



CITY OF MENIFEE

SUBJECT: Shoppes at the Lakes - Mister Car Wash and Day Care

MEETING DATE: February 28, 2024

TO: Planning Commission

PREPARED BY: Brandon Cleary, Associate Planner

REVIEWED BY: Orlando Hernandez, Deputy Community Development Director

APPROVED BY: Cheryl Kitzerow, Community Development Director

APPLICANT: Trevor Buhl, Mister Car Wash

RECOMMENDED ACTION

1. Determine the Project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 ("In-Fill Development Projects") and direct staff to file a Notice of Exemption; and
2. Adopt a resolution approving Major Conditional Use Permit (PLN22-0288) and Major Plot Plan (PLN22-0289) for the Mister Car Wash and Day Care Development located in the existing Shoppes at the Lakes Commercial Center.

PROJECT DESCRIPTION

Major Conditional Use Permit (CUP) PLN22-0288 and Major Plot Plan (PP) PLN22-0289 proposes the construction of a new 5,434 square foot Express Car Wash (Mister Car Wash) with associated vacuum stalls and an 11,992 square foot Day Care with a 21,300 square foot play area (Project) within the existing Shoppes at the Lakes Commercial Center on the southeast corner of Newport Road and Menifee Road.

LOCATION

The Project site is located in the existing Shoppes at the Lakes Commercial Center within Planning Area (PA) 1 of the Menifee East Specific Plan No. 247 (SP-247) on the southeast corner of Newport Road and Menifee Road (APN's: 364-390-009, 364-390-012, 364-390-010, and 364-390-011).

The proposed Mister Car Wash and Day Care buildings will be located in the southeast corner of the Shoppes at the Lakes Commercial Center adjacent to the existing retention basin and south of the CVS and Del Taco buildings.

Project Location



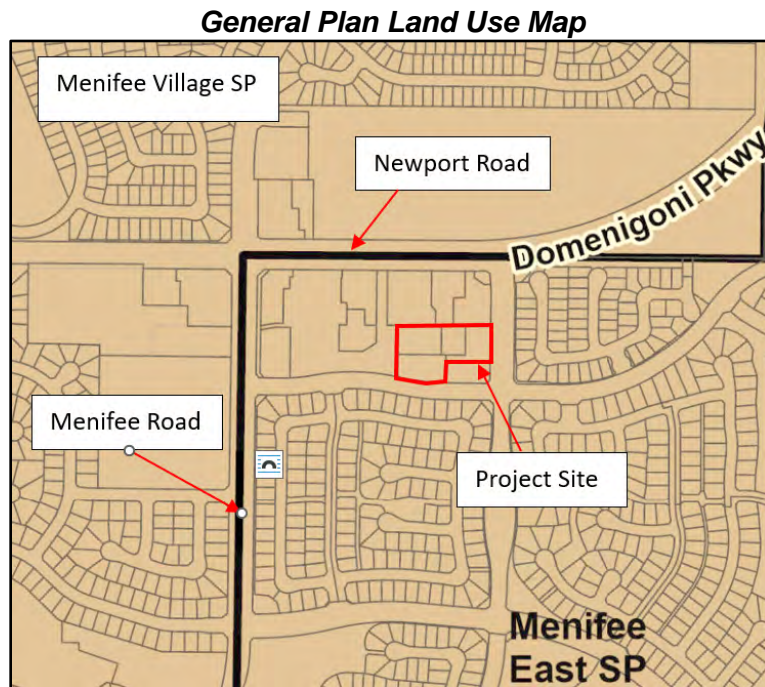
GENERAL PLAN/ZONE

General Plan

The General Plan designation for this project site is SP-247, PA 1, Commercial. PA 1 is intended for a mix of commercial uses intended to serve the community such as grocery, clothing, drug store, eating and service commercial establishments. Within the existing commercial center, a grocery store, drug store and multiple eating establishments are already constructed and in operation. The Project is consistent with SP-247 and the City of Menifee General Plan.

Zoning

The Zoning designation for PA 1 ties back to Riverside County Zoning Ordinance 348, Article IXb Scenic Highway Commercial. In this zone, a car wash use requires a CUP while a day care is a permitted use with approval of a PP. To the north and west, is the existing Shoppes at the Lakes Commercial Center within the same PA 1. To the east and south are existing single-family tracts within PA 4 and 2 respectively.

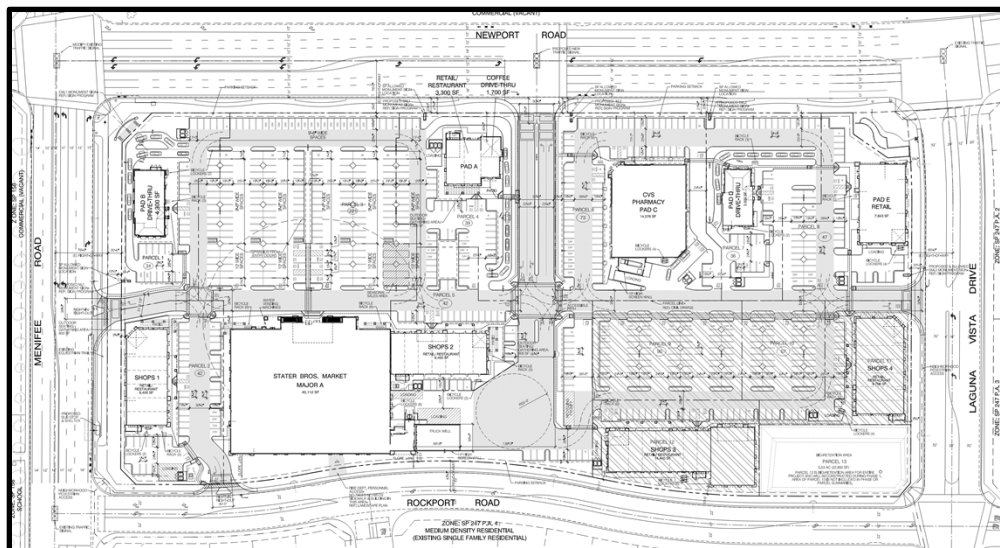


DISCUSSION

Background

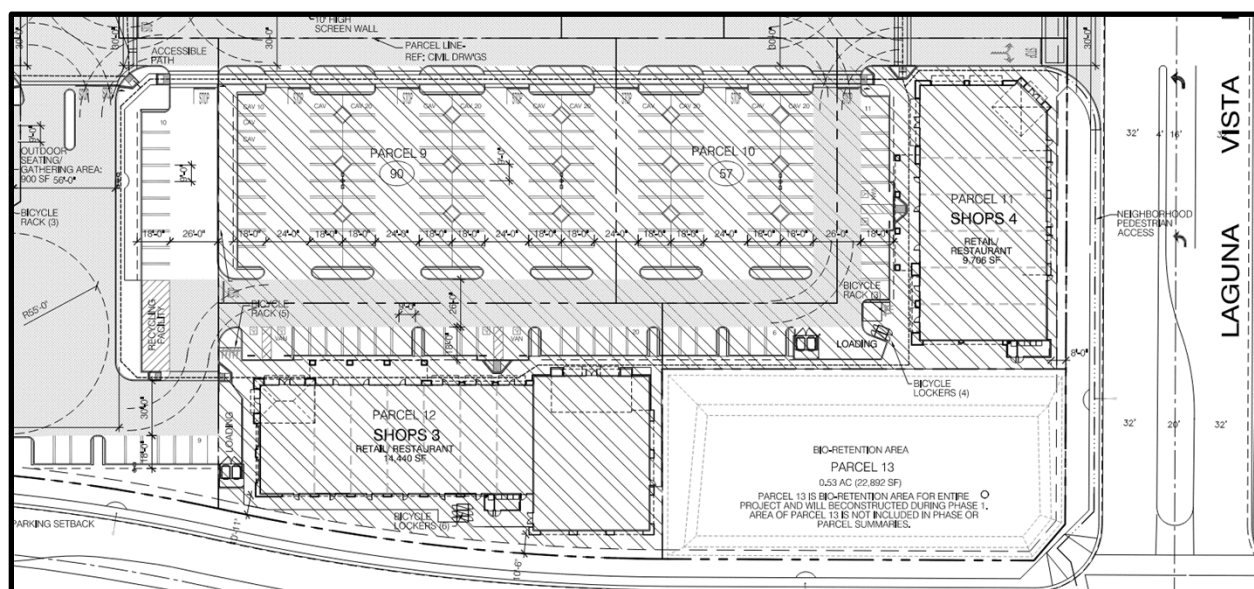
The proposed Project is to be constructed within the existing Shoppes at the Lakes Commercial Center. This shopping center was originally approved under PP No. 2014-092 on June 29, 2015 by the City of Menifee and included two phases of construction. Phase one included a Stater Bros grocery store, two Shops buildings, and five pad buildings of which four have drive-thrus (two are fast food, one is a coffee shop and one is a pharmacy). The Shops one building, intended for retail and restaurant uses, was not built and is currently a vacant pad. The second Shops building is attached to the Stater Bros building and constructed along with four of the five pad buildings. Pad A includes a Starbucks and dental office. Pads B, C and D include a McDonald's drive-thru, CVS Pharmacy and Del Taco drive-thru respectively. Pad E, located in the northeast corner of the center, is intended for retail and restaurant uses has not been constructed.

Original Site Plan



Phase two, located in the southeast corner of the Shoppes at the Lakes, originally included two additional shops buildings (Shops 3 at 14,440 square feet and Shops 4 at 9,706 square feet) and associated parking on the same parcels as the proposed Project. The anticipated uses were to include retail shops and restaurants.

Phase 2 Original Design (not constructed)



As part of the processing of the entitlement application, staff requested a market study on the area's capacity to have an additional car wash. The market study determined that the east side of I-215 was underserved with this type of commercial development and a car wash was a service needed in this area of the City. Furthermore, the addition of a car wash use and a day care will contribute to the development of the remaining vacant pad areas (Shop Building 1 and Pad E) as the uses will bring in additional foot and vehicular traffic to the overall center.

