



CITY OF MENIFEE

SUBJECT: Shoppes at the Lakes - Mister Car Wash and Day Care

MEETING DATE: February 28, 2024

TO: Planning Commission

PREPARED BY: Brandon Cleary, Associate Planner

REVIEWED BY: Orlando Hernandez, Deputy Community Development Director

APPROVED BY: Cheryl Kitzerow, Community Development Director

APPLICANT: Trevor Buhl, Mister Car Wash

RECOMMENDED ACTION

1. Determine the Project exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (“In-Fill Development Projects”) and direct staff to file a Notice of Exemption; and
2. Adopt a resolution approving Major Conditional Use Permit (PLN22-0288) and Major Plot Plan (PLN22-0289) for the Mister Car Wash and Day Care Development located in the existing Shoppes at the Lakes Commercial Center.

PROJECT DESCRIPTION

Major Conditional Use Permit (CUP) PLN22-0288 and Major Plot Plan (PP) PLN22-0289 proposes the construction of a new 5,434 square foot Express Car Wash (Mister Car Wash) with associated vacuum stalls and an 11,992 square foot Day Care with a 21,300 square foot play area (Project) within the existing Shoppes at the Lakes Commercial Center on the southeast corner of Newport Road and Menifee Road.

LOCATION

The Project site is located in the existing Shoppes at the Lakes Commercial Center within Planning Area (PA) 1 of the Menifee East Specific Plan No. 247 (SP-247) on the southeast corner of Newport Road and Menifee Road (APN’s: 364-390-009, 364-390-012, 364-390-010, and 364-390-011).

The proposed Mister Car Wash and Day Care buildings will be located in the southeast corner of the Shoppes at the Lakes Commercial Center adjacent to the existing retention basin and south of the CVS and Del Taco buildings.

Project Location



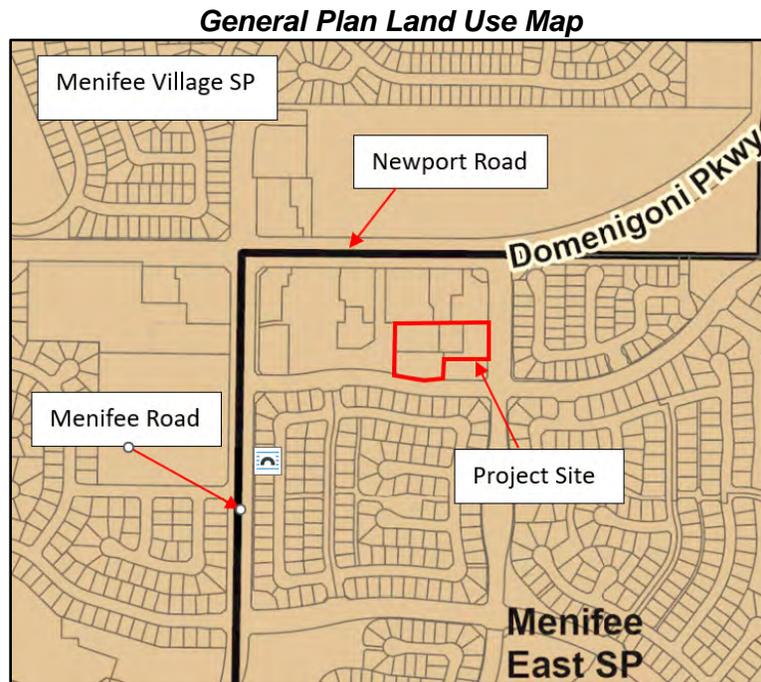
GENERAL PLAN/ZONE

General Plan

The General Plan designation for this project site is SP-247, PA 1, Commercial. PA 1 is intended for a mix of commercial uses intended to serve the community such as grocery, clothing, drug store, eating and service commercial establishments. Within the existing commercial center, a grocery store, drug store and multiple eating establishments are already constructed and in operation. The Project is consistent with SP-247 and the City of Menifee General Plan.

Zoning

The Zoning designation for PA 1 ties back to Riverside County Zoning Ordinance 348, Article IXb Scenic Highway Commercial. In this zone, a car wash use requires a CUP while a day care is a permitted use with approval of a PP. To the north and west, is the existing Shoppes at the Lakes Commercial Center within the same PA 1. To the east and south are existing single-family tracts within PA 4 and 2 respectively.

