CALIFER
①	FRAXINUS EXCELSIOR	EUROPEAN ASH	24'	12'

EVERGREEN VS. DECIDUOUS:
179 TOTAL TREES (EXCLUDING FRONT YARD TREES) PROPOSED
139 EVERGREEN = 77%
40 DECIDUOUS = 23%

AGRONOMIC SOIL ANALYSIS AND RECOMMENDATIONS REPORT
SHALL BE PROVIDED WITH CONSTRUCTION DOCUMENT SET

DESIGN INTENT STATEMENT

THE LANDSCAPE DESIGN INTENT OF THIS PROJECT IS TO PROVIDE PLANT MATERIAL THAT ACCENTS AND FRAMES THE ARCHITECTURE AND ENHANCES THE PEDESTRIAN SCALE OF THE PROJECT. STREET TREES ARE CONSISTENT WITH SURROUNDING AREAS AND WILL BE USED TO PROVIDE CONTINUITY THROUGHOUT THE ADJACENT COMMUNITY. THE PLANT MATERIALS THAT HAVE BEEN SELECTED WERE DONE SO FOR THEIR LOW WATER USE QUALITIES. ADDITIONALLY, THE IRRIGATION SYSTEM WILL BE DESIGNED IN COMPLIANCE WITH THE CITY OF MENIFEE WATER EFFICIENT LANDSCAPE ORDINANCE. IT WILL USE A RAIN SENSING CONTROLLER AND BE ADJUSTABLE SO AS NOT TO WASTE WATER THROUGH RUNOFF OR OVERSPRAY.

PLANTING NOTES

- NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SEWER ACCESS EASEMENT.

- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 10 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

- IRRIGATION - AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE INTENDED IRRIGATION SYSTEM WILL BE A DRIP SYSTEM FOR ALL SHRUB AREAS AND OVERHEAD IN ALL TURF AREAS.

- ALL COMMON AREA LANDSCAPE SHALL BE MAINTAINED BY THE PROJECT HOA.

- ALL PRIVATE REAR YARDS TO BE MAINTAINED BY HOMEOWNER.

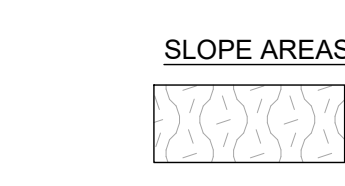
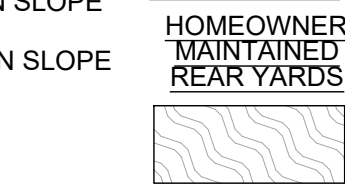
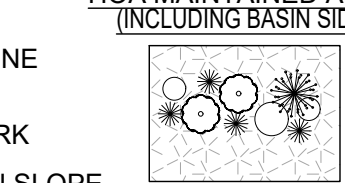
- ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CITY MUNICIPAL CODE 9.195 (LANDSCAPE STANDARDS) AND 15.04 (WATER USE EFFICIENCY REQUIREMENTS)

PLANT LEGEND

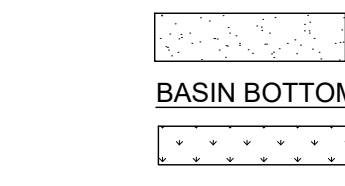
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	CANOPY SIZE
	39	ARBUSUTUS X MARINA (EVERGREEN)	STRAWBERRY TREE	24" BOX	M	20' - 25'
	15	CITRUS SPECIES (EVERGREEN)	CITRUS	24" BOX	M	10' - 15'
	19	CHILOPSIS LINEARIS (DECIDUOUS)	DESERT WILLOW	24" BOX	L	20' - 25'
	21	KOELRUTERIA BIPINNATA (DECIDUOUS)	GOLDEN RAIN TREE	24" BOX	M	15' - 30'
	12	OLEA EUROPEA 'WILSONII' (EVERGREEN)	WILSON OLIVE	24" BOX	L	20' - 30'
	35	PODOCARPUS GRACILIOR (EVERGREEN)	FERN PINE	24" BOX	M	20' - 25'
	25	RHUS LANCEA (EVERGREEN)	AFRICAN SUMAC	24" BOX	L	20' - 30'
	13	QUERCUS ILEX (EVERGREEN)	HOLLY OAK	24" BOX	L	30' - 80'
		CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	M	10' - 15'
		CITRUS X 'MEYERI'	MEYER LEMON	24" BOX	M	10' - 15'
		LAGERSTROEMIA INDICE 'TUSCARORA'	AFRICAN SUMAC	24" BOX	M	10' - 15'
		MAGNOLIA GRANDIFOLIA 'LITTLE GEM'	COAST LIVE OAK	24" BOX	M	10' - 15'

SHRUBS & GC

HOA MAINTAINED AREAS (INCLUDING BASIN SIDES)



TURF



VINES



MULCH



BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING
ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	L	2'
AGAVE ATTENUATA	AGAVE	5 GAL	L	4'
ACACIA REDOLENS 'LOWBOY'	LOWBOY BANK CATCLAW	5 GAL	L	6'
BACCHARIS PILULARIS	DWARF COYOTE BUSH	FLAT *	L	12"
BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL	L	5'
CALLISTEMON X 'LITTLE JOHN'	BOTTLEBRUSH	5 GAL	L	3'
CAREX TUMULICOLA	BERKLEY SEDGE	5 GAL	L	18"
DIANELLA REVOLUTA 'VARIEGATED'	VARIEGATED FLAX LILY	5 GAL	L	2'
ENCELIA CALIFORNICA	CALIFORNIA SUNFLOWER	5 GAL	L	3'
FESTUCA SISKIYOU BLUE	BLUE FESCUE	1 GAL	L	18"
HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL	L	3'
HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	L	10'
LEONOTIS LEONJURUS	LIONS TAIL	5 GAL	L	4'
MUHLENBERGIA CAPILLARIS 'PINK CLOUD'	PINK MUHLY	5 GAL	L	3'
MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	L	3'
RHAPHIOLEPIS INDICA 'PINKIE'	INDIAN HAWTHORNE	5 GAL	M	3'
RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDA HAWTHORN	5 GAL	M	3'
SALVIA LEUCANTHA	MEXICAN SAGE	5 GAL	L	3'
SALVIA CLEVELANDII	CLEVELAND SAGE	1 GAL	L	2'
SANTOLINA SP.	LAVENDER COTTON	1 GAL	L	2'
SENECIO MANDRALISCAE	BLUE CHALK STICKS	FLAT *	L	12"
WESTRINGIA SP.	COAST ROSEMARY	5 GAL	L	3'

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING
BERMUDAGRASS HYBRID	HYBRID BERMUDA GRASS	SOD	M	
BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING
CAREX PANSA	CA MEADOW SEDGE	LINERS	M	12"
CAREX TUMULICOLA	BERKLEY SEDGE	LINERS	L	12"
JUNCUS PATENS	GREY RUSH	LINERS	L	12"

BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING
MACFADYENA UNGUIS-CATI	CAT'S CLAW	15 GAL	L	15'

3" DEPTH SHREDDED REDWOOD MULCH OR APPROVED EQUAL

* NOTE: FLATTED MATERIAL TO BE PLANTED 12" O.C. MAX

PLANS PREPARED FOR:

QUINN COMMUNITIES
1084 N. EL CAMINO REAL STE B #406
ENCINITAS, CA 92024
(760) 942-9991

PLANS PREPARED BY:

G.M.P. GILLESPIE, MOODY, PATTERSON
3176 LIONSHEAD AVE. SUITE 102
CARLSBAD, CALIFORNIA 92010
858.558.8977 FAX: 858.558.9188
www.gmplandarch.com