Site Plan, Access and Circulation

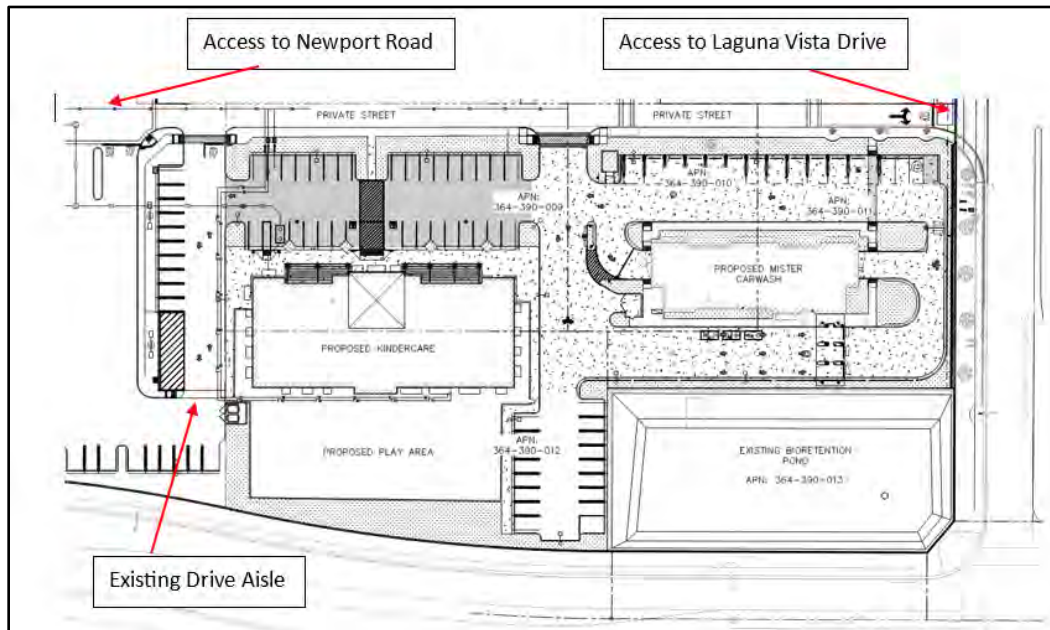
The Project will have access from Laguna Vista Drive to the east. The Shoppes at the Lakes Commercial Center provides access to Newport Road to the north, Menifee Road to the west and Rockport Road to the south. The Project is conditioned to provide reciprocal access to the rest of the center.

The proposed 5,436 square foot express car wash building is located north of the existing retention basin on the southeast corner of the center and will include 12 vacuum stalls (including one ADA compliant stall), three parking spaces and a three-lane drive-thru queue. The drive-thru queue will also include an employee kiosk and a traffic arm barrier to control vehicle traffic within the drive-thru lane. The express car wash is in compliance with the City of Menifee Municipal Code (MMC) as the Project will be located more than 150 feet from existing residential to the east and south. The building is proposed to be located a total of 206 feet from the nearest residential structure.

The 11,992 square foot Day Care building will be located west of the existing retention basin and Express Car Wash building, just south of the existing CVS Pharmacy within the Shoppes at the Lakes Center. The site will include the day care building, a 21,300 square foot playground area for the children in the rear of the building adjacent to Rockport Road.

The proposed Project site includes a total of 52 parking spaces not including the vacuum stalls dedicated for the car wash. The car wash site provides three spaces for employee parking along with 12 vacuum stalls for customers. One of the vacuum stalls is ADA compliant per 2022 California Building Code. The day care site includes 49 parking spaces, including two ADA compliant spaces and eight electric vehicle spaces. The day care site is required to have one space per two employees and every five children and is conditioned to provide a statement of operations when a day care user is chosen as attendance will be limited based on the number of spaces proposed.

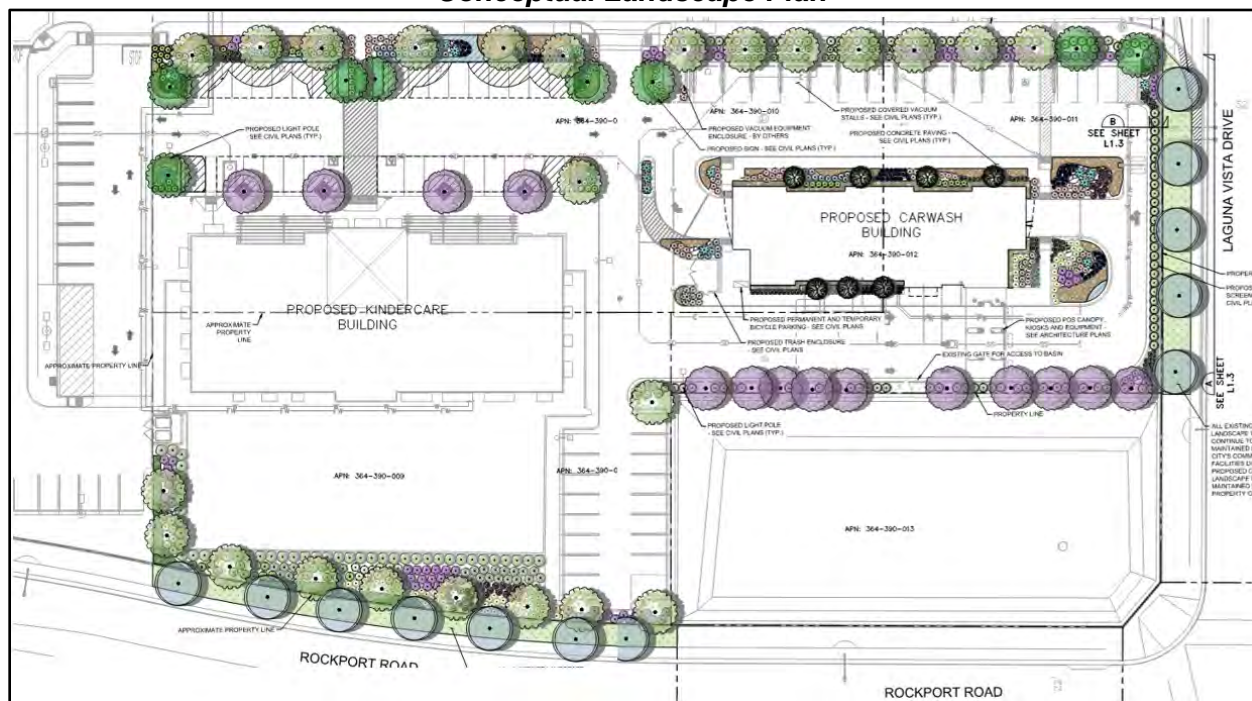
Site Plan



Landscaping and Screening

The Project will incorporate landscaping into the parking lots and areas surrounding each building per the MMC. Additional landscaping is proposed adjacent to the existing retention basin and between the playground area and Rockport Road for screening purposes. Existing landscaping surrounding the perimeter of the Shoppes at the Lakes Commercial Center will remain in place which includes trees, bushes and ground cover along Laguna Vista Drive and Rockport Road. The Project has been conditioned to provide additional landscaping within the southern parking lot adjacent to the day care playground area and the retention basin consistent with the MMC. The day care use has also been conditioned to provide fencing material details consistent with the MMC prior to building permit issuance. The Express Car Wash proposes an increase in height to an existing decorative retaining wall (from one foot to 4 feet) between the building and Laguna Vista Road to screen automobile headlights from impacting adjacent residences and traffic along adjacent roads. The retaining wall will be screened by bushes interior and exterior to the project site to limit the visual impact of a block wall and is conditioned to maintain the decorative element of the wall.

Conceptual Landscape Plan



Architecture

The Project reviewed for compliance with SP-247 and is compatible with the architecture of the adjacent commercial sites including the Stater Bros grocery store, CVS Pharmacy, Shops building and Del Taco. The structures will have a stucco exterior to match the existing structures while including similar colors, trim materials, roof gables, rock veneer and other decorative features. All rooftop mechanical equipment will be screened from view by a parapet and will not be visible from adjacent right-of-way.

North Elevation



South Elevation



East Elevation



West Elevation



ENVIRONMENTAL DETERMINATION

The Project is exempt from CEQA per Section 15332 "In-Fill Development Projects". This exemption is for projects characterized as in-fill development meeting the following conditions: a) the Project is consistent with the applicable general plan designation and all applicable General Plan policies, as well as with applicable zoning designation and regulations; b) the proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses; c) the Project site has no value as habitat for endangered, rare or threatened species; d) approval of the Project would not result in any significant effects related to traffic, noise, air quality, or water quality; and e) the site can be adequately served by all required utilities and public services. The proposed Project is consistent with the applicable General Plan, Specific Plan and Zoning Designations for the project site along with any applicable development standards. The Project is located within the City of Menifee boundaries and is surrounded on the north and west by an existing commercial center and to the east and south by existing residential developments. The Project will not result in any impacts to traffic, noise, air quality or water quality as a traffic memorandum was prepared noting a traffic study is not required, existing residential is screened from the car wash by landscaping and a perimeter block wall around the adjacent residential sites, no hazardous materials are proposed on site affecting air quality, and the Project has prepared a water quality plan to tie into the existing commercial center's approved Water Quality Management Plan from when it was approved by the City of Menifee in 2015. Additionally, the site will be served by all required utilities, including power, water, and sewer. Therefore, the proposed Project is categorically exempt from CEQA under Section 15332 "In-Fill Development Projects".

FINDINGS

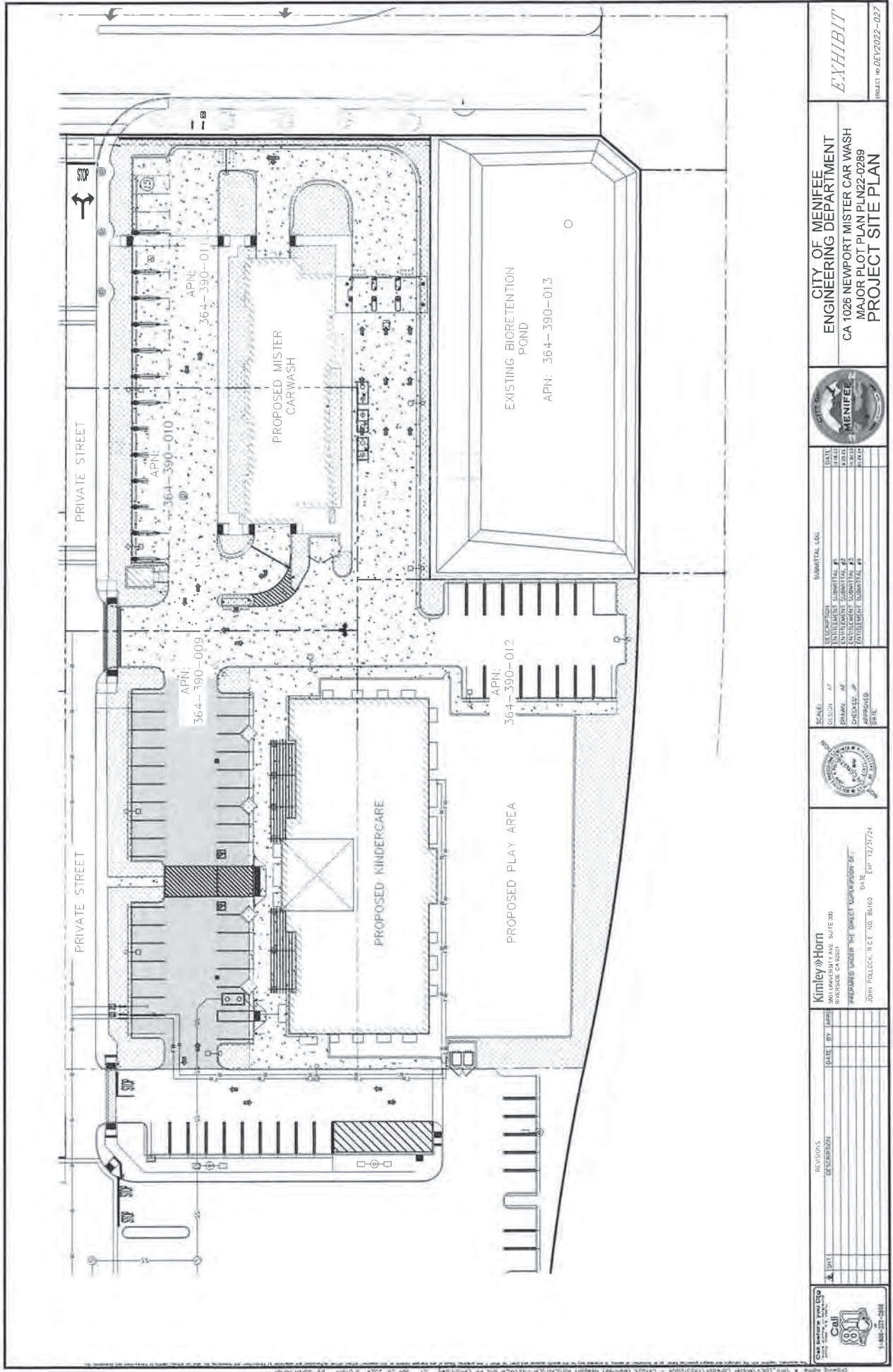
Findings for the Major CUP and Major PP are included in the attached Resolutions.