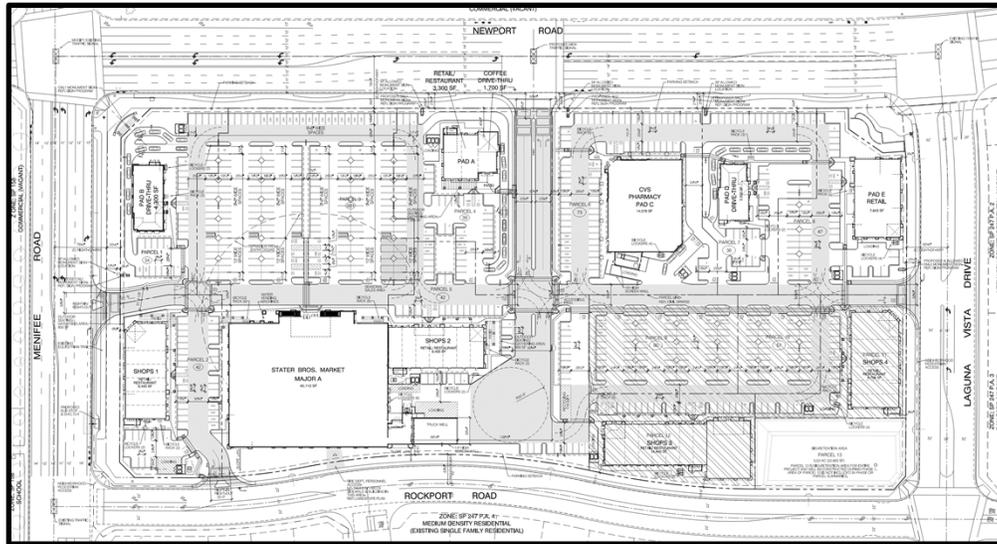


DISCUSSION

Background

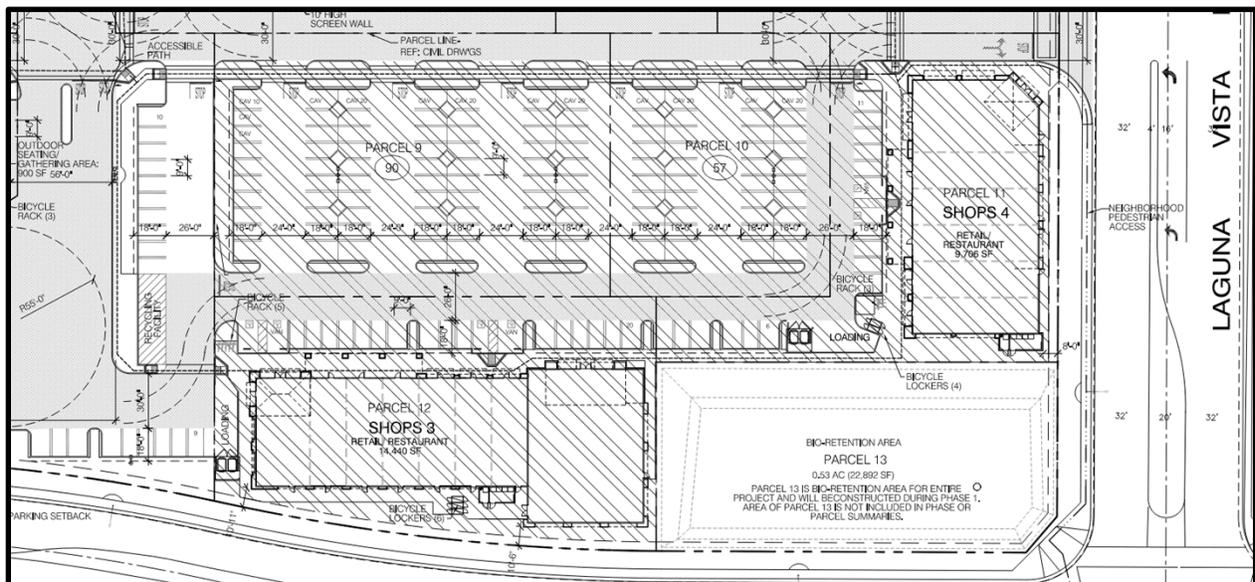
The proposed Project is to be constructed within the existing Shoppes at the Lakes Commercial Center. This shopping center was originally approved under PP No. 2014-092 on June 29, 2015 by the City of Menifee and included two phases of construction. Phase one included a Stater Bros grocery store, two Shops buildings, and five pad buildings of which four have drive-thrus (two are fast food, one is a coffee shop and one is a pharmacy). The Shops one building, intended for retail and restaurant uses, was not built and is currently a vacant pad. The second Shops building is attached to the Stater Bros building and constructed along with four of the five pad buildings. Pad A includes a Starbucks and dental office. Pads B, C and D include a McDonald's drive-thru, CVS Pharmacy and Del Taco drive-thru respectively. Pad E, located in the northeast corner of the center, is intended for retail and restaurant uses has not been constructed.

Original Site Plan



Phase two, located in the southeast corner of the Shoppes at the Lakes, originally included two additional shops buildings (Shops 3 at 14,440 square feet and Shops 4 at 9,706 square feet) and associated parking on the same parcels as the proposed Project. The anticipated uses were to include retail shops and restaurants.

Phase 2 Original Design (not constructed)



As part of the processing of the entitlement application, staff requested a market study on the area's capacity to have an additional car wash. The market study determined that the east side of I-215 was underserved with this type of commercial development and a car wash was a service needed in this area of the City. Furthermore, the addition of a car wash use and a day care will contribute to the development of the remaining vacant pad areas (Shop Building 1 and Pad E) as the uses will bring in additional foot and vehicular traffic to the overall center.

Site Plan, Access and Circulation

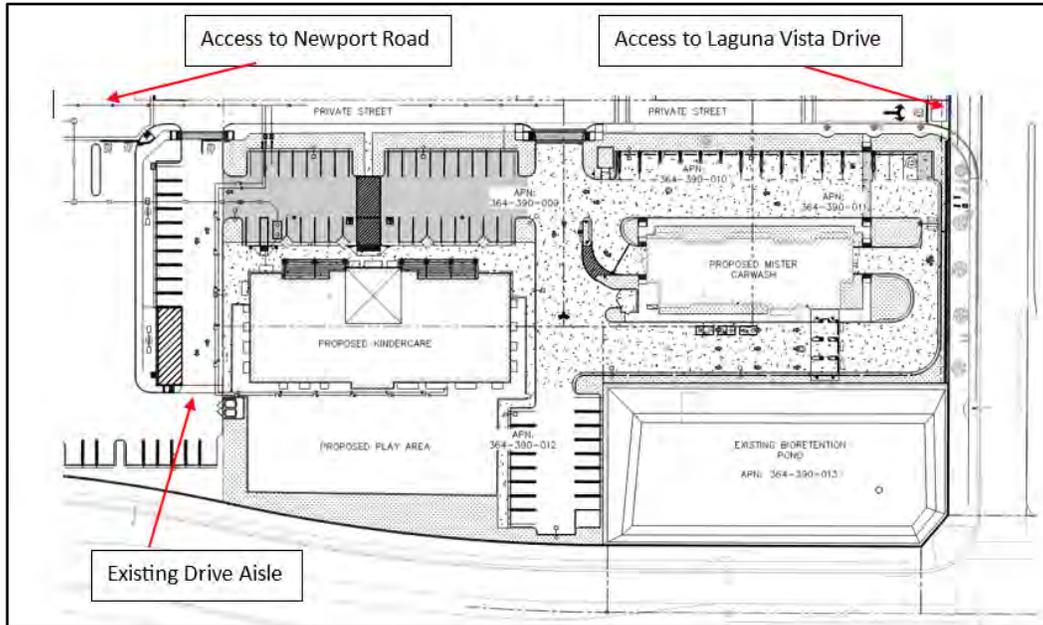
The Project will have access from Laguna Vista Drive to the east. The Shoppes at the Lakes Commercial Center provides access to Newport Road to the north, Menifee Road to the west and Rockport Road to the south. The Project is conditioned to provide reciprocal access to the rest of the center.