SHEET INDEX

01	L-1	LANDSCAPE CONCEPT PLAN
02	L-2	LANDSCAPE ENLARGEMENTS
03	L-3	CONCEPTUAL FENCE AND WALL PLANS
04	L-4	CONCEPTUAL DETAILS AND TYPICAL FRONT YARDS
05	L-5	CONCEPTUAL WATER USE CALCULATIONS

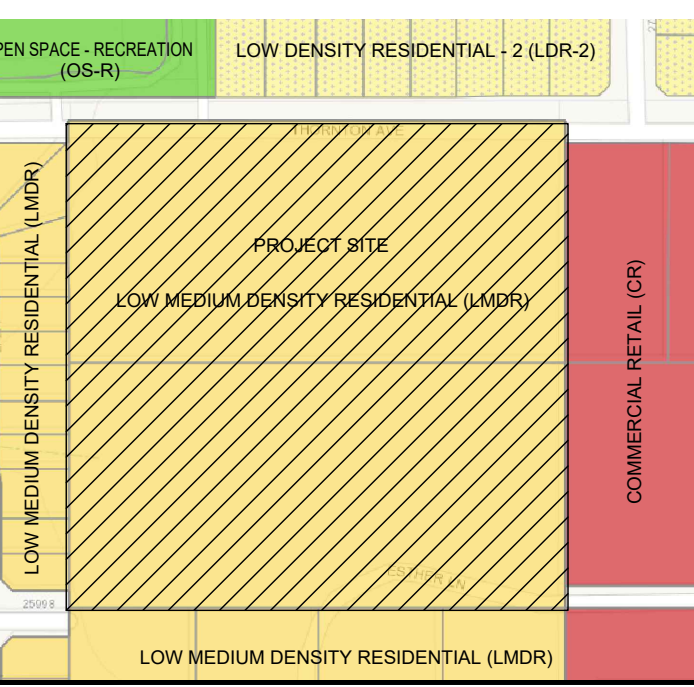
PROJECT CONSULTANTS

CIVIL ENGINEER: FM CIVIL ENGINEERS INC. 28995 TECHNOLOGY DR MURRIETA, CA 92563 T 951-973-0203	ARCHITECT: ARCHITECTS RP ASSOCIATES 11856 BERNARDO PLAZA CT # 120 SAN DIEGO, CA 92128 T (858) 592-4710
---	--

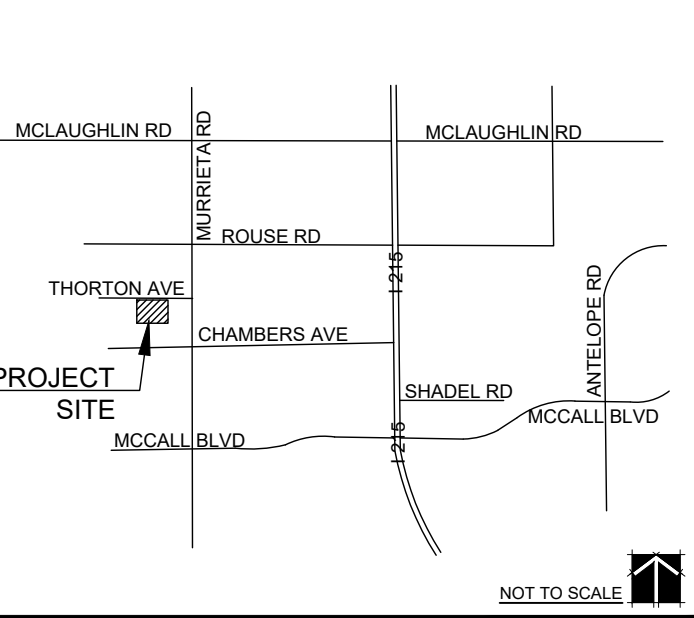
PROJECT INFORMATION

APN: 335-440-001 335-440-002	ZONE: LOW MEDIUM DENSITY RESIDENTIAL (LMDR) TYPE: NEW MULTI-FAMILY
------------------------------------	---

ADJACENT ZONING KEY MAP



KEY MAP



OPEN SPACE TREE CALCS

SF OF OPEN SPACE ON SITE = 40,747 (0.93 ACRES)
60 TREES PER ACRE = CODE REQUIREMENT
55.8 TREES REQUIRED / 56 TREES PROVIDED

SLOPE CALCS

15,145 SF TOTAL SLOPED AREA ONSITE
TREES= 1:750 SF OF SLOPE AREA REQUIRED
SHRUBS= 1:100 SF OF SLOPE AREA REQUIRED

20 TREES REQUIRED / 24 TREES PROVIDED
151 SHRUBS REQUIRED / 151 SHRUBS PROVIDED



1ST SUBMITTAL: 09-02-2022
2ND SUBMITTAL: 04-10-2023
3RD SUBMITTAL: 11-09-2023

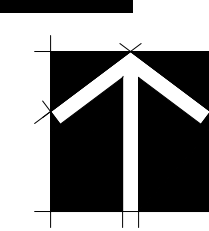
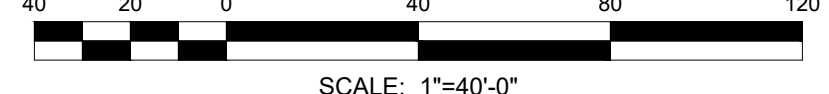
L-1

SHEET 01 OF 05

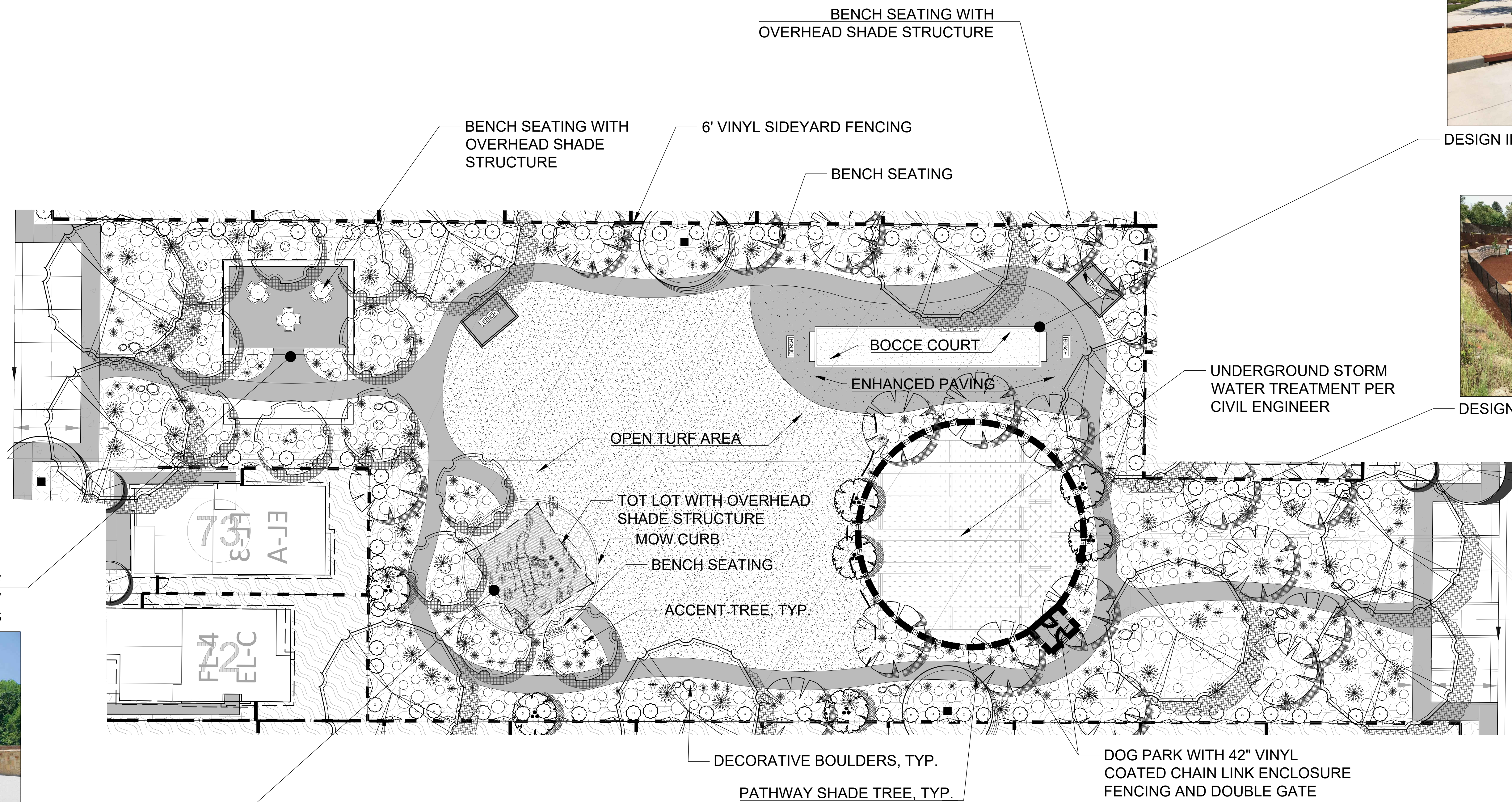
3176 Lionshead Ave
Suite 102
Carlsbad, CA 92010
gmplandarch.com
T 858 558 8977