PUBLIC NOTICE

A public hearing notice for the proposed Project was published in *The Press Enterprise* on February 18, 2024 for the February 28, 2024 Planning Commission hearing. All relevant public agencies, including all interested parties, were notified of the public hearing as were all property owners within a 300-foot radius of the project site. On-site posting was also provided.

ATTACHMENTS

1. Project Exhibits
2. Resolution – CUP and PP
3. Exhibit A – Conditions of Approval
4. Public Hearing Notice



CITY OF MENIFEE
ENGINEERING DEPARTMENT
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN PLN22-0289
PROJECT SITE PLAN

EXHIBIT

PROJECT NO: DEY2022-027

REVISIONS

NO.	DATE	BY	REVISION
1			

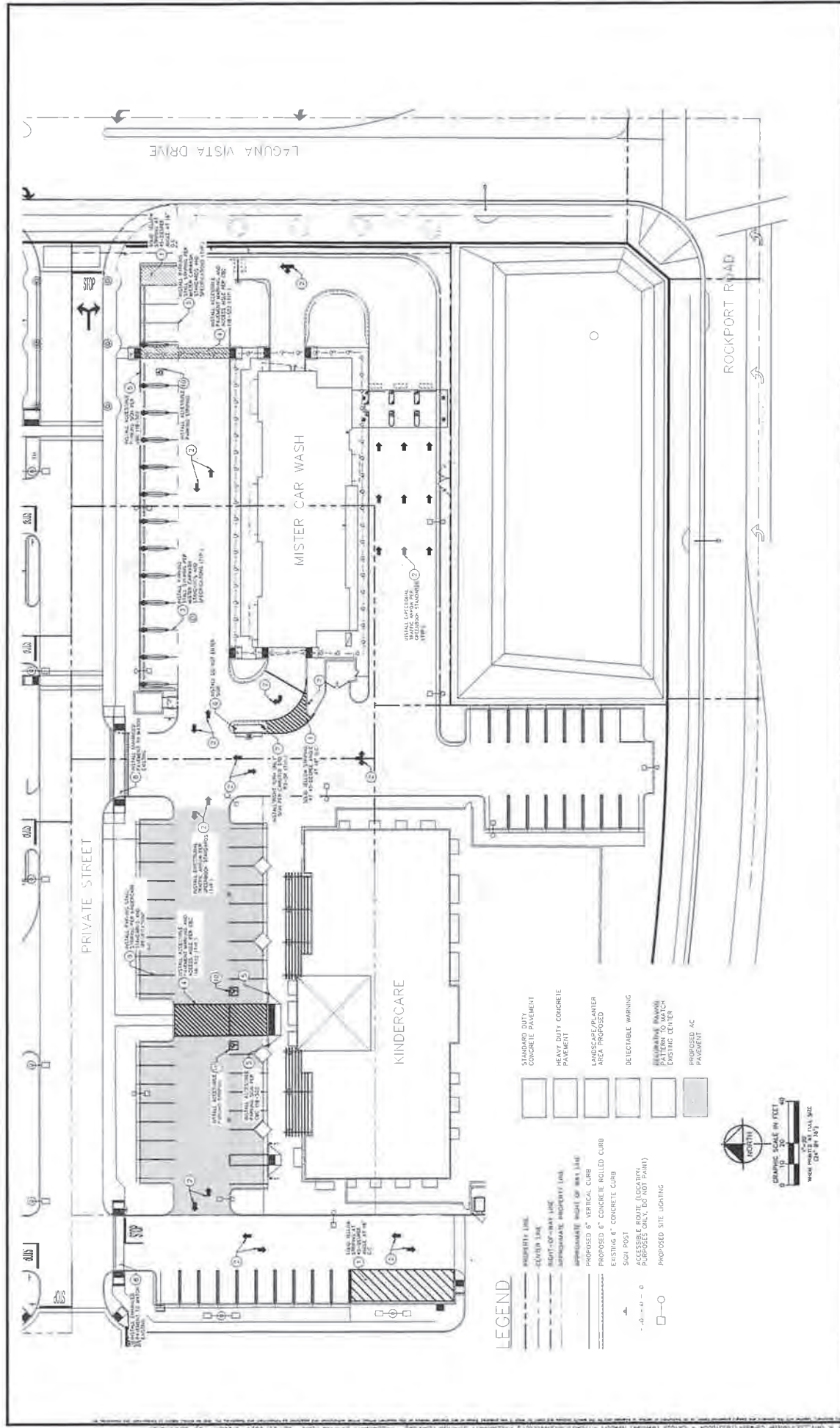
Kimley-Horn
10000 W. STATE ST. SUITE 200
RIVERSIDE, CA 92501
TEL: 951-502-1100
WWW.KIMLEY-HORN.COM
DATE: 12/31/24

SCALE

AS SHOWN
PLAN
CHECKED
APPROVED

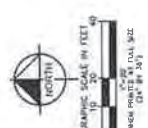
PERMITAL LOG

DESCRIPTION	DATE	APPROVED
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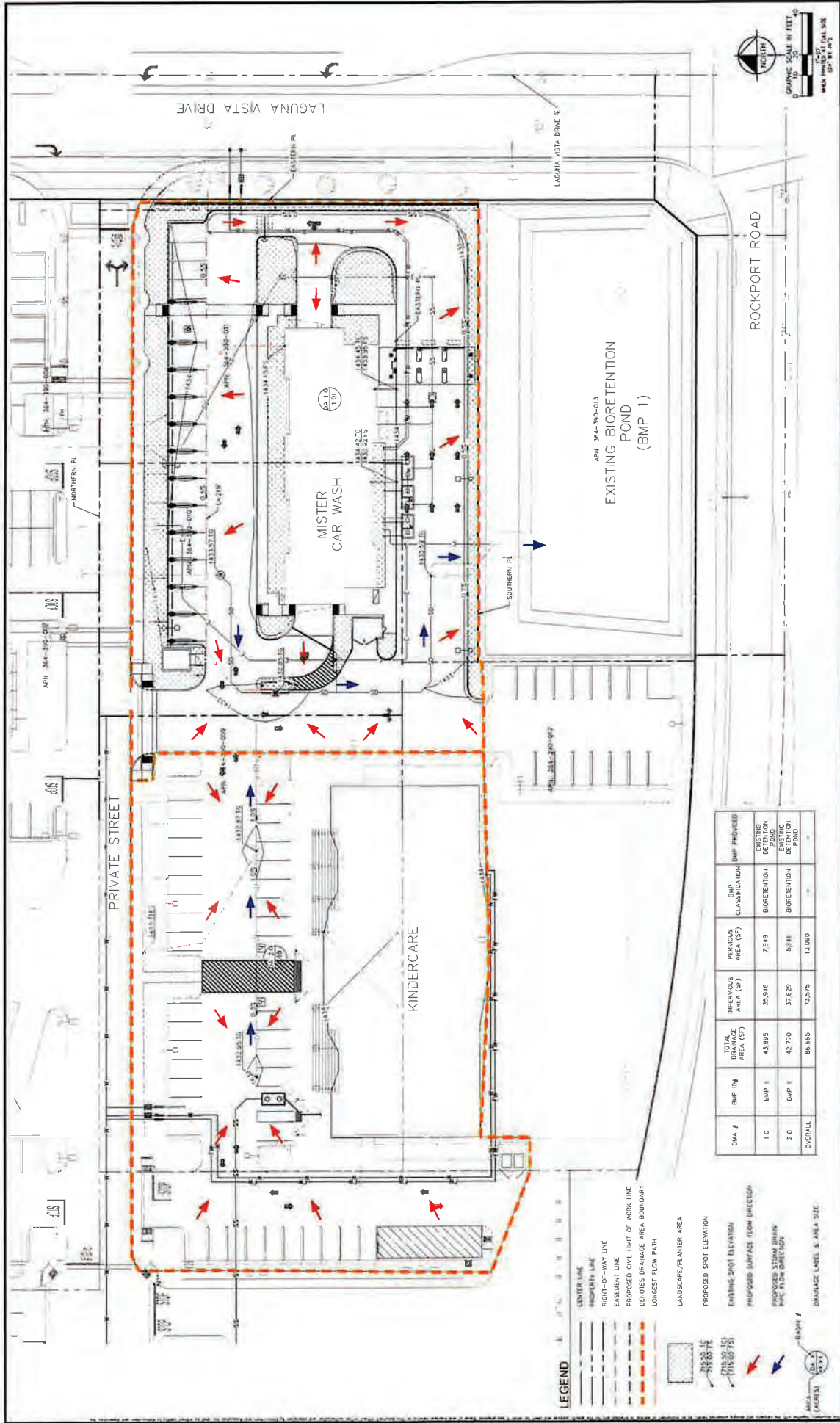


LEGEND

- PROPERTY LINE
- STANDARD DUTY CONCRETE PAVEMENT
- LEAVE DUTY CONCRETE PAVEMENT
- APPROXIMATE RIGHT OF WAY LINE
- PROPOSED 6" VERTICAL CURB
- PROPOSED 6" CONCRETE CURB
- SOIL POST
- ACCESSIBLE ROUTE (LOCATING PURPOSES ONLY, DO NOT PAINT)
- PROPOSED SITE LIGHTING
- STANDARD DUTY CONCRETE PAVEMENT
- LEAVE DUTY CONCRETE PAVEMENT
- LANDSCAPE PLANTER AREA PROPOSED
- DETECTABLE MARKING
- REPAIRING PAVEMENT EXISTING CENTER
- PROPOSED AC PAVEMENT