The proposed 5,436 square foot express car wash building is located north of the existing retention basin on the southeast corner of the center and will include 12 vacuum stalls (including one ADA compliant stall), three parking spaces and a three-lane drive-thru queue. The drive-thru queue will also include an employee kiosk and a traffic arm barrier to control vehicle traffic within the drive-thru lane. The express car wash is in compliance with the City of Menifee Municipal Code (MMC) as the Project will be located more than 150 feet from existing residential to the east and south. The building is proposed to be located a total of 206 feet from the nearest residential structure.

The 11,992 square foot Day Care building will be located west of the existing retention basin and Express Car Wash building, just south of the existing CVS Pharmacy within the Shoppes at the Lakes Center. The site will include the day care building, a 21,300 square foot playground area for the children in the rear of the building adjacent to Rockport Road.

The proposed Project site includes a total of 52 parking spaces not including the vacuum stalls dedicated for the car wash. The car wash site provides three spaces for employee parking along with 12 vacuum stalls for customers. One of the vacuum stalls is ADA compliant per 2022 California Building Code. The day care site includes 49 parking spaces, including two ADA compliant spaces and eight electric vehicle spaces. The day care site is required to have one space per two employees and every five children and is conditioned to provide a statement of operations when a day care user is chosen as attendance will be limited based on the number of spaces proposed.

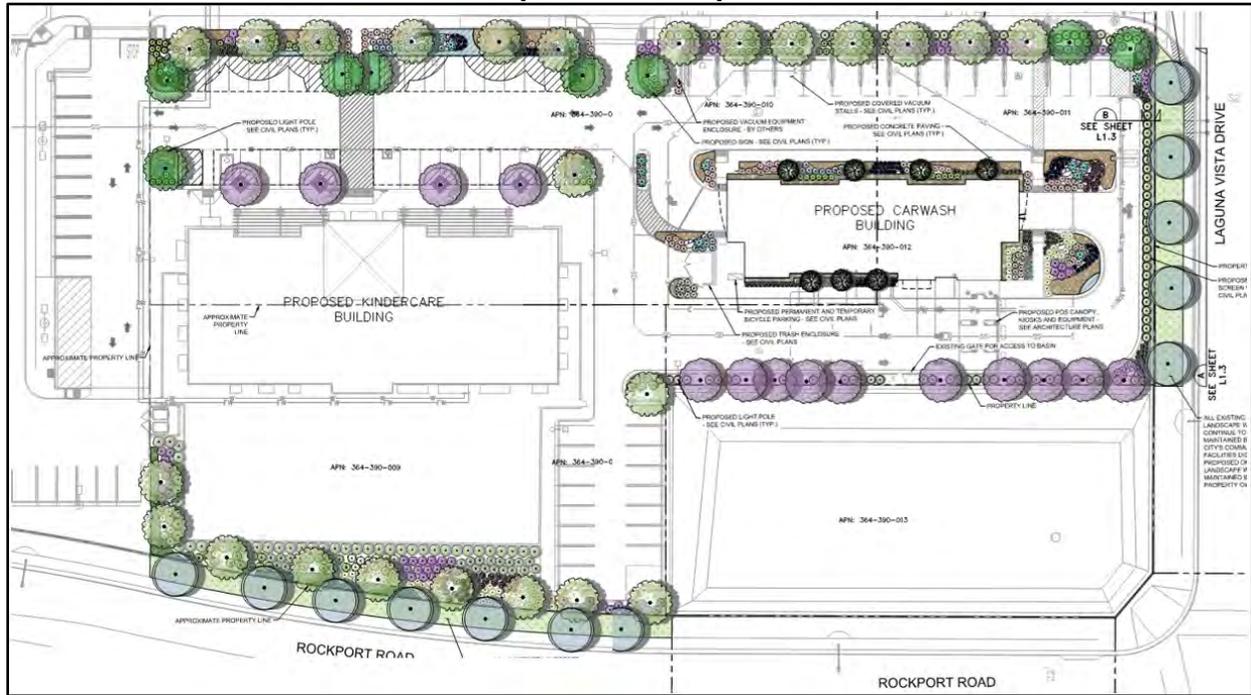
Site Plan



Landscaping and Screening

The Project will incorporate landscaping into the parking lots and areas surrounding each building per the MMC. Additional landscaping is proposed adjacent to the existing retention basin and between the playground area and Rockport Road for screening purposes. Existing landscaping surrounding the perimeter of the Shoppes at the Lakes Commercial Center will remain in place which includes trees, bushes and ground cover along Laguna Vista Drive and Rockport Road. The Project has been conditioned to provide additional landscaping within the southern parking lot adjacent to the day care playground area and the retention basin consistent with the MMC. The day care use has also been conditioned to provide fencing material details consistent with the MMC prior to building permit issuance. The Express Car Wash proposes an increase in height to an existing decorative retaining wall (from one foot to 4 feet) between the building and Laguna Vista Road to screen automobile headlights from impacting adjacent residences and traffic along adjacent roads. The retaining wall will be screened by bushes interior and exterior to the project site to limit the visual impact of a block wall and is conditioned to maintain the decorative element of the wall.