LANDSCAPE
ARCHITECTURE
& PLANNING

GMP JOB NO. 22-015-00
SCALE: SEE SHEET
DRAWN: JP, KB
CHECKED: JP



PROJECT NAME: November 17, 2023



DESIGN INTENT IMAGERY OF BOCCE COURT



DESIGN INTENT IMAGERY OF DOG PARK

DESIGN INTENT IMAGERY OF COMMUNITY STRUCTURE WITH LOW WALLS AND SEATING AREAS



DESIGN INTENT IMAGERY OF TOT LOT & SHADE STRUCTURE



PLANTING DESIGN WILL BE DESIGNED WITH A LAYING EFFECT



1ST SUBMITTAL: 09-02-2022
2ND SUBMITTAL: 04-10-2023
3RD SUBMITTAL: 11-09-2023

L-2

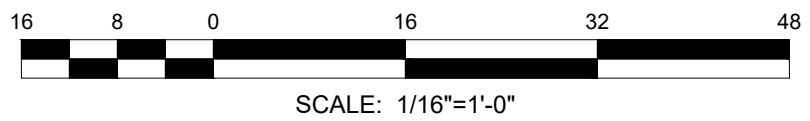
SHEET 02 OF 05

CORONADO DEVELOPMENT

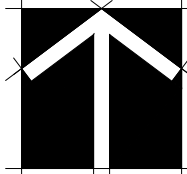
MENIFEE, CA

QUINN COMMUNITIES
1084 N. EL CAMINO REAL STE B #406
ENCINITAS, CA. 92024

LANDSCAPE ENLARGEMENTS



GMP JOB NO. 22-015-00
SCALE: SEE SHEET
DRAWN: JP, KB
CHECKED: JP

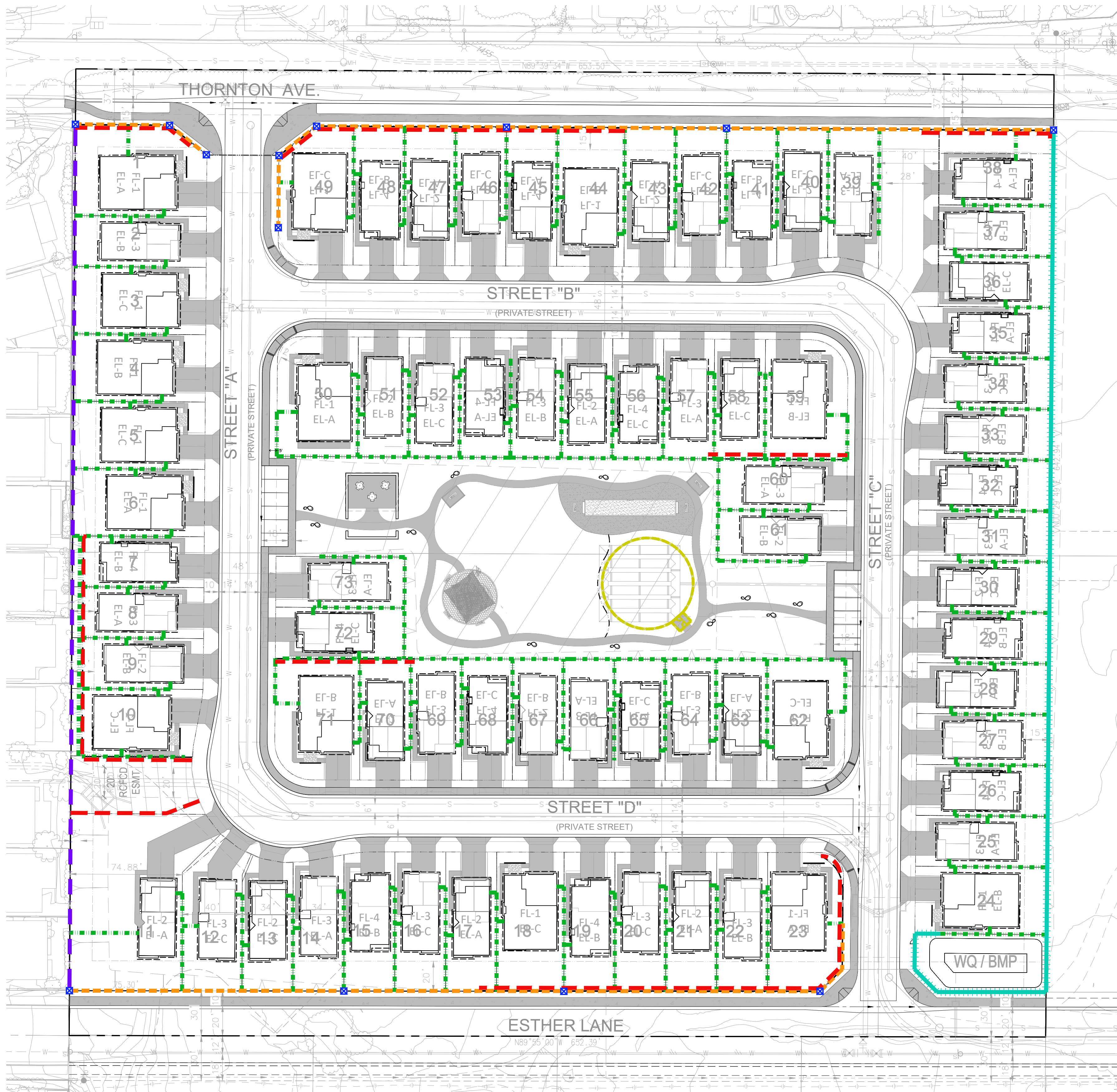


gmp

3176 Lionshead Ave
Suite 102
Carlsbad, CA 92010
gmplandarch.com
T 858 558 8977

**LANDSCAPE
ARCHITECTURE
& PLANNING**

PROJECT NAME: November 11, 2023



FENCE AND WALL LEGEND

- RETAINING WALL PER CIVIL ENGINEER (SPLIT FACE)
- 6' MASONRY WALL (STUCCO FINISH)
- 6' SIDEYARD VINYL FENCING (COLOR TBD)
- EXISTING WALL TO REMAIN
- 6'-6" TALL, 24" SQ. PILASTER (STUCCO FINISH)
- 6' TUBE STEEL FENCING (BLACK)
- 42" VINYL CHAIN LINK FENCING AND GATE (BLACK)