		<p>CITY OF MENIFEES ENGINEERING DEPARTMENT CA 1026 NEWPORT MISTER CAR WASH MAJOR PLOT PLAN PLN22-0289 PRELIMINARY STRIPING PLAN</p>		<p>SHEET NO. C1.2 3 of 12 PROJECT NO. 02/2022-027</p>
<p>SCALE: 1" = 20'</p>		<p>DATE: 12/17/24</p>		<p>DESIGNED BY: [blank] DRAWN BY: [blank] CHECKED BY: [blank] APPROVED BY: [blank]</p>
<p>REVISIONS</p>		<p>DATE: 12/17/24</p>		
<p>DESCRIPTION</p>		<p>DATE: 12/17/24</p>		
<p>DATE: 12/17/24</p>		<p>DATE: 12/17/24</p>		



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- PROPOSED CIVIL LIMIT OF WORK LINE
- DEVELOPER DRAINAGE AREA BOUNDARY
- LOWEST FLOW PATH
- LANDSCAPE/PLANTER AREA
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SURFACE FLOW DIRECTION
- PROPOSED STORM DRAIN FLOW DIRECTION
- DRAINAGE LABEL & AREA SIZE

DMA #	BMP ID#	TOTAL DEVELOPER AREA (SF)	PERVIOUS AREA (SF)	BMP CLASSIFICATION	BMP PROVIDED
1.0	BMP 1	43,895	35,946	BIOTRETION	BIOTRETION
2.0	BMP 2	42,770	37,629	BIOTRETION	BIOTRETION
OVERALL		86,665	73,575		

CITY OF MENIFEE
ENGINEERING DEPARTMENT
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN PLN22-0289
PROPOSED DRAINAGE MAP

REVISIONS

DATE	BY	DESCRIPTION

SCALE 1" = 30'

DESIGN JH
DRAWN JH
CHECKED JH
APPROVED JH

DATE 12/31/24

PROJECT NO. 16-DEV-2022-027

LEGEND

- APPROXIMATE PROPERTY LINE

COVER LINE

EASEMENT OR SETBACK LINE

RIGHT-OF-WAY LINE

PROPOSED SANITARY SEWER PIPE

PROPOSED STORM DRAIN PIPE

PROPOSED DOMESTIC WATER PIPE
- PROPOSED SANITATION WATER PIPE

PROPOSED ELECTRIC LINE

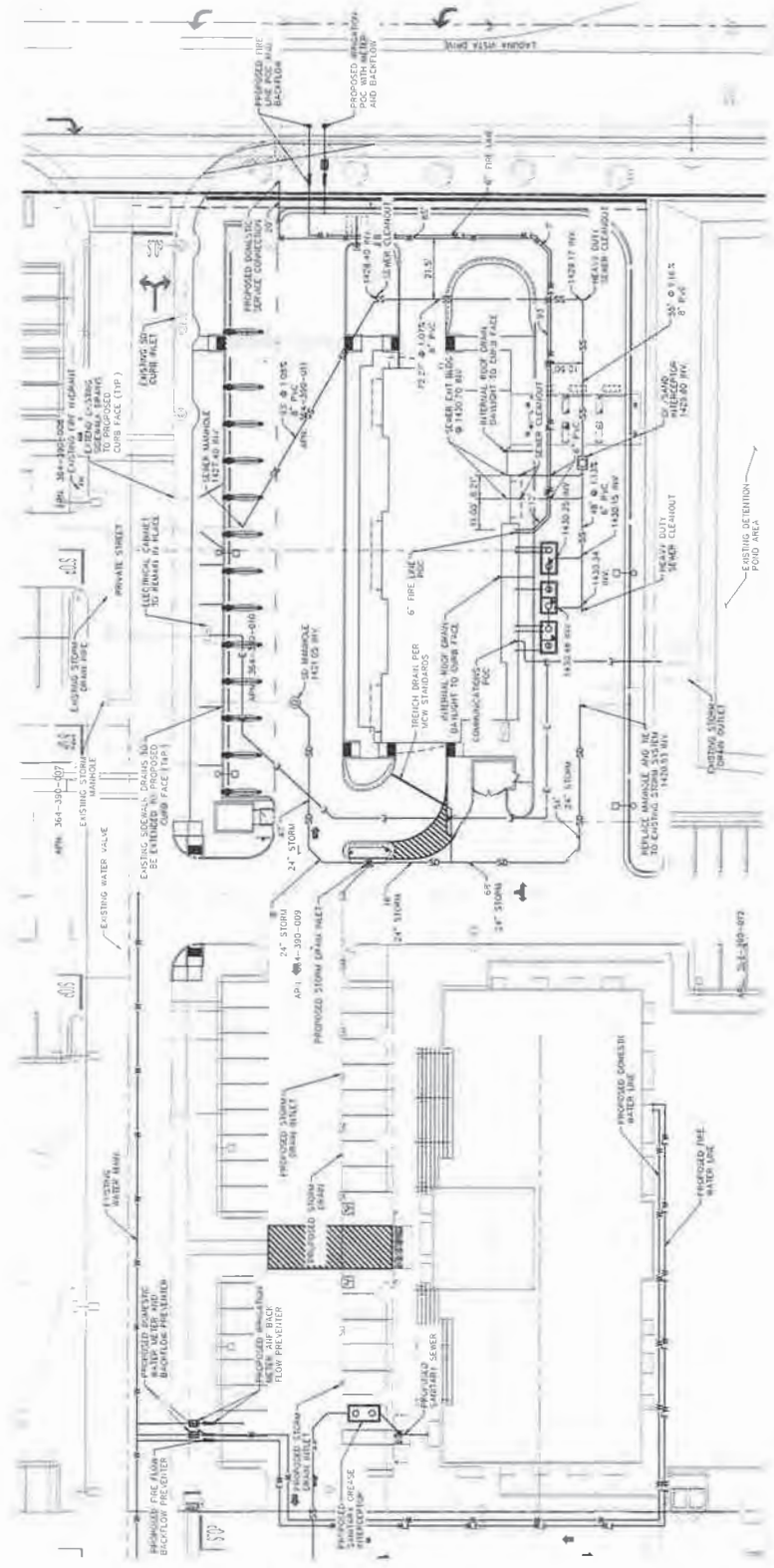
PROPOSED FIRE LINE

APPROXIMATE (GASING) DRIVE

EXISTING STORM DRAIN PIPE

PROPOSED AIRC DRAIN

PROPOSED SITE LIGHTING



CITY OF MENIFEE
ENGINEERING DEPARTMENT
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN PLN22-0289
PRELIMINARY UTILITY PLAN

PROJECT NO. DEV2022-027

DATE: 12/17/24

BY: JPM

CHECKED: JPM

APPROVED: JPM

SCALE: 1" = 20'

DATE: 12/17/24

BY: JPM

CHECKED: JPM

APPROVED: JPM

PROJECT NO. DEV2022-027

DATE: 12/17/24

BY: JPM

CHECKED: JPM

APPROVED: JPM

[illegible]

THE LANDSCAPE CONCEPT IN AN ILLUSTRATIVE LANDSCAPE IMPROVEMENTS FOR BOTH ON AND OFF SITE. PUBLIC RIGHTS OF WAY, PARKS, ETC., ARE THE PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN. OFF SITE AREAS WITHIN WHICH THE OFF SITE LANDSCAPE AREAS ARE UNDERGOING A SPECIAL DISTRICT OF LANDSCAPE IMPROVEMENTS ARE REQUIRED TO MAINTAIN OFF SITE AREAS WITHIN WHICH THE OFF SITE LANDSCAPE AREAS ARE UNDERGOING A SPECIAL DISTRICT OF LANDSCAPE IMPROVEMENTS. THE PROPERTY OWNER ACKNOWLEDGES THAT SIGNATURE WATER AND ELECTRIC UTILITIES FOR IRRIGATION USE ARE REQUIRED TO BE INSTALLED BY THE OWNER PRIOR TO THE COMMENCEMENT OF THE SPECIAL DISTRICT OF LANDSCAPE IMPROVEMENTS. THE SPECIAL DISTRICT OF LANDSCAPE IMPROVEMENTS THAT COSTS FOR ANIGATION INTO THE SPECIAL DISTRICT OF LANDSCAPE IMPROVEMENTS OF THE IRRIGATION WATER AND ELECTRIC UTILITIES SHALL BE BORNE BY THE PROPERTY OWNER.



THE LANDSCAPE IMPROVEMENTS IN OFF SITE AREAS SHALL BE SEPARATED FROM PRIVATELY MAINTAINED ON SITE LANDSCAPE AREAS WITH A CITY SINKHOLE OR A CONTINUOUS CONCRETE CURB OR WALL (SEE ATTACHED PHOTO) ALONG THE PROPERTY LINE (SEE DRAWING).

1. CROFT SUBSERVATION SYSTEMS SHALL BE SEPARATE FROM ANY OTHER ON-SITE LANDSCAPE SYSTEMS. CONTROLS SHALL VARY MINORLY OF SITE TO ADJUSTIVE LANDSCAPE IMPROVEMENTS SHALL IN SEPARATED BY CONCRETE KNOW CURBING OR 18" HIGH TYPICAL BARBER ALCOHOL PROPERTY OF THE SLOPES OF WAY
2. PLAN SHALL CONFORM TO CITY OF NEWFELL LANDSCAPE STANDARDS (MARCH 2016), MAX CHAPTER 9-1A LANDSCAPE WATER USE EFFICIENCY REQUIREMENTS AND THE COURTESIDE DEVELOPMENT CODE CHAPTERS 9-195 (LANDSCAPING STANDARDS) AND CHAPTERS 9-200 (TREE PRESERVATION)
3. ALL TREES WITHIN AN EIGHTY FEET OF LANDSCAPE OR BARRIERS SHALL BE REPLANTED WITH EQUAL OR BETTER CONTROL. BARRIER FROM D.P.I.P. ROOT CORRELATION FOR APPROVED PLANT MATERIALS SHALL BE REPLANTED WITHIN ONE YEAR OF REMOVAL. PLANT MATERIALS SHALL BE REPLANTED WITHIN ONE YEAR OF REMOVAL AND 2% HIGHER PERCENTAGE THAN ORIGINAL SPECIES.
4. ALL CHURCH MOUNTED ELECTRICAL MECHANICAL EQUIPMENT SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING
5. LANDSCAPE MATERIALS OVER SIX INCHES IN HEIGHT SHALL NOT BE PLACED IN SHOT DISTANCE RESTRICTED AREAS
6. SEPARATE NEWLY ACQUIRED OR NONEXISTENT SIGN

ALL SCREENING DEVICES SHALL BE MAINTAINED IN A WORKING CONDITION AT ALL TIMES. ANY DEVICE THAT IS NOT EFFECTIVELY SCREENING SHALL BE IMMEDIATELY REPLACED. ALL SCREENING DEVICES SHALL BE MAINTAINED IN A WORKING CONDITION AT ALL TIMES. ANY DEVICE THAT IS NOT EFFECTIVELY SCREENING SHALL BE IMMEDIATELY REPLACED.