Conceptual Landscape Plan



Architecture

The Project reviewed for compliance with SP-247 and is compatible with the architecture of the adjacent commercial sites including the Stater Bros grocery store, CVS Pharmacy, Shops building and Del Taco. The structures will have a stucco exterior to match the existing structures while including similar colors, trim materials, roof gables, rock veneer and other decorative features. All rooftop mechanical equipment will be screened from view by a parapet and will not be visible from adjacent right-of-way.

North Elevation



South Elevation



East Elevation



West Elevation



ENVIRONMENTAL DETERMINATION

The Project is exempt from CEQA per Section 15332 “In-Fill Development Projects”. This exemption is for projects characterized as in-fill development meeting the following conditions: a) the Project is consistent with the applicable general plan designation and all applicable General Plan policies, as well as with applicable zoning designation and regulations; b) the proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses; c) the Project site has no value as habitat for endangered, rare or threatened species; d) approval of the Project would not result in any significant effects related to traffic, noise, air quality, or water quality; and e) the site can be adequately served by all required utilities and public services. The proposed Project is consistent with the applicable General Plan, Specific Plan and Zoning Designations for the project site along with any applicable development standards. The Project is located within the City of Menifee boundaries and is surrounded on the north and west by an existing commercial center and to the east and south by existing residential developments. The Project will not result in any impacts to traffic, noise, air quality or water quality as a traffic memorandum was prepared noting a traffic study is not required, existing residential is screened from the car wash by landscaping and a perimeter block wall around the adjacent residential sites, no hazardous materials are proposed on site affecting air quality, and the Project has prepared a water quality plan to tie into the existing commercial center’s approved Water Quality Management Plan from when it was approved by the City of Menifee in 2015. Additionally, the site will be served by all required utilities, including power, water, and sewer. Therefore, the proposed Project is categorically exempt from CEQA under Section 15332 “In-Fill Development Projects”.

FINDINGS

Findings for the Major CUP and Major PP are included in the attached Resolutions.

PUBLIC NOTICE

A public hearing notice for the proposed Project was published in *The Press Enterprise* on February 18, 2024 for the February 28, 2024 Planning Commission hearing. All relevant public agencies, including all interested parties, were notified of the public hearing as were all property owners within a 300-foot radius of the project site. On-site posting was also provided.