SEE SHEET L-4 FOR CONCEPTUAL FENCE AND WALL DETAILS



1ST SUBMITTAL: 09-02-2022
2ND SUBMITTAL: 04-10-2023
3RD SUBMITTAL: 11-09-2023

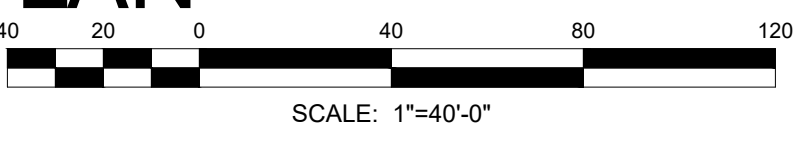
L-3

SHEET 03 OF 05

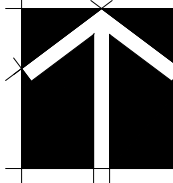
CORONADO DEVELOPMENT MENIFEE, CA

QUINN COMMUNITIES
1084 N. EL CAMINO REAL STE B #406
ENCINITAS, CA. 92024

CONCEPTUAL FENCE AND WALL PLAN

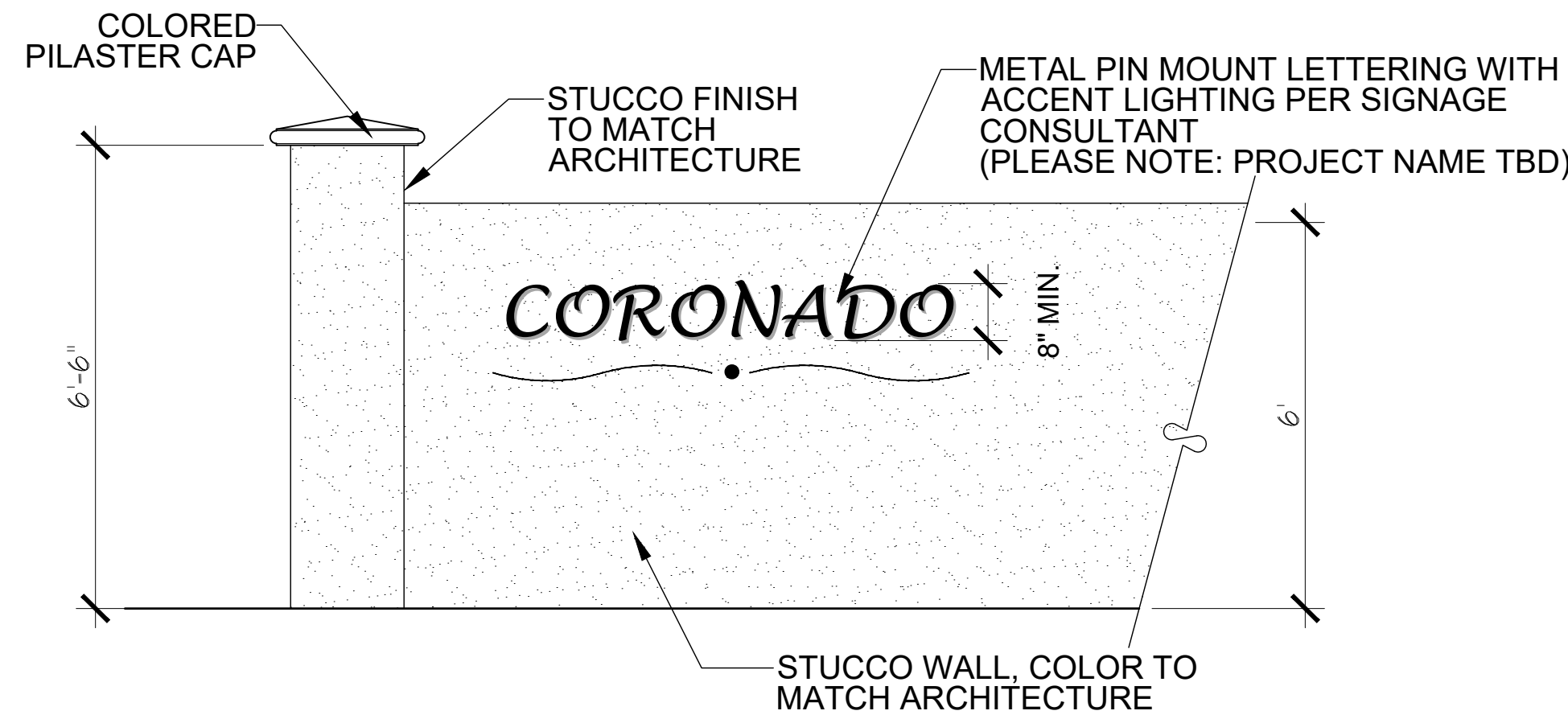


GMP JOB NO. 22-015-00
SCALE: SEE SHEET
DRAWN: JP, KB
CHECKED: JP

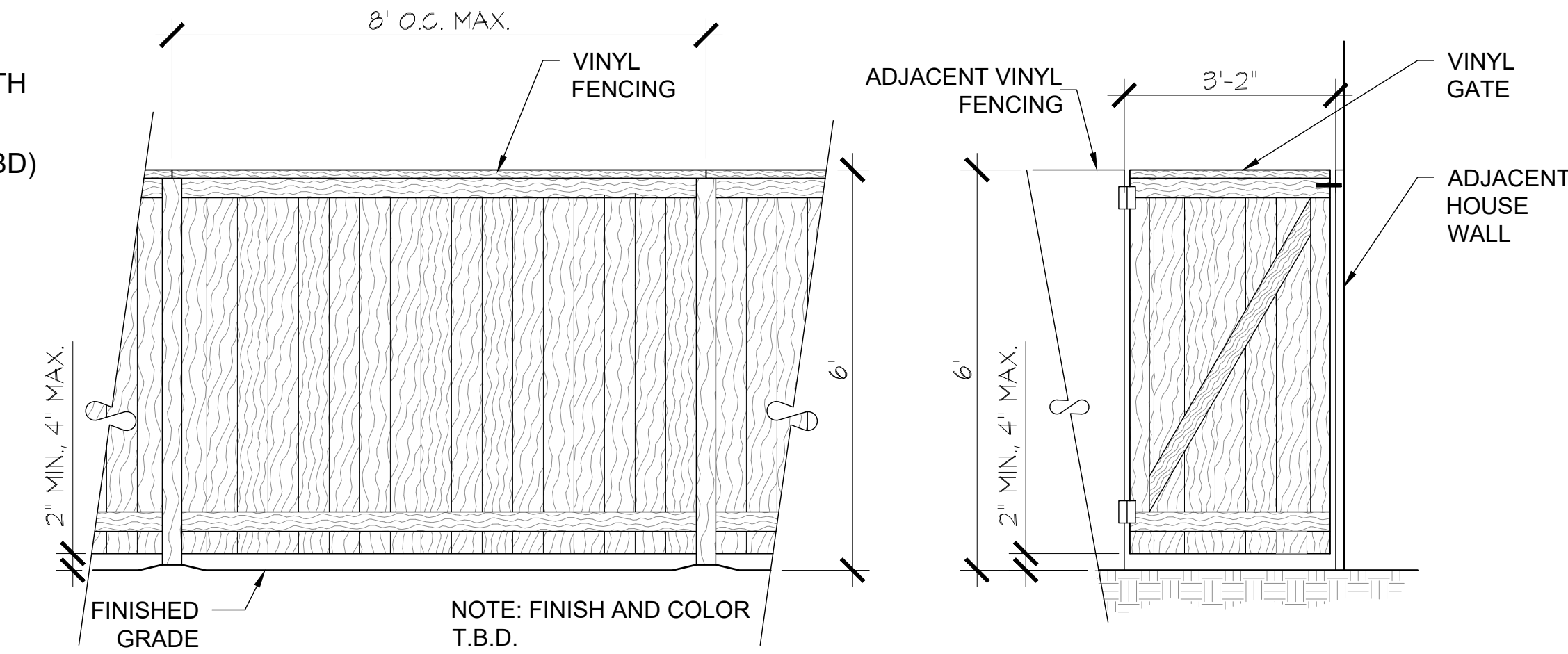


3176 Lionshead Ave
Suite 102
Carlsbad, CA 92010
gmplandarch.com
T 858 558 8977
LANDSCAPE
ARCHITECTURE
& PLANNING

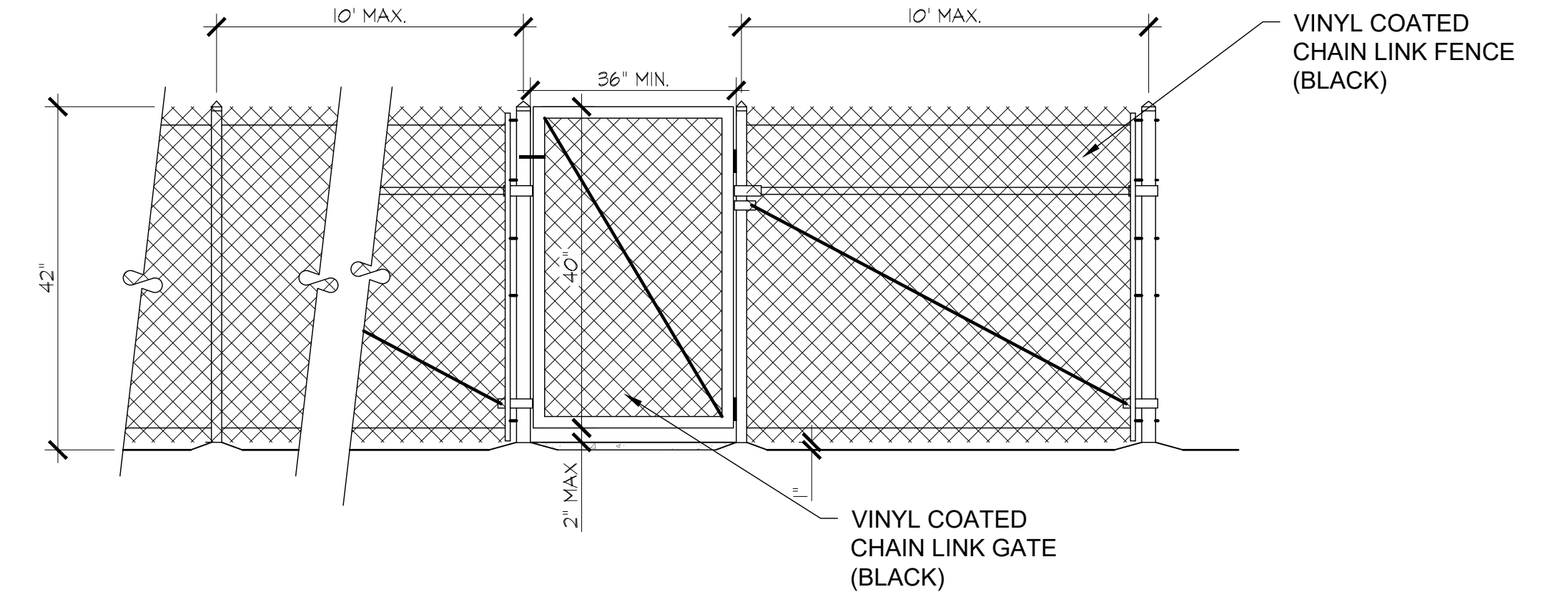
PROJECT NAME: November-17-2023



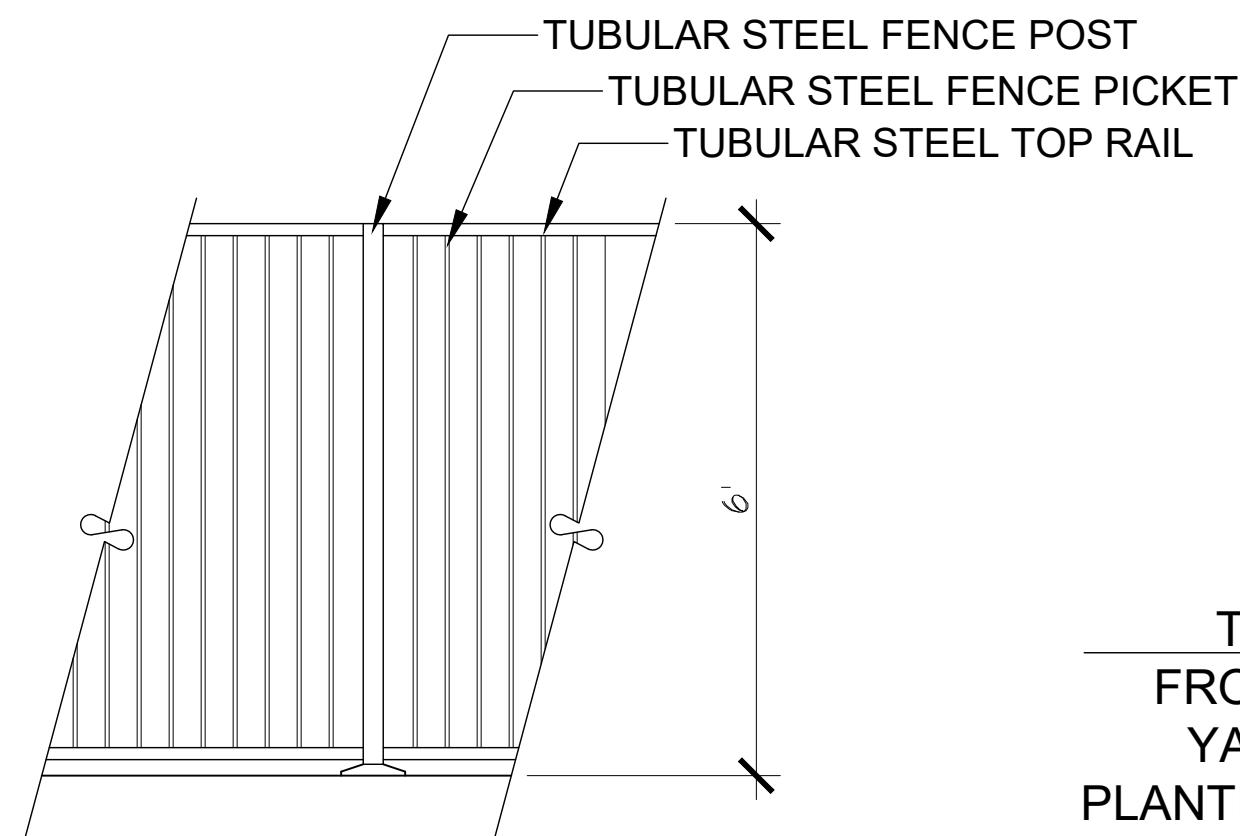
A PILASTER AND STUCCO WALL
NOT TO SCALE



C VINYL FENCING AND GATE
NOT TO SCALE



D DOG PARK VINYL COATED CHAIN LINK FENCE AND GATE
NOT TO SCALE

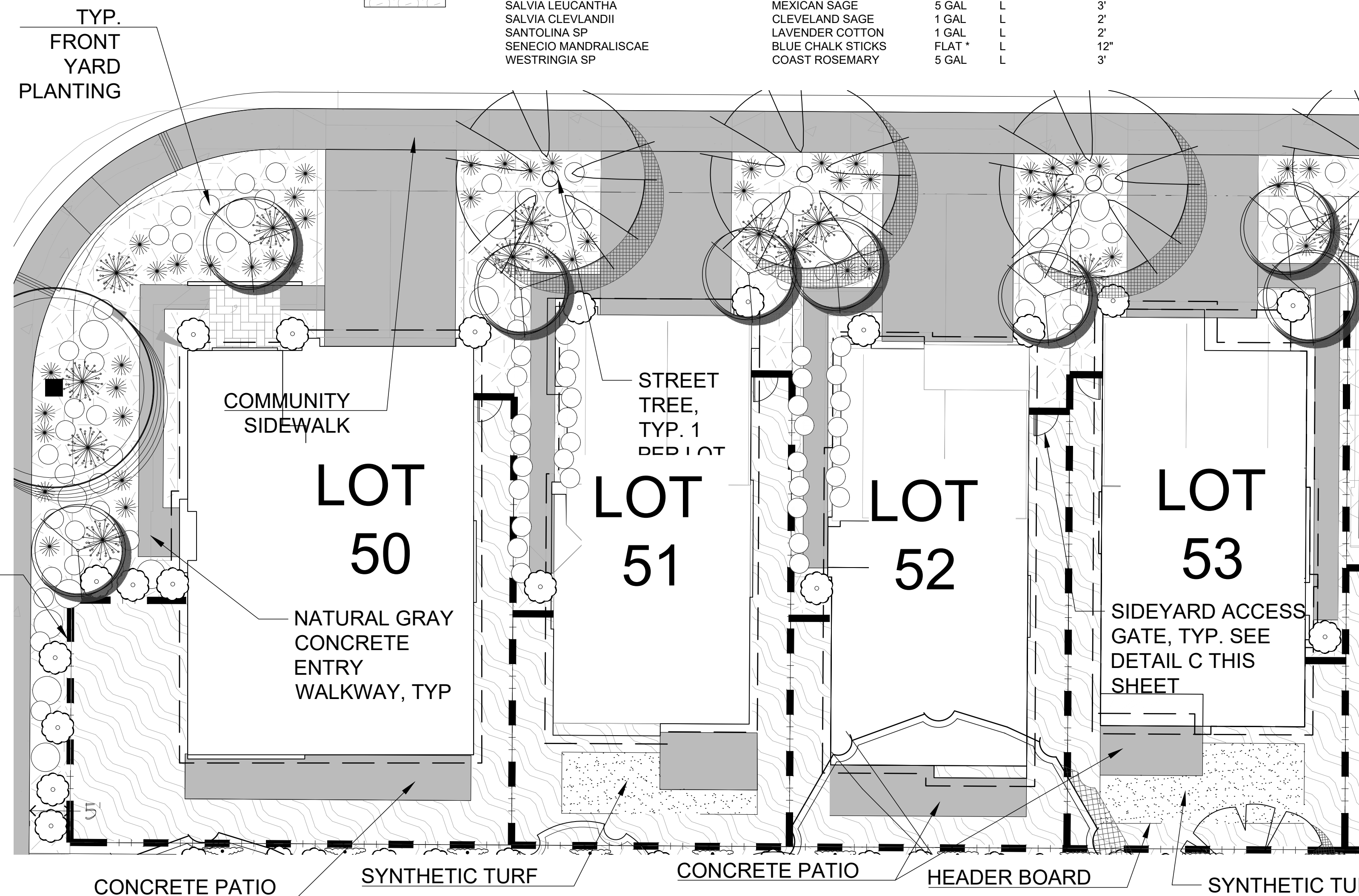


B TUBULAR STEEL FENCE
NOT TO SCALE

SHRUBS & GC	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	SPACING