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LANDSCAPE CALCULATIONS	
TOTAL PROJECT SITE AREA (GROSS AREA MINUS RW)	1,009 AC
TOTAL LANDSCAPED AREA (AVAILABLE)	0.17 AC
UNLANDSCAPED AREA PERCENTAGE	1.7%
TOTAL SITE AREA (RW IN)	760.5F
TOTAL OFF SITE LANDSCAPE AREA (DOC SURVEY MAPS)	1,873.5F
REMANUING OFF LANDSCAPE AREA (AVAILABLE)	11%
TOTAL BULIDING FACILITIES IN PUBLIC VIEW (RW IN)	49.5F
TOTAL TREES REQUIRED TO SCREEN BUILDING FACILITIES (7 TIMES TREES)	7 TREES
TOTAL TREES PROVIDED IN LANDSCAPE (AVAILABLE)	7 TREES
TOTAL TREE PERIMETER (LAND NORTH OF 54TH ST/WS)	380.0F
TOTAL PERIMETER TREES REQUIRED (1 TREE/10.0F)	11.8 TREES
TOTAL PERMETER TREES PROVIDED	12 TREES
TOTAL PARKING SPACES PROVIDED	100 SPACES
TOTAL PARKING TREES REQUIRED (1 TREE/4.0F)	25 TREES
TOTAL PARKING TREES PROVIDED	25 TREES
TOTAL REMAINING TREES (AVAILABLE) (7 TREES/4.0F)	8.4 TREES
TOTAL PARKING TREES PROVIDED	0 TREES
TOTAL STREET TREES REQUIRED (1 TREE/10.0F)	5 TREES
TOTAL STREET TREES PROVIDED	5 TREES
TOTAL TREES TO BE IN BOX (ON WH)	1 TREES

85		FEVERBEEB CHAMOMILE YELLOW BLUE YELLOWS	5.0L	30° C	LOW
129		ACE OF HEAVEN PINKY YELLOW YELLOW YELLOWS	5.0L	30° C	LOW
133		PARVOLA ACROSTICUS MOODS MOODS ENGLISH LILAC	5.0L	30° C	LOW
21		TEUCHOPELUS MAJESTICUS COMPACTUS COMPACT TEAS BARK	5.0L	40° C	LOW
130		LOSTHUM AMERICAN TEASMA TEAS JAWBERRY WHITE	15.0L	40° C	MODERATE
44		TEUCHOPELUS CAMPUS TEASMA TEASMA	5.0L	30° C	LOW
88		TEUCHOPELUS CAMPUS TEASMA TEASMA	5.0L	40° C	LOW
41		NUHLBERGIA ROSEUS DEER GRASS	5.0L	30° C	LOW
22		HARDY CORNELIUS TEUCHOPELUS TEUCHOPELUS	5.0L	60° C	MODERATE
44		CELA EUPHORIA VITIFOLIA TEUCHOPELUS TEUCHOPELUS	5.0L	60° C	LOW
121		PARVOLA ACROSTICUS TEUCHOPELUS TEUCHOPELUS	5.0L	40° C	LOW
INERT MATERIAL					
8		ROCK BOULDER 1/2 INCH 1/2	ROCK	AS SHOWN	
8		ROCK BOULDER 1/2 INCH 1/2	ROCK	AS SHOWN	
GROUND COVERS					
23		ROCK BOULDER 1/2 INCH 1/2	ROCK	AS SHOWN	
141		ROCK BOULDER 1/2 INCH 1/2	ROCK	AS SHOWN	
EXISTING					
23		ROCK BOULDER 1/2 INCH 1/2	ROCK	AS SHOWN	
141		ROCK BOULDER 1/2 INCH 1/2	ROCK	AS SHOWN	

ALL INQUIRIES AND NEGOTIATIONS
TO BE INITIATED BY THE CHAIRMAN

Call

800-227-2800

10/11/2006
 04/28/2006

DATE BY
 04/28/2006

KIMLEY-HORN
 801 UNIVERSITY BLVD. SUITE 100
 DENVER, CO 80202
 PREPARED UNDER THE EMPLOYMENT OF

MICHAEL P. HADSEN PLA 5798
 DATE: 04/28/2006

DATE
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	SECTION	SA	INTELLIGENCE
	CHARGE	SA	INTELLIGENCE
	CHARGE	SA	INTELLIGENCE
	CHARGE	SA	INTELLIGENCE



LANDSCAPE MAINTENANCE - EACH CONCRETE LINE, REPAIRS AS WELL AS UP' RULES IN THE GRASS. LANDSCAPE MAINTENANCE TO BE GRASS TO GRASS WITHIN 10' OF SITE. IF AVAILABLE, IF SITE SOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE CLEAN SANDY LOAM TOPSOIL. SUITABLE FOR LANDSCAPE PLANTINGS. A SEPARATE SOIL ANALYSIS REPORT SHALL BE PROVIDED FOR ANY IMPORTED SOIL.



SHEET NO.
L1.1
10 of 12

CITY OF MENIFEE
ENGINEERING DEPARTMENT
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN PLN22-0289
LANDSCAPE PLAN



DESCRIPTION	QUANTITY
EXHIBIT 1	1.00
EXHIBIT 2	1.00
EXHIBIT 3	1.00
EXHIBIT 4	1.00
EXHIBIT 5	1.00
EXHIBIT 6	1.00
EXHIBIT 7	1.00
EXHIBIT 8	1.00
EXHIBIT 9	1.00
EXHIBIT 10	1.00
EXHIBIT 11	1.00
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EXHIBIT 70	1.00
EXHIBIT 71	1.00
EXHIBIT 72	1.00
EXHIBIT 73	1.00
EXHIBIT 74	1.00
EXHIBIT 75	1.00
EXHIBIT 76	1.00
EXHIBIT 77	1.00
EXHIBIT 78	1.00
EXHIBIT 79	1.00
EXHIBIT 80	1.00
EXHIBIT 81	1.00
EXHIBIT 82	1.00
EXHIBIT 83	1.00
EXHIBIT 84	1.00
EXHIBIT 85	1.00
EXHIBIT 86	1.00
EXHIBIT 87	1.00
EXHIBIT 88	1.00
EXHIBIT 89	1.00
EXHIBIT 90	1.00
EXHIBIT 91	1.00
EXHIBIT 92	1.00
EXHIBIT 93	1.00
EXHIBIT 94	1.00
EXHIBIT 95	1.00
EXHIBIT 96	1.00
EXHIBIT 97	1.00
EXHIBIT 98	1.00
EXHIBIT 99	1.00
EXHIBIT 100	1.00

Kimley»Horn
3801 UNIVERSITY AVE SUITE 300
RIVERSIDE CA 92501

FORWARDED UNDER THE DIRECT REGULATION OF
DATE: EXP 08/31/24
MICHAEL P MADSEN PLA 5798

[illegible]

KINDER CARE SPECIFIC LANDSCAPING
PER SEPARATE REVIEW AND PERMIT

ROCKPORT ROAD

APPROXIMATE PROPERTY LINE:-

TREE SHADE INFORMATION

SIMUL		Q7*
	PARKING AREA	1.90 S.F.
	EFFECTIVE TREE SHADE	2.33 S.F. (MIN)

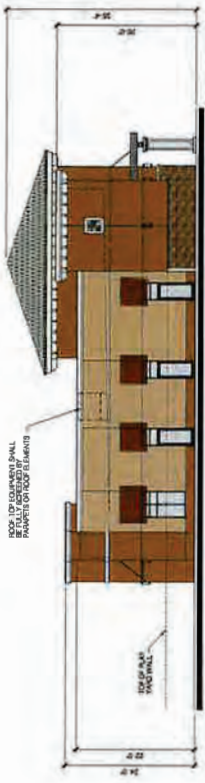
(SHADE CALC BASED ON) TREE AT 15' (6-8M MAXIMUM)

40% SHADE REDUCTION @ 170° S.F.

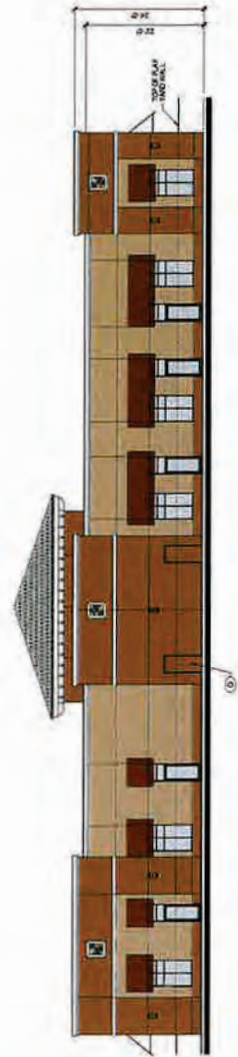
2.33 S.F. (MIN) OF SHADE PROVIDED BY 2 TIES @ 5 F. (MIN) REQUIRED

2 263 S.F. (43%) OF SHADE PROVIDED IS ≥ 2.115 S.F. (40%) REQUIRED

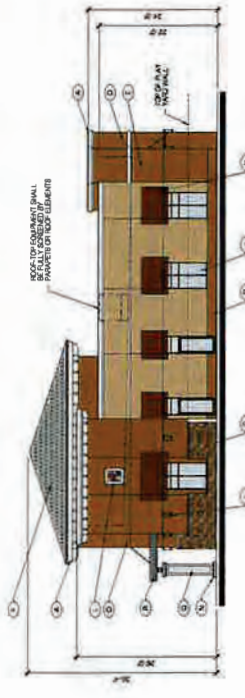
2022 CALIFORNIA BUILDING CODE DATA
 OCCUPANCY GROUP SEC. 305.2
 DIVISION 5 CONSTRUCTION (TABLE 506 & 507)
 MINIMUM WALL AREA PER LINEAL FOOT
 MINIMUM WINDOW AREA PER LINEAL FOOT
 ALLOWABLE ROOF-TO-WALL RATIO



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

EXTERIOR MATERIALS & FINISHES

- (A) CONCRETE & FINISH: CONCRETE SHALL BE CAST-IN-PLACE CONCRETE WITH A MINIMUM OF 4000 PSI COMPRESSIVE STRENGTH. CONCRETE SHALL BE FINISHED WITH A BROOM FINISH.
- (B) NOT USED
- (C) NOT USED
- (D) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (E) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (F) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (G) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (H) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (I) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (J) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (K) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (L) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (M) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (N) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (O) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (P) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (Q) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (R) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (S) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (T) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (U) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (V) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (W) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (X) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (Y) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.
- (Z) STONE: STONE SHALL BE NATURAL, UNFINISHED, AND MATCH THE COLOR TO THE SURROUNDING AREA.