ATTACHMENTS

1. Project Exhibits
2. Resolution – CUP and PP
3. Exhibit A – Conditions of Approval
4. Public Hearing Notice

CONSULTANT
 VERY HIGH DENSITY RESIDENTIAL (VACANT)
 ZONE SP 247 P.A. 2

OWNER
USS SLATON, LLC
 1848 ARROYO DRIVE
 ALISO VIEJO, CA 92656
 P 949 344 2720

PROJECT
SHOPPES AT THE LAKES - PHASE II
 29101 NEWPORT ROAD
 MENEFEE, CA

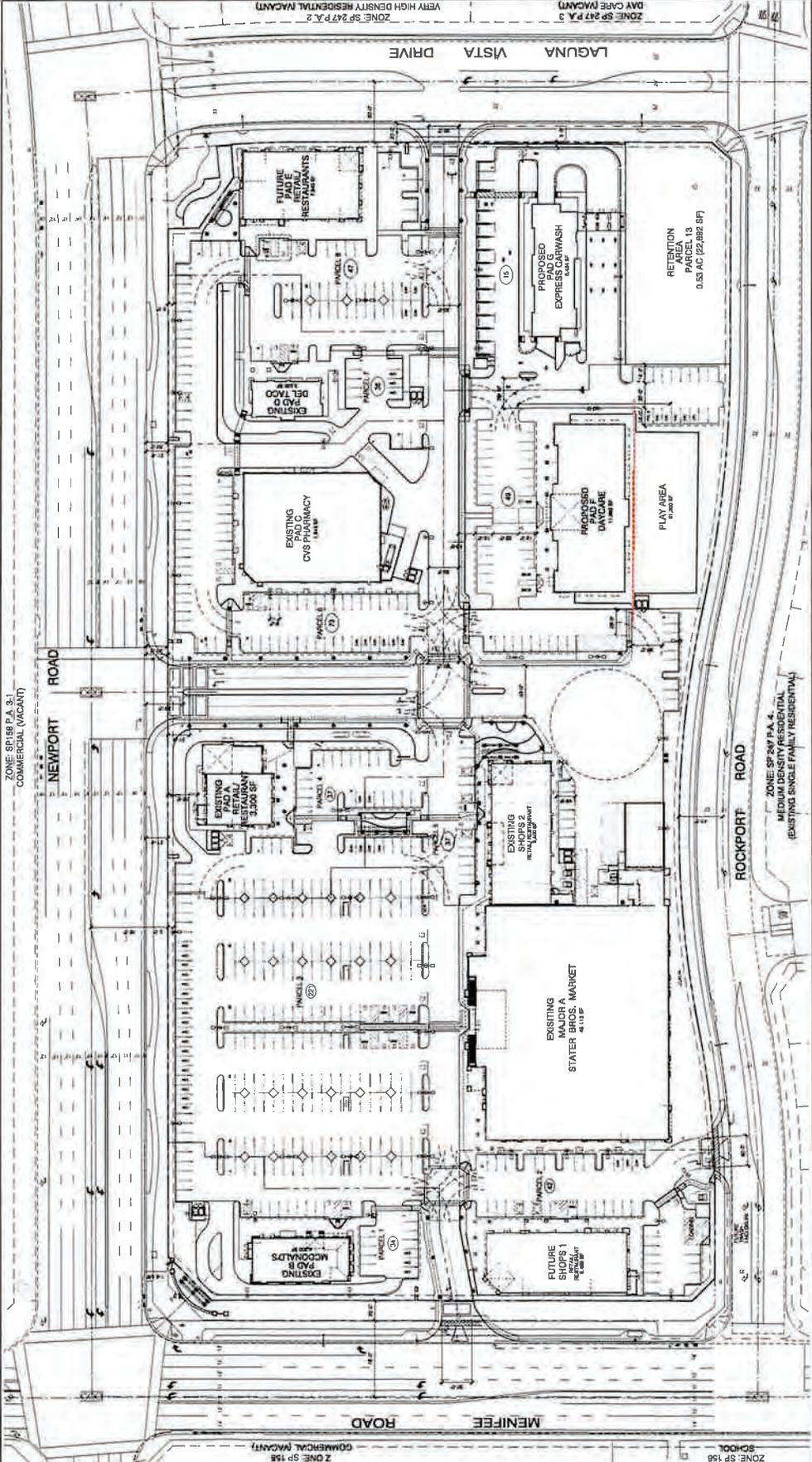
DATE
 11/20/2010

SCALE
 AS SHOWN

PROJECT #
 111111

DATE
 11/20/2010

OVERALL
 SITE PLAN
 SHEET #
SD1.0



LEGEND & SYMBOLS

1	EXISTING BUILDING FOOTPRINT
2	PROPOSED BUILDING FOOTPRINT
3	EXISTING DRIVEWAY
4	PROPOSED DRIVEWAY
5	EXISTING PARKING SPACE
6	PROPOSED PARKING SPACE
7	EXISTING DRIVE
8	PROPOSED DRIVE
9	EXISTING SIDEWALK
10	PROPOSED SIDEWALK
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12	PROPOSED CURB
13	EXISTING LANDSCAPE
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433</	

SITE DATA

DEVELOPER/APPLICANT

PLAN PREPARED BY
 JAMES HORN AND ASSOCIATES
 1001 S. GARDEN AVENUE, SUITE 100
 RIVERSIDE, CA 92501
 (951) 513-7868

SITE ADDRESS
 LAGUNA VISTA DRIVE
 MENEFEE, CA 92584

APN
 38-100-029

ZONING DISTRICT
 M-1 (COMMERCIAL)

LOT AREA
 43,818 SF (1.0726 ACRES)

EXISTING USE
 DAY-CARE CENTER

PROPOSED ZONING
 COMMERCIAL

FLOOD ZONE
 NONE

BUILDING CLASSIFICATION
 BUILDING AREA
 11,375 SF

PARKING SPACES
 43 PROPOSED

BUILDING SETBACKS
 N 0'
 S 0'
 E 0'
 W 0'

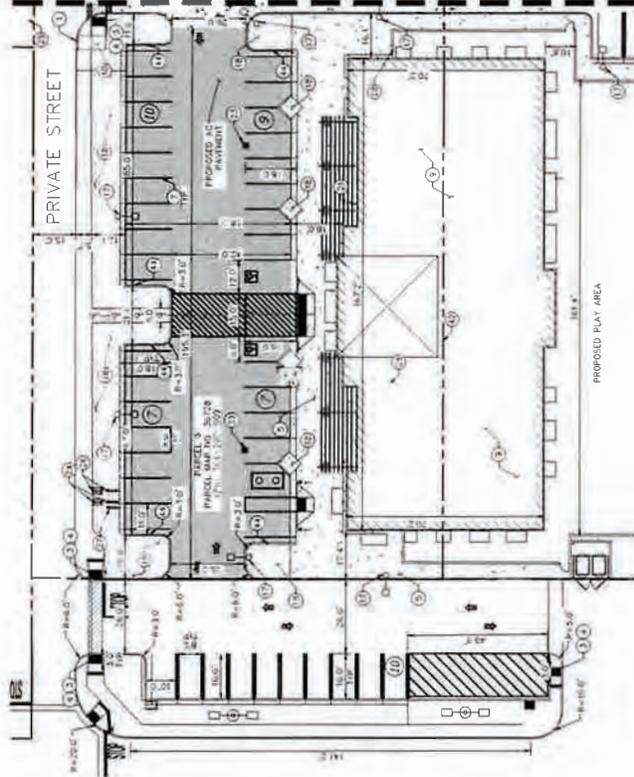
NOTE: ALL SETBACKS TO BE
 LANDSCAPE PLANTING AREAS

LEGEND

- PROPERTY LINE
- CENTER LINE
- HIGH-RISE-RAIL LINE
- APPROXIMATE PROPERTY LINE
- APPROXIMATE RIGHT OF WAY LINE
- PROPOSED 6" CONCRETE CURB
- EXISTING 6" CONCRETE CURB
- SIGN POST
- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
- PARKING COUNT
- PROPOSED SITE LIGHTING
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LANDSCAPE/PLANTER AREA
- PROPOSED DETECTABLE WARNING
- PROPOSED AC PAVEMENT
- SECURED PLANTING PATTERNS TO MATCH EXISTING CENTER