HOA MAINTAINED AREAS (INCLUDING BASIN SIDES)	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	L	2'
HOMEOWNER MAINTAINED REAR YARDS	AGAVE ATTENUATA	AGAVE	5 GAL	L	4'
SLOPE AREAS	ACACIA REDOLENS 'LOWBOY'	LOWBOY BANK CATCLAW	5 GAL	L	6'
	BACCHARIS PILULARIS	DWARF COYOTE BUSH	FLAT *	L	12"
	BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL	L	5'
	CALLISTEMON X 'LITTLE JOHN'	BOTTLEBRUSH	5 GAL	L	3'
	CAREX TUMULICOLA	BERKELEY SEDGE	5 GAL	L	18"
	DIANELLA REVOLUTA 'VARIEGATED'	VARIEGATED FLAX LILY	5 GAL	L	2'
	ENCLEIA CALIFORNICA	CALIFORNIA SUNFLOWER	5 GAL	L	3'
	FESTUCA SISKIYOU BLUE	BLUE FESCUE	1 GAL	L	18"
	HESPERALOE PARVIFOLIA	RED YUCCA	5 GAL	L	3'
	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	L	10'
	LEONOTIS LEONURUS	LIONS TAIL	5 GAL	L	4'
	MUHLBERGIA CAPILLARIS 'PINK CLOUD'	PINK MUHLY	5 GAL	L	3'
	MUHLBERGIA RIGENS	DEER GRASS	5 GAL	L	3'
	RHAPHIOLEPIS INDICA 'PINKIE'	INDIAN HAWTHORNE	5 GAL	M	3'
	RHAPHIOLEPIS UMBELLATA 'MINOR'	YEDDA HAWTHORN	5 GAL	M	3'
	SALVIA LEUCANTHA	MEXICAN SAGE	5 GAL	L	3'
	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GAL	L	2'
	SANTOLINA SP.	LAVENDER COTTON	1 GAL	L	2'