SHOPPES at THE LAKES
 MENIFEE, CALIFORNIA

USS SLATON, LLC
 1225 CANYON CREST DRIVE
 RIVERSIDE, CA 92507
 951.760.0760

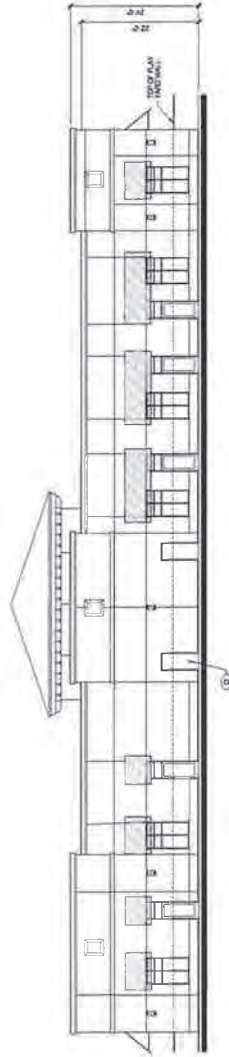
PAD F
 EXTERIOR ELEVATIONS
 PIERCE
 ARCHITECTS
 1000 N. GATEWAY BLVD.
 SUITE 100
 RIVERSIDE, CA 92507
 951.760.0760

0 5'-0" 10'-0" 21'-0"
 SCALE: 3/32" = 1'-0"

(A) CORNICE & TRIM—
COLOR TO MATCH DUPIN EDWARDS DE B226
"STUCCO TAN"

(B) NOT USED

- ### EAST ELEVATION

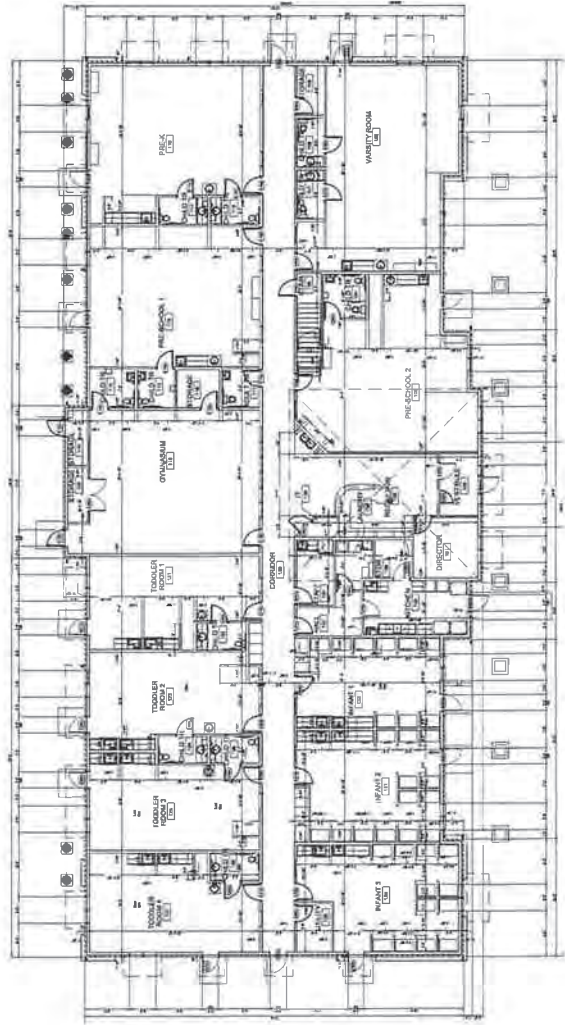


Architectural drawing of the 'Slovenian House' (Slovenska hiša) in Ljubljana, showing a cross-section and elevation. The drawing includes dimensions: 20.22m for the main body and 20.22m for the total width. It features a large central hall with a staircase, a kitchen, a dining area, and a living area. The drawing is labeled with 'SLOVENIAN HOUSE' and 'LJUBLJANA'.

SHOPPES at THE LAKES
MENIFEE, CALIFORNIA

0 5' 4" 10' 8" 21' 4"

SCALE: 3/32" = 1'-0"



DAYCARE FLOOR PLAN

SHOPPES at THE LAKES MENIFEE, CALIFORNIA

USS SLATON, LLC
 8228 CANYON CREST DRIVE
 RIVERSIDE, CA 92507
 951.784.0780

KPIERCE
 ARCHITECTS
 1000 W. 10TH STREET
 ANAHEIM, CA 92805
 714.771.1100
 KPIERCEARCHITECTS.COM

PAD F
FLOOR PLAN
 DRAWN BY: K. PIERCE
 DATE: 10/10/14

0 5'-0" 10'-0" 21'-0"
 SCALE: 3/8" = 1'-0"



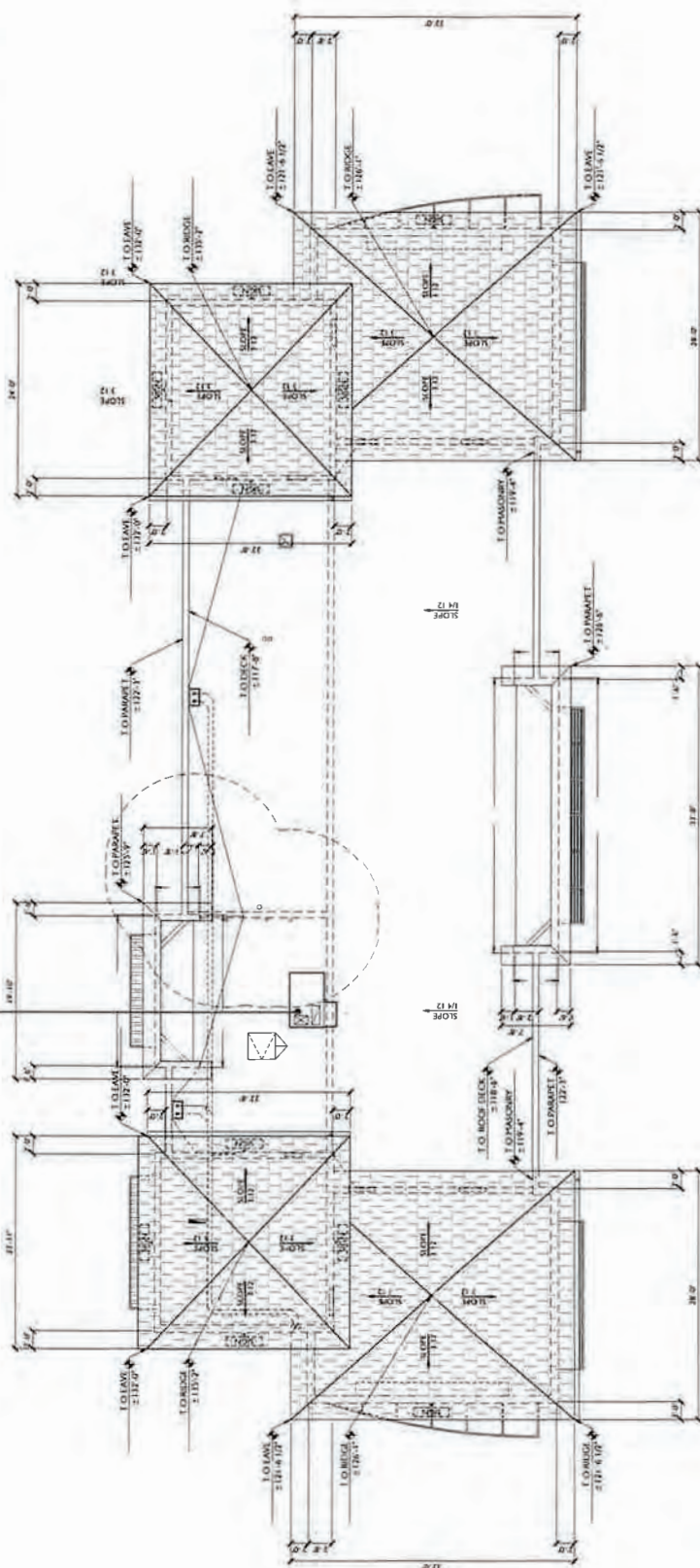
January 29, 2024
Menifee - CA 1026
130 W1 - Elevations and Materials
A23 Studios #22151

Applicant Information

Name: Tom R. Gerbo

Address: Sears Gerbo Architecture, LLC
4547 E Fort Lowell Road, Suite 421
Tucson, Arizona 85712