CONSTRUCTION NOTES

- 1) INSTALL 6" VERTICAL CURB
- 2) INSTALL 6" CONCRETE CURB
- 3) INSTALL 6" CURB WITH DETECTABLE WARNING, 3" WIDE PER CBC 11B-247
- 4) INSTALL CURB BUMP PER CBC 11B-247 WITH DETECTABLE WARNING, 3" WIDE PER CBC 11B-247 WHERE SHOWN
- 5) INSTALL CONCRETE PAVEMENT PER WALKWAY STANDARDS AND SPECIFICATIONS
- 6) INSTALL TRUCK DRAIN WITH EXT. 50A PER METER CARWASH STANDARDS AND SPECIFICATIONS
- 7) INSTALL PARKING STALL STRIPING PER CITY OF MENEFEE STANDARDS
- 8) INSTALL DIRECTIONAL TRAFFIC ARROW PER GREENBOOK STANDARDS
- 9) PROPOSED BUILDING, REFER TO ARCHITECTURAL PLANS FOR TENANT IMPROVEMENT
- 10) INSTALL NEW CONCRETE SIDEWALK PER WALKWAY STANDARDS AND SPECIFICATIONS
- 11) INSTALL ACCESSIBLE PAVEMENT MARKING AND ACCESSIBLE PER CBC 11B-502
- 12) INSTALL ACCESSIBLE PARKING SIGN PER CBC 11B-502 FOR ADDITIONAL DETAILS
- 13) PROPOSED VACUUM ENCLOSURE, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS
- 14) PROPOSED FOG, CANOPY AND EQUIPMENT, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS
- 15) PROPOSED TRASH ENCLOSURE, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS
- 16) PROPOSED VACUUM, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS
- 17) PROPOSED LIGHT POLE
- 18) PROPOSED LANDSCAPE
- 19) PROPOSED BALCONY GATE
- 20) INSTALL WHEEL STOPS
- 21) PROPOSED PERMANENT AND TEMPORARY BICYCLE PARKING
- 22) PROPOSED STORM DRAIN
- 23) PROPOSED STORM DRAIN INLET
- 24) PROPOSED DOMESTIC WATER METER WITH BACK FLOW PREVENTER
- 25) PROPOSED "NO HOT ENTER" SIGN
- 26) PROPOSED IRRIGATION METER VALVE WITH BACK FLOW PREVENTER
- 27) PROPOSED FIRE WALKER BACK FLOW PREVENTER
- 28) EXISTING STORM DRAIN MANHOLE
- 29) EXISTING STORM DRAIN MANHOLE
- 30) EXISTING WATER BACK FLOW PREVENTER
- 31) EXISTING FINE MESH
- 32) EXISTING SANITARY SEWER MANHOLE
- 33) EXISTING 6" HIGH THROUGH IRON FENCE
- 34) EXISTING LIGHT POLE
- 35) EXISTING WATER METER BOX
- 36) EXISTING 1" HIGH BLOCK WALL TO REMAIN
- 37) EXISTING ELECTRIC CABINET FOR EXISTING STORM DRAIN UP STATION
- 38) EXISTING STORM DRAIN OUTLET
- 39) EXISTING DETENTION POND
- 40) EXISTING SIDEWALK RAMP
- 41) EXISTING LOT LINE TO BE REMOVED
- 42) THROUGHLOT WALKER
- 43) INSTALL 6" CURB AND GUTTER
- 44) INSTALL 12" WALK OFF CURB



MATCHLINE - SEE SHEET C1.0

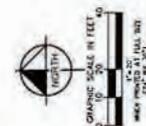


LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENEFEE IN THE COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCELS 10 AND 11, INCLUSIVE, OF PARCEL MAP NO. 30728 IN THE CITY OF MENEFEE COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 PARCELS 10 AND 11, INCLUSIVE, OF PARCEL MAP NO. 30728 IN THE CITY OF MENEFEE COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
 EXCEPT WHEREIN A 50% INTEREST IN AND TO ALL GAS, MINERALS AND HYDROCARBON RESOURCES LING BELOW A DEPTH OF 200 FEET, WITHOUT THE PORT OF SURFACE ENTRY, AS DESCRIBED BY THE CORPORATION LATER-DATED DEEDS A CALIFORNIA CORPORATION, BY DEED RECORDED JANUARY 26, 1983 AS INSTRUMENT NO. 15899 OF OFFICIAL RECORDS.

PROJECT DESCRIPTION:

PROPOSED 11,375 SF DAYCARE FACILITY ON A 4.0787 AC PARCEL, THAT IS LOCATED IN THE SHOPS AT THE LAKES SOCIAL RECREATION FACILITY WILL INCLUDE INSTALLATION OF 10,375 SF OF AC PAVEMENT, 43 CONCRETE PAVEMENT, 10 PARKING STALLS WITH BICYCLEWASH, LANDSCAPE, UTILITIES AND SIGNAGE.



CITY OF MENEFEE
 ENGINEERING DEPARTMENT
 CA 1026 NEWPORT MISTER CAR WASH
 MAJOR PLOT PLAN PLN22-0289
 PRELIMINARY SITE PLAN



DATE	BY	REVISION

SCALE: 1" = 20'