	SENECIO MANDRALISCAE	BLUE CHALK STICKS	FLAT *	L	12"
	WESTRINGIA SP.	COAST ROSEMARY	5 GAL	L	3'

PLANT LEGEND

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	CANOPY SIZE
LEGEND SYMBOLS NOT SHOWN TO SCALE						
	39	ARBUTUS X MARINA (EVERGREEN)	STRAWBERRY TREE	24" BOX	M	20' - 25'
	15	CITRUS SPECIES (EVERGREEN)	CITRUS	24" BOX	M	10' - 15'
	19	CHILOPSIS LINEARIS (DECIDUOUS)	DESERT WILLOW	24" BOX	L	20' - 25'
	21	KOELRUTERIA BIPINNATA (DECIDUOUS)	GOLDEN RAIN TREE	24" BOX	M	15' - 30'
	12	OLEA EUROPEA 'WILSONII' (EVERGREEN)	WILSON OLIVE	24" BOX	L	20' - 30'
	35	PODOCARPUS GRACILIOR (EVERGREEN)	FERN PINE	24" BOX	M	20' - 25'
	25	RHUS LANCEA (EVERGREEN)	AFRICAN SUMAC	24" BOX	L	20' - 30'
	13	QUERCUS ILEX (EVERGREEN)	HOLLY OAK	24" BOX	L	30' - 80'
FRONT YARD TREES						
		CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	M	10' - 15'
		CITRUS X 'MEYERI'	MEYER LEMON	24" BOX	M	10' - 15'
		LAGERSTROEMIA INDICE 'TUSCARORA'	AFRICAN SUMAC	24" BOX	M	10' - 15'
		MAGNOLIA GRANDIFOLIA 'LITTLE GEM'	COAST LIVE OAK	24" BOX	M	10' - 15'



REAR YARD LANDSCAPING PER HOMEOWNER, WITH THE EXCEPTION OF REAR YARD SLOPES.