P: 520-722-5079 **E:** tgerbo@searsgerboarch.com



ROOF PLAN

 $3/16^{\circ} = 1^{\circ}$

FLOOR AREA CALCULATIONS

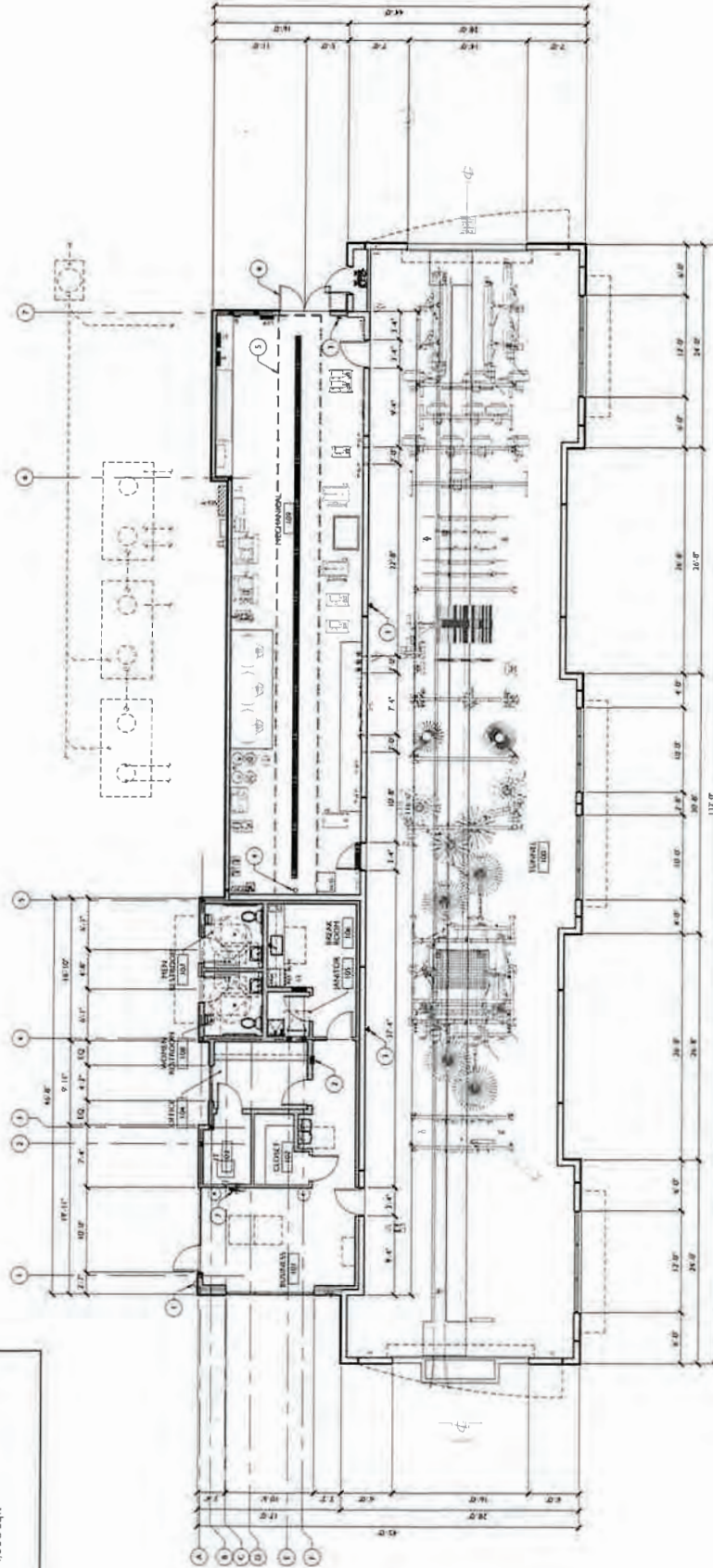
Total Floor Area - 5,381 sqft - 100%

100 Tunnel - 3,142 sqft
 101 Business - 313 sqft
 102 Closet - 46 sqft
 103 IT - 45 sqft
 104 Office - 95 sqft
 105 Janitor - 25 sqft
 106 Break Room - 132 sqft
 107 Mens Restroom - 52 sqft
 108 Womens Restroom - 52 sqft
 109 Mechanical - 1,098 sqft

TARE - 380 sqft

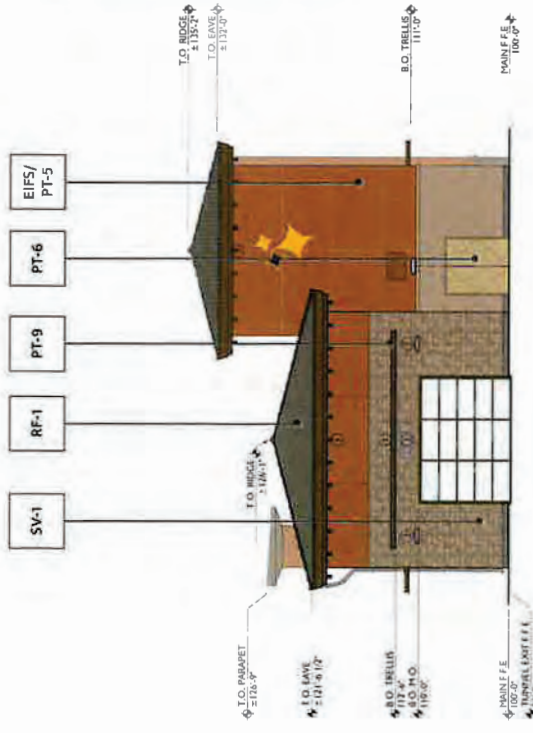
FLOOR PLAN KEYNOTES

1. PROVIDE LOCKS AND KEYS. REFERENCE ELEVATIONS FOR MORE INFORMATION.
2. STAINLESS STEEL RECESSED FIRE EXTINGUISHER CABINET TO FIT 2A.108.C FIRE EXTINGUISHER. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
3. 2A.108.C PORTABLE FIRE EXTINGUISHER SHALL BE MOUNTED NO HIGHER THAN 5'0" ABOVE FINISHED FLOOR. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
4. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
5. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
6. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
7. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
8. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
9. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
10. PROVIDE SCHED 40 WALL MOUNTED FIRE ALARM PULL STATION. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.



FLOOR PLAN

3/16" = 1'



3 CAR WASH TUNNEL EXIT ELEVATION

3/16" = 1'

MATERIAL TAKE OFF

Exterior Building Finishes - 8,154 sqft - 100%

A (SV-1) Natural Stone (Veneer) - 1,800 sqft - 22%

B (ALU) Stone Front and Glass - 511 sqft - 6%

C (EIFS) EIFS - 4,406 sqft - 54%

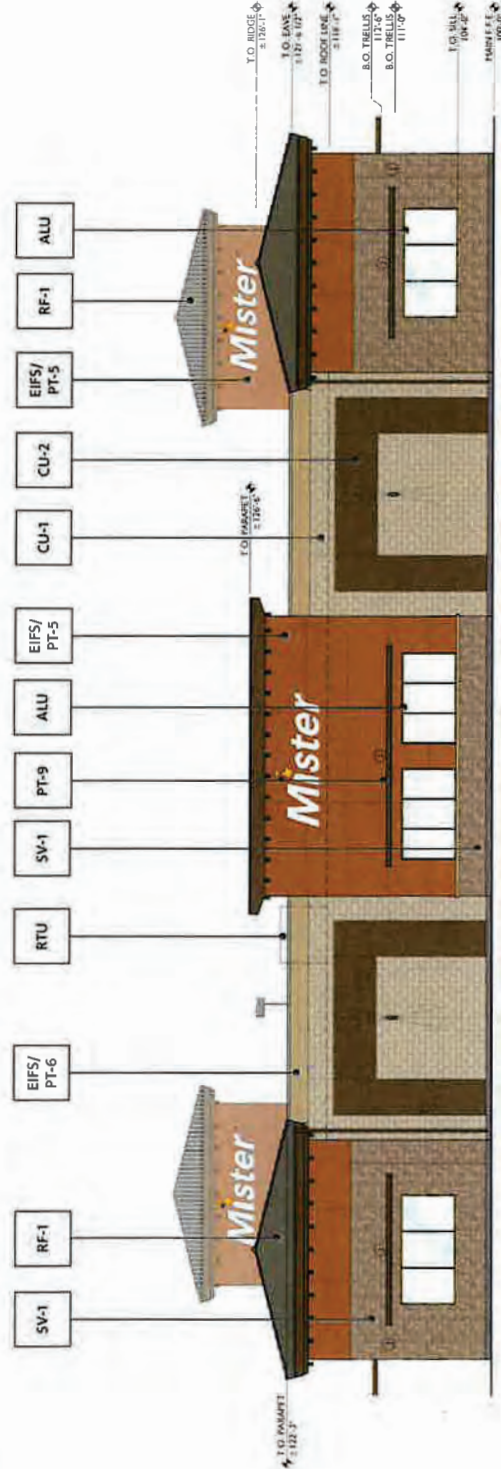
D (CU-1/2) CMU - 1,032 sqft - 13%

G Polycarbonate Overhead Doors - 312 sqft - 4%

H Painted Hollow Metal Doors - 93 sqft - 1%

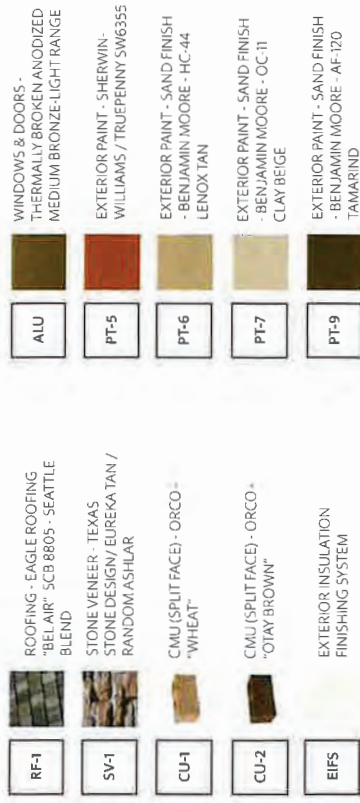
FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN/EUREKA TAN / RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN- WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO - "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
CU-2	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



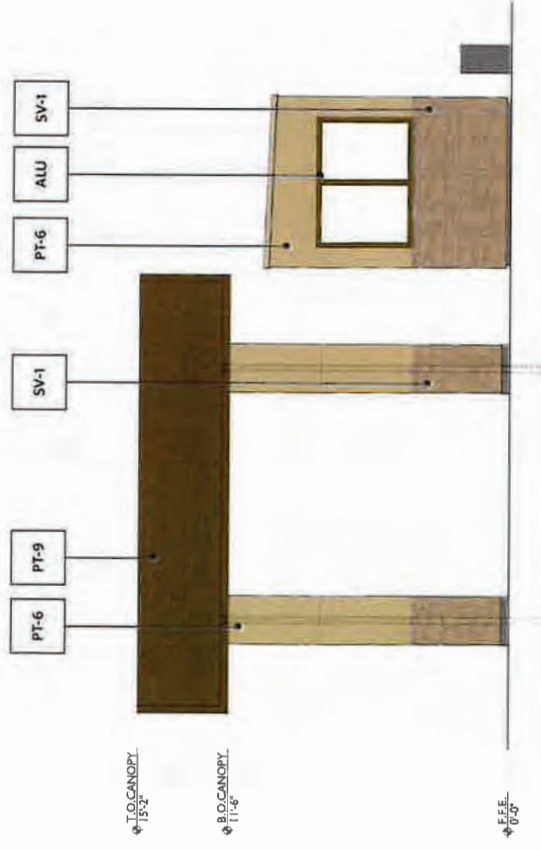
4 CAR WASH TUNNEL WALL ELEVATION

3/16" = 1'

 $3/16" = 1'$ 

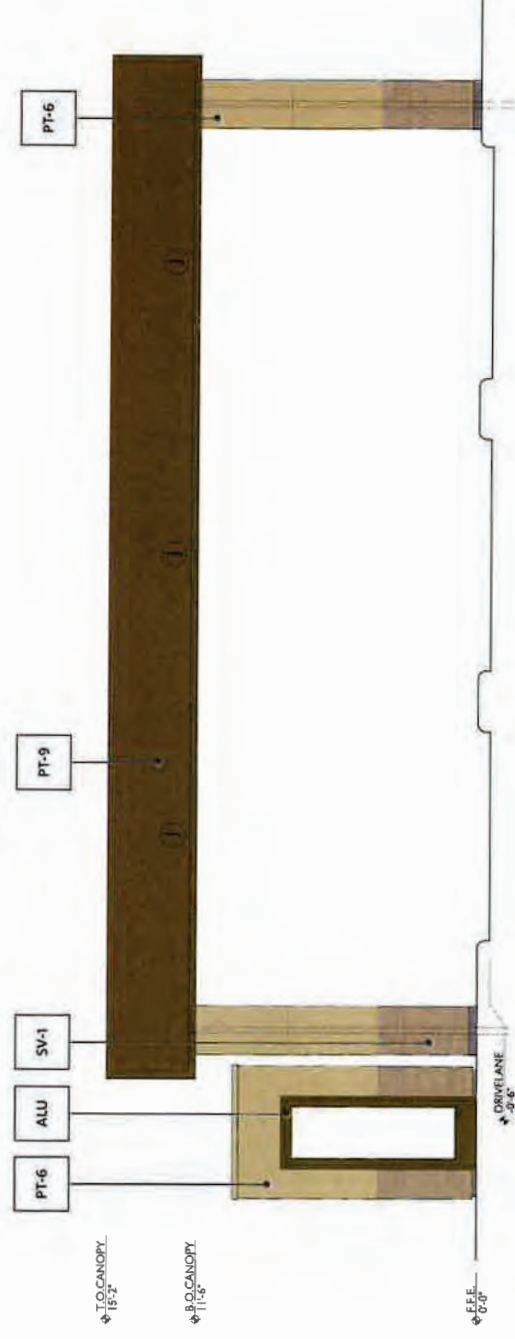
FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN/ EUREKA TAN / RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN- WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
CU-2	CMU (SPLIT FACE) - ORCO "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