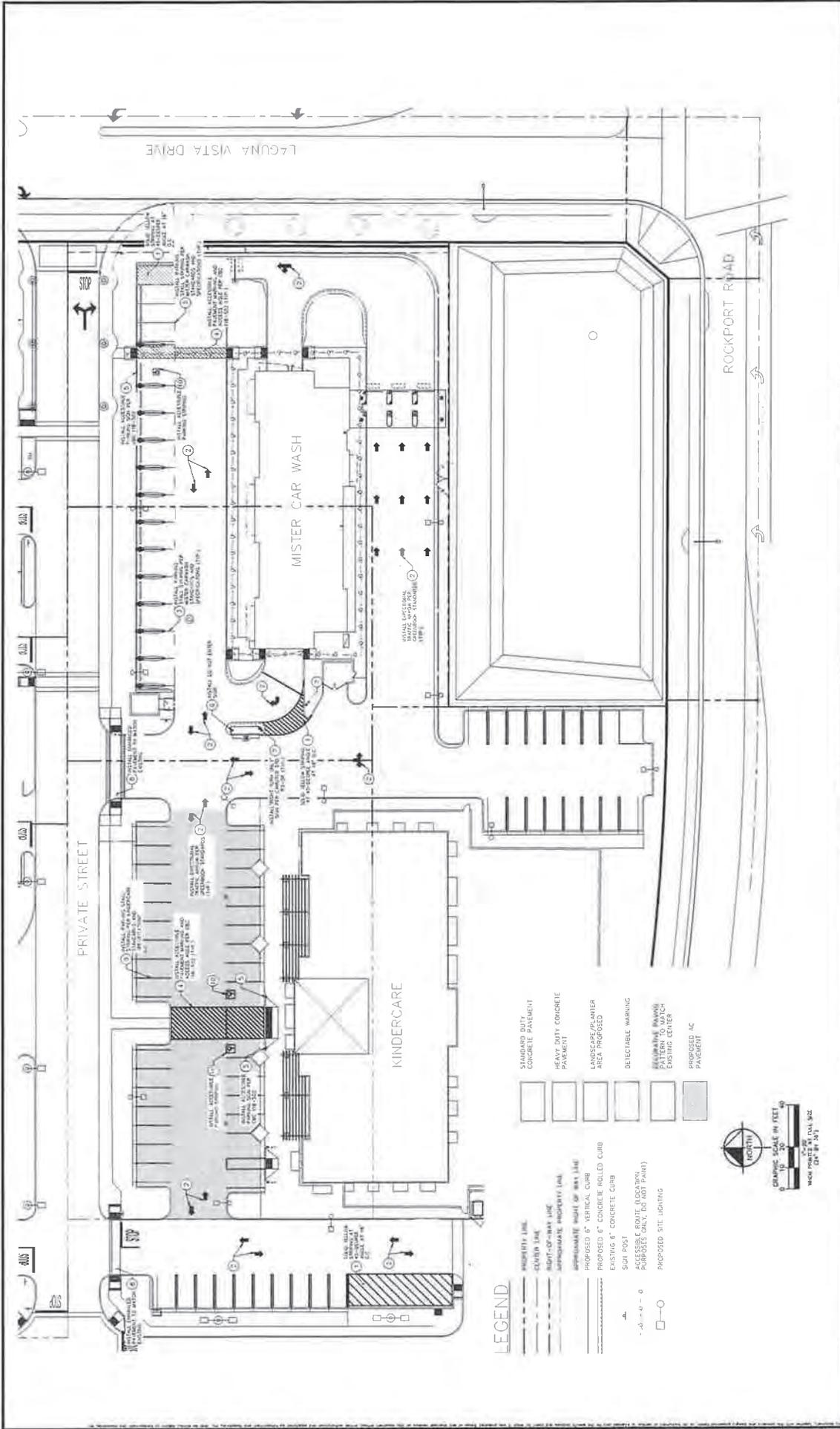
DESIGNED BY: JPH

CHECKED BY: JPH

DATE: 12/31/24

Kimley-Horn
 30111 BOLLAS ROAD, SUITE 500
 RIVERSIDE, CA 92503
 PREPARED UNDER THE DIRECT SUPERVISION OF
 JOHN POLLOCK, P.E. NO. 86160 DATE: 12/31/24

1-800-277-2669



SHEET NO. **C1.2**
3 of 12
PROJECT NO. **DEV2022-027**

CITY OF MENIFEE
ENGINEERING DEPARTMENT
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN PLN22-0269
PRELIMINARY STRIPING PLAN

SCALE: 1" = 30'