REAR YARD SLOPES SHALL BE PLANTED WITH A COMBINATION GROUND COVER, SHRUBS, AND TREES PER CITY'S SLOPE REVEGETATION REQUIREMENT AND PER THE BELOW:

- TREES SHALL BE PLANTED AT A RATE OF ONE TREE PER 750 SQ FT OF SLOPE AREA.
- SHRUBS SHALL BE PLANTED AT RATE OF ONE SHRUB PER 100 SQ FT.

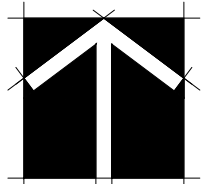
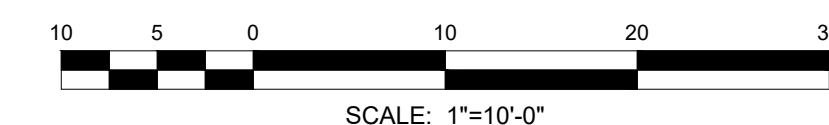
GROUND COVER WITH EROSION CONTROL CHARACTERISTICS SHALL BE PLANTED AT 12" O.C. FOR FLATS OR SPACED AT MATURE SPREAD FOR 1 GALLONS TO CONTROL SOIL EROSION.

CORONADO DEVELOPMENT

MENIFEE, CA

QUINN COMMUNITIES
1084 N. EL CAMINO REAL STE B #406
ENCINITAS, CA. 92024

CONCEPTUAL DETAILS AND TYP. FRONT YARDS



SHEET 04 OF 05

gmp



1ST SUBMITTAL: 09-02-2022
2ND SUBMITTAL: 04-10-2023
3RD SUBMITTAL: 11-09-2023

L-4

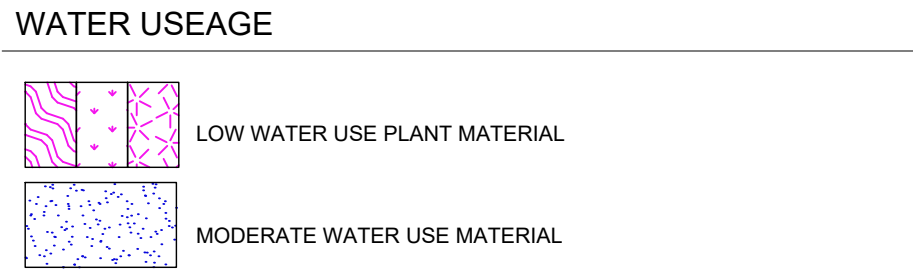
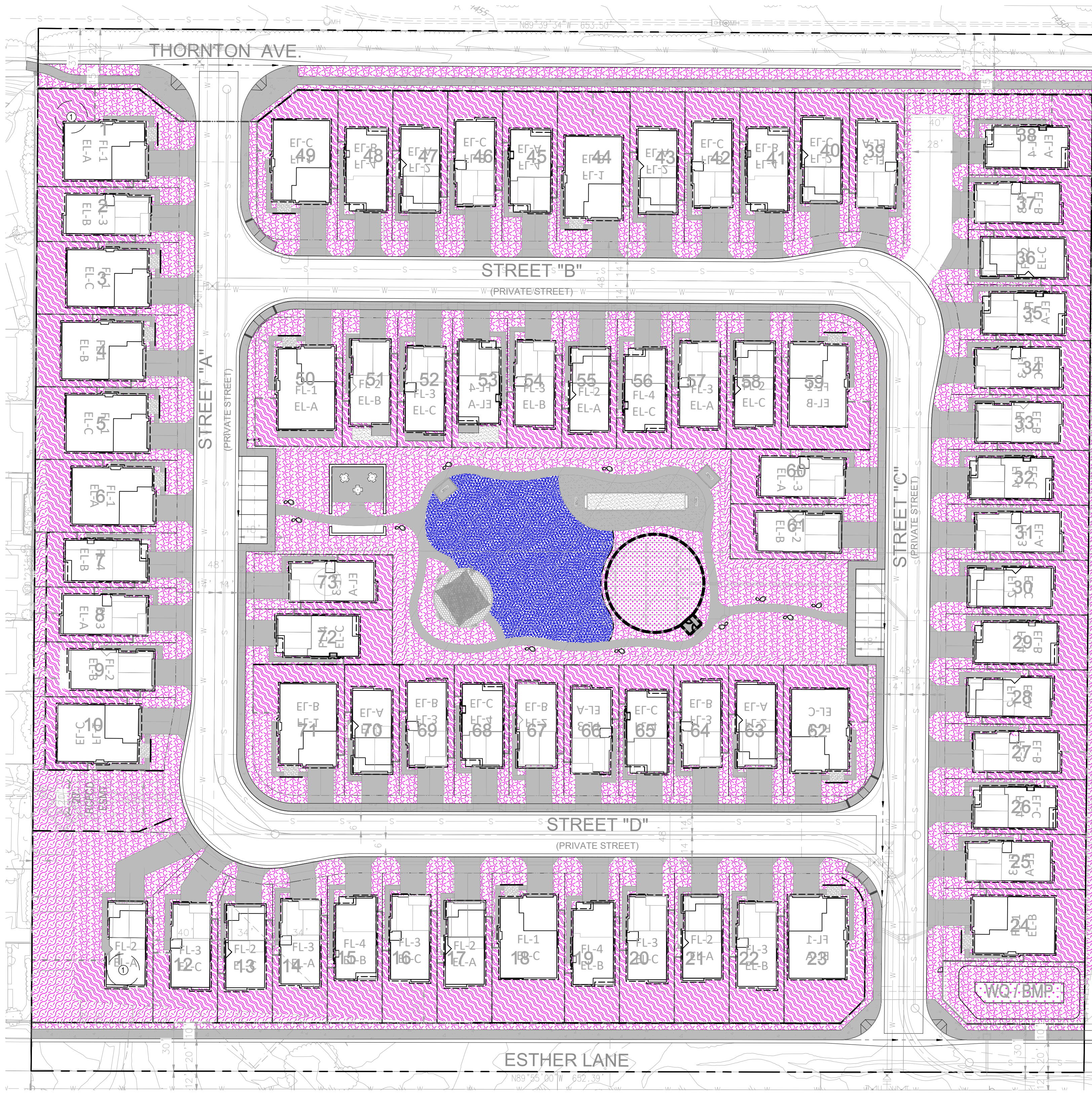
3176 Lionshead Ave
Suite 102
Carlsbad, CA 92010