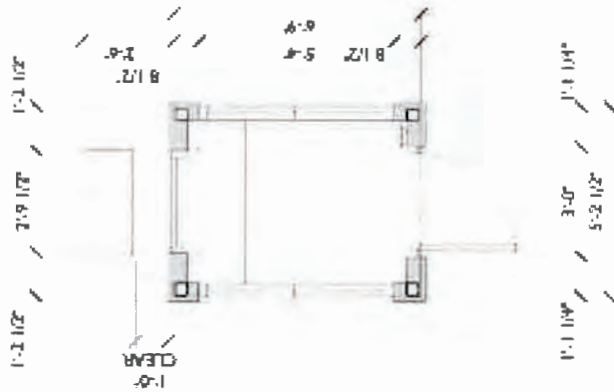
7 POS CANOPY SIDE ELEVATION

1/2" = 1'



8 POS CANOPY FRONT ELEVATION

1/2" = 1'



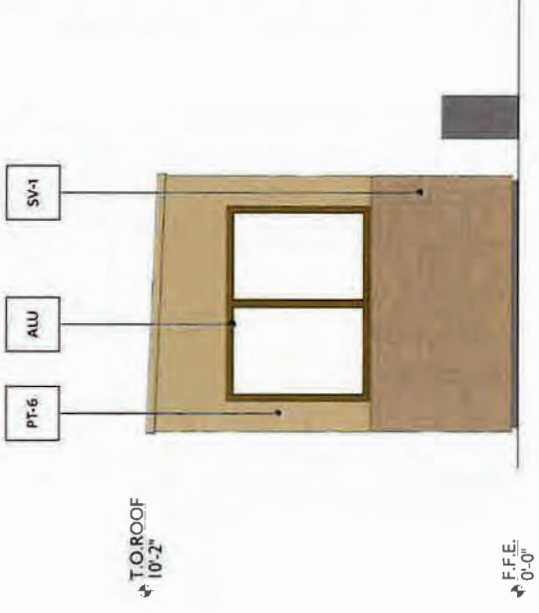
ATTENDANT SHELTER PLAN

9

3/4" = 1'

FINISH LEGEND

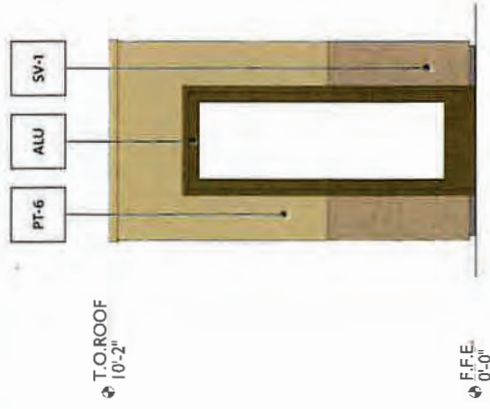
RF-1	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE - LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN- WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO - "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
CU-2	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



ATTENDANT SHELTER SIDE ELEVATION

10

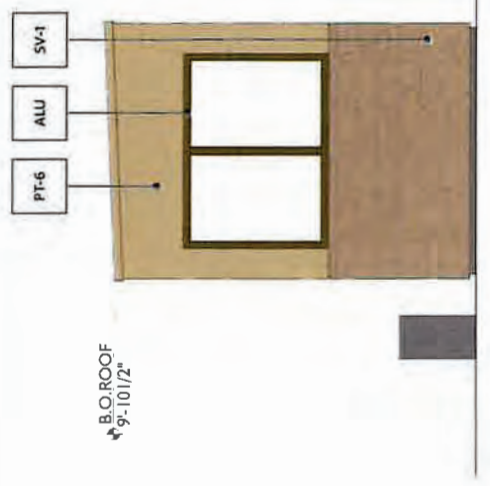
3/4" = 1'



ATTENDANT SHELTER FRONT ELEVATION

11

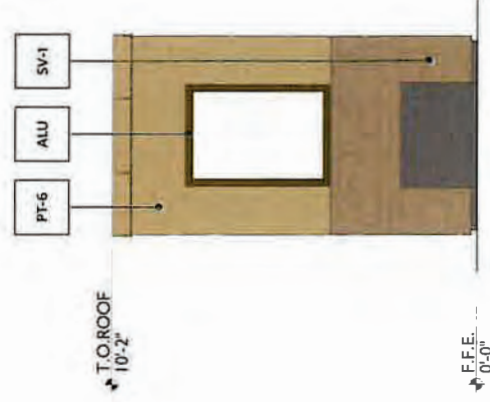
3/4" = 1'



ATTENDANT SHELTER SIDE ELEVATION

12

3/4" = 1'



ATTENDANT SHELTER READ ELEVATION

13

3/4" = 1'

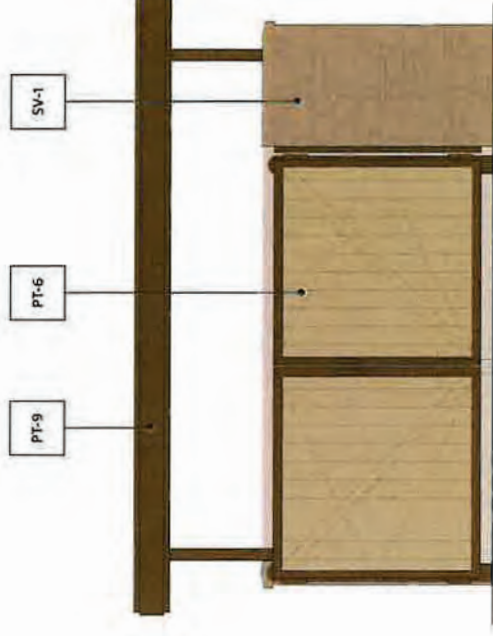
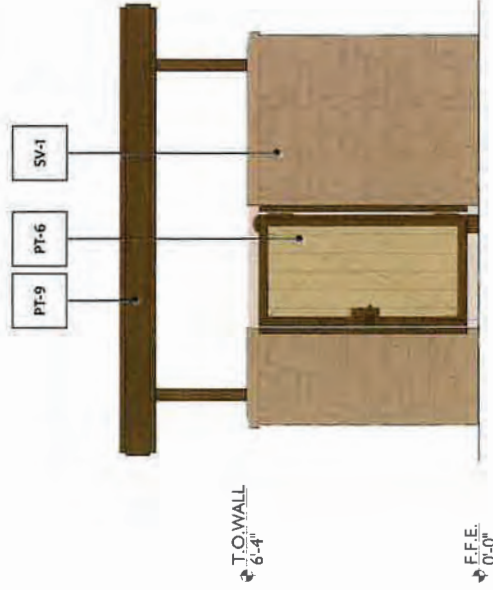


FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND	ALLU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE- LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN- WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO - "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
CU-2	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND

14 TRASH ENCLOSURE PLAN

3/4" = 1'

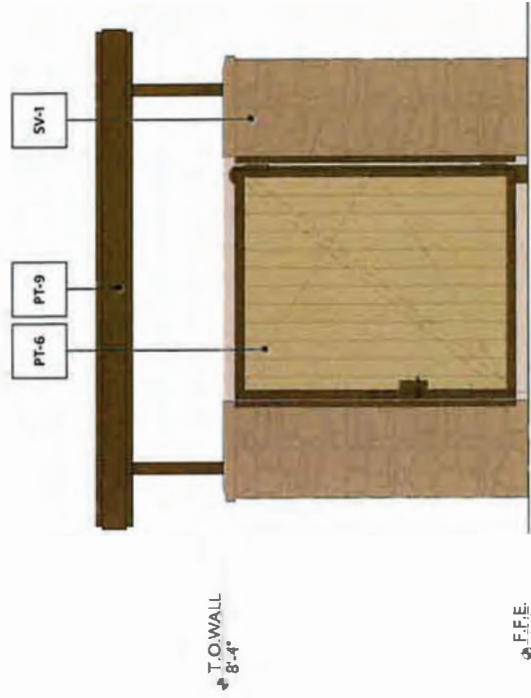


15 TRASH ENCLOSURE ELEVATIONS

3/4" = 1'

FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN - WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC 44 LENOXTAN
CU-2	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



VACUUM ENCLOSURE ELEVATIONS AND PLAN

16 3/4" = 1'-0"

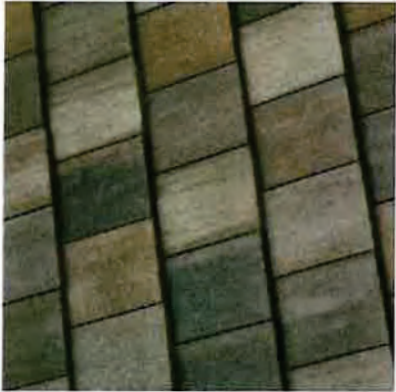
MATERIAL SAMPLE BOARD



CU-1: CMU (SPLIT FACE) - ORCO - "WHEAT"



CU-2: CMU (SPLIT FACE) - ORCO - "OTAY BROWN"



RF-1: ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND



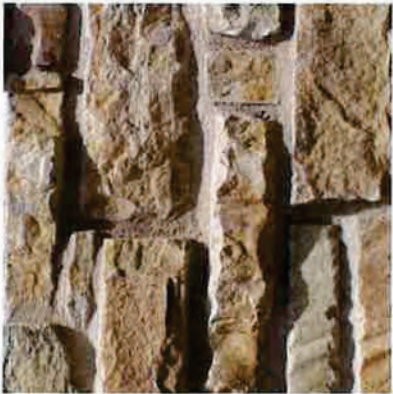
EIFS: EXTERIOR INSULATION FINISHING SYSTEM



ALU: WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE - LIGHT RANGE



PL-5: EXTERIOR PAINT - SHERWIN WILLIAMS - TRUEPENNY SW6355



SV-1: STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM ASHLAR



PL-2: EXTERIOR PAINT - BENJAMIN MOORE - OC-11 CLAY BEIGE



PL-6: EXTERIOR PAINT - BENJAMIN MOORE - HC-44 LENOX TAN



PL-9: EXTERIOR PAINT - BENJAMIN MOORE - AF-120 TAMARIND