DESIGN: MF
DRAWN: MF
CHECKED: JF
APPROVED: JF

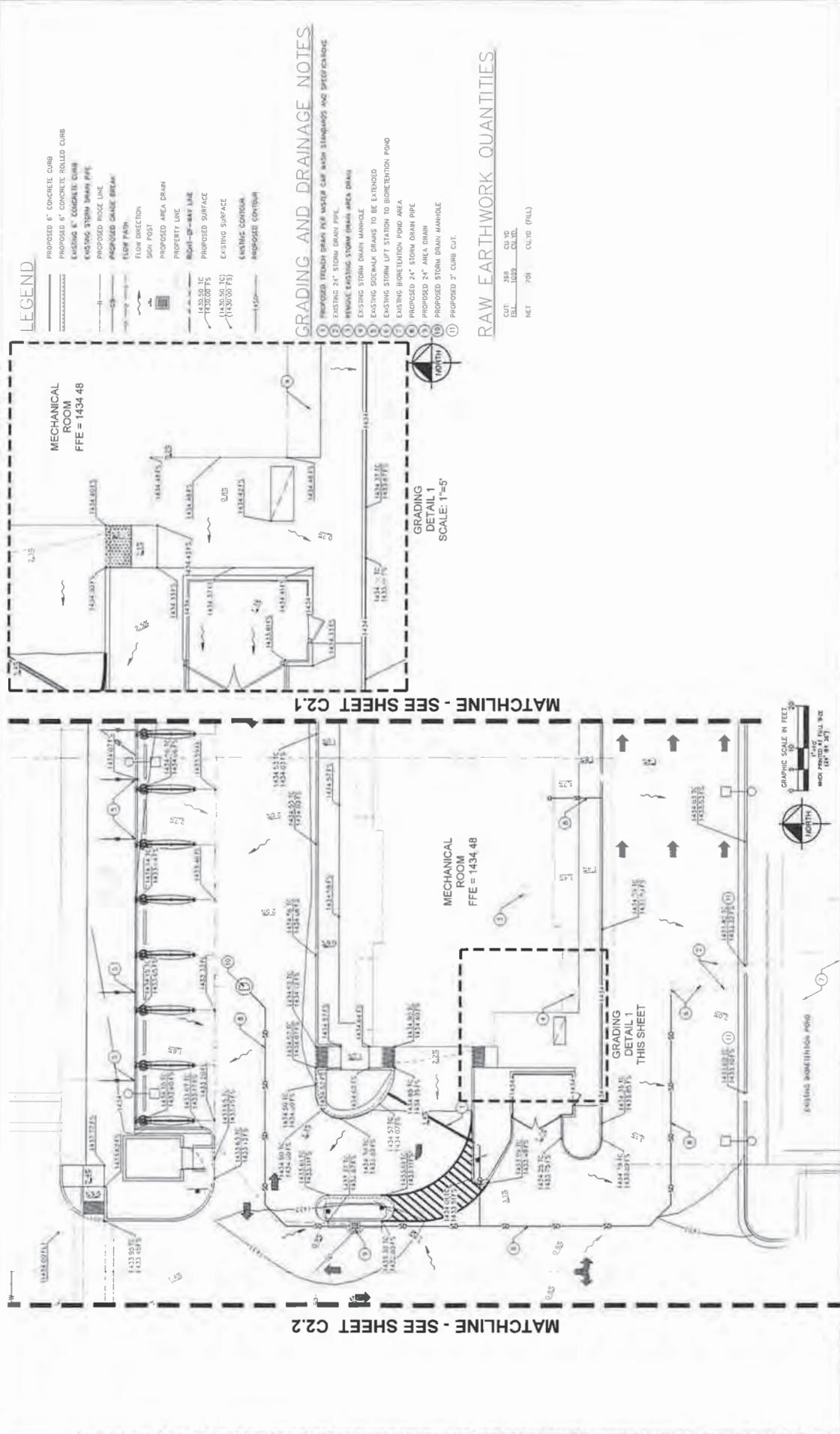
SUBMITTAL LOG

DATE	BY	DESCRIPTION
		PRELIMINARY SUBMITTAL #1
		FINAL SUBMITTAL #2
		FINAL SUBMITTAL #3
		FINAL SUBMITTAL #4

Kimley-Horn
380 UNIVERSITY AVENUE, SUITE 300
MENIFEE, CALIFORNIA 92554
PROPOSED UNDER THE DIRECT SUPERVISION OF
DATE: 07/17/24 EXP: 12/31/24
JOHN BOLLOCK, P.E. 107 80100

REVISIONS

NO.	DATE	BY	DESCRIPTION



LEGEND

- PROPOSED 6" CONCRETE CURB
- PROPOSED 6" CONCRETE ROLLED CURB
- EXISTING 6" CONCRETE CURB
- EXISTING STORM DRAIN PIPE
- PROPOSED ROOF LINE
- PROPOSED GRADE BREAK
- FLOW PATH
- FLOW DIRECTION
- SIGN POST
- PROPOSED AREA DRAIN
- PROPERTY LINE
- Right-of-Way LINE
- PROPOSED SURFACE
- EXISTING SURFACE
- EXISTING CONTOUR
- Proprietary Contour

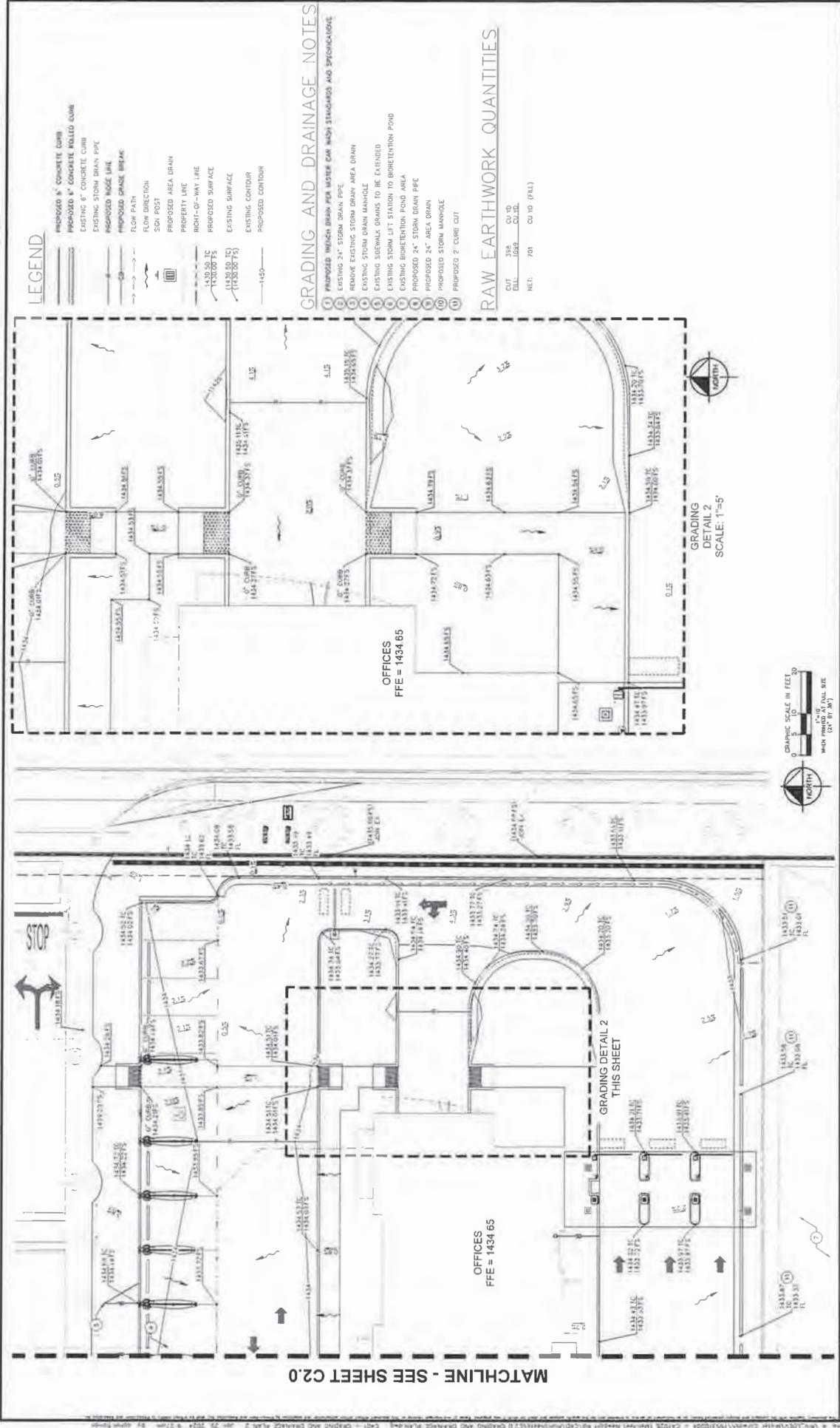
GRADING AND DRAINAGE NOTES

1. PROPOSED TRENCH GRAIN FOR W/OD CURB WITH STAIRWAYS AND STAIRLANDINGS
2. EXISTING 24" STORM