gmplandarch.com
T 858 558 8977

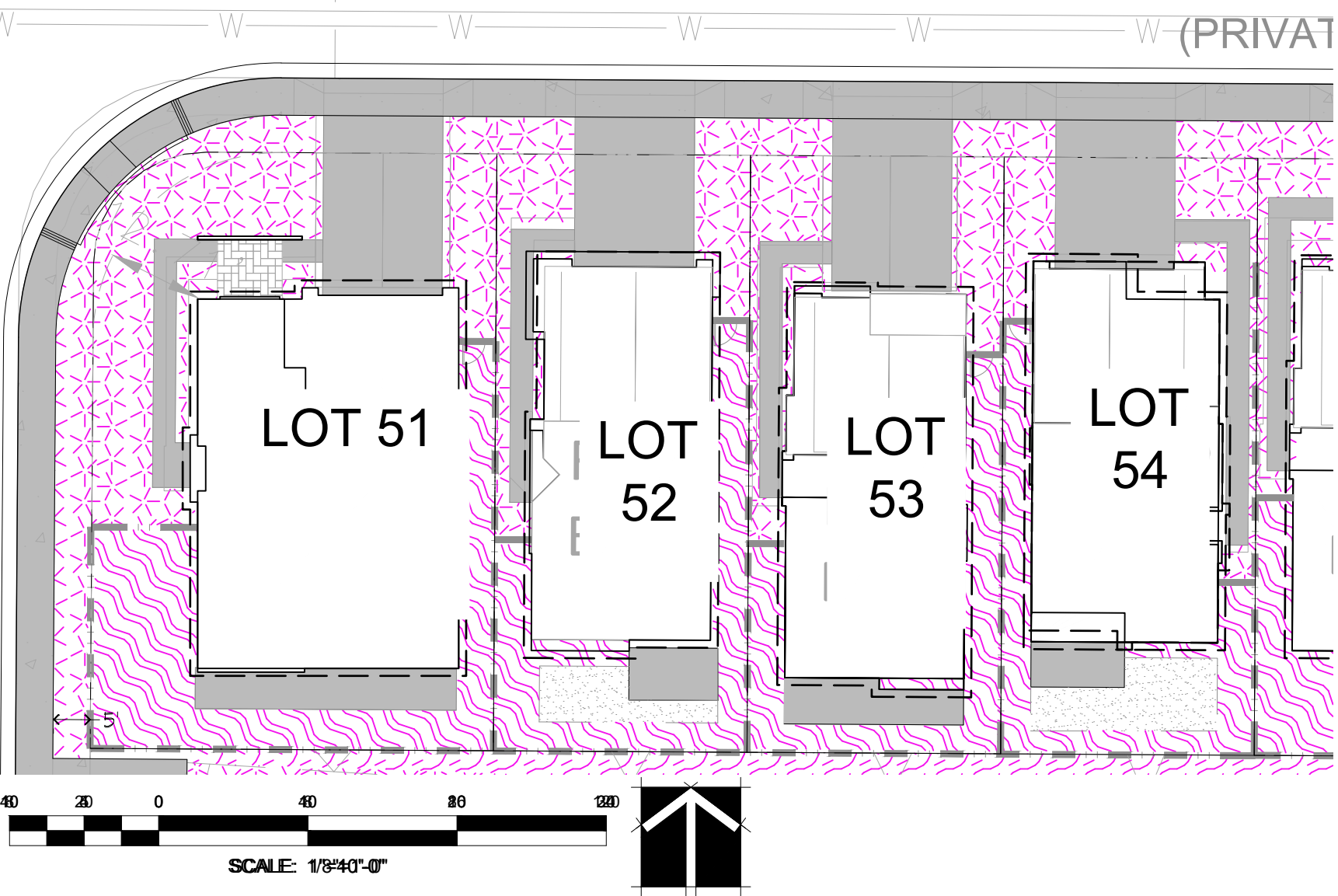
LANDSCAPE
ARCHITECTURE
& PLANNING

GMP JOB NO. 22-015-00
SCALE: SEE SHEET
DRAWN: JP, KB
CHECKED: JP

PROJECT NAME: November 17, 2023



TYP. FRONT/REAR YARD WATER CALCS:



LOT 51: FRONT YARD = 1420 SQ FT REAR YARD = 568 SQ FT TOTAL LOT LANDSCAPE = 1988 SQ FT	LOT 52: FRONT YARD = 489 SQ FT REAR YARD = 447 SQ FT TOTAL LOT LANDSCAPE = 936 SQ FT
IRRIGATION = DRIP (.81) PLANT FACTOR = L (.3)	IRRIGATION = DRIP (.81) PLANT FACTOR = L (.3)
ETWU: (49.7)(.62)(.37)(1988) = 22,648 MAWA: (49.7)(.62)(.55)(1988) = 33,679	ETWU: (49.7)(.62)(.37)(936) = 10,671 MAWA: (49.7)(.62)(.55)(936) = 15,838
LOT 53: FRONT YARD = 542 SQ FT REAR YARD = 400 SQ FT TOTAL LOT LANDSCAPE = 942 SQ FT	LOT 52: FRONT YARD = 469 SQ FT REAR YARD = 363 SQ FT TOTAL LOT LANDSCAPE = 792 SQ FT
IRRIGATION = DRIP (.81) PLANT FACTOR = L (.3)	IRRIGATION = DRIP (.81) PLANT FACTOR = L (.3)
ETWU: (49.7)(.62)(.37)(942) = 10,723 MAWA: (49.7)(.62)(.55)(942) = 15,961	ETWU: (49.7)(.62)(.37)(792) = 9,028 MAWA: (49.7)(.62)(.55)(792) = 13,404

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ETo) 55.0

Hydrozone # Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
1) HOA COMMON	.3	DRIP	.81	.37	25546	9452	322313
2) FRONT YARDS	.3	DRIP	.81	.37	46136	17070	582087
3) REAR YARDS	.3	DRIP	.81	.37	58667	21706	740174
4) TURF	.5	ROTORS	.75	.66	13748	9073	309389
5) BASIN	.3	ROTORS	.75	.4	915	366	12480
6) HOA TREES (25 SF ASSIGNED PER TREE)	.5	BUBBLER	.81	.61	8150	4971	169511
TOTALS					153,162	62,638	2,135,954
ETWU Total							2,135,954
Maximum Allowed Water Allowance (MAWA) ^e							2,872,553

^aHydrozone #/Planting Description
E.g.
1) front lawn
2) low water use plantings
3) medium water use planting

^bIrrigation Method
overhead spray
or drip

^cIrrigation Efficiency
0.75 for spray head
0.81 for drip

^dETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion
factor that converts acre-
inches per acre per year to
gallons per square foot per
year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA)
+ ((1-ETAF) x SLA)]
where 0.62 is a conversion factor that converts acre-
inches per acre per year to gallons per square foot per
year. LA is the total landscape area in square feet. SLA
is the total special landscape area in square feet,
and ETAF is .55 for residential areas and 0.45 for non-
residential areas.

MAWA = (55.0)(.62)(.55)(153,162) = 2,872,553

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)	62638
Total Area	(A)	153162
Average ETAF	B ÷ A	.40

Average ETAF for Regular Landscape Areas must
be 0.55 or below for residential areas, and 0.45 or
below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	
Total Area	(A+C)	
Sitewide ETAF	(B+D) ÷ (A+C)	

A copy of this form may be obtained from Department of Water Resources website:
<http://www.water.ca.gov/wateruseefficiency/landscapeordinance/>



1ST SUBMITTAL: 09-02-2022
2ND SUBMITTAL: 04-10-2023
3RD SUBMITTAL: 11-09-2023

L-5

SHEET 05 OF 05

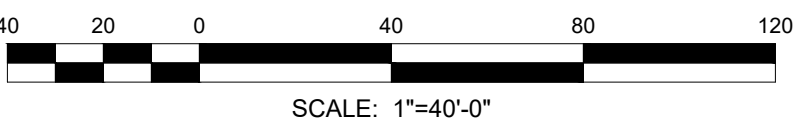
CORONADO DEVELOPMENT

MENIFEE, CA

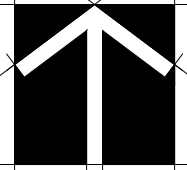
QUINN COMMUNITIES

1084 N. EL CAMINO REAL STE B #406
ENCINITAS, CA. 92024

CONCEPTUAL WATER USE CALCULATIONS



GMP JOB NO. 22-015-00
SCALE: SEE SHEET
DRAWN: JP, KB
CHECKED: JP



gmp

3176 Lionshead Ave
Suite 102
Carlsbad, CA 92010

gmplandarch.com
T 858 558 8977

LANDSCAPE
ARCHITECTURE
& PLANNING

PROJECT NAME: November 11, 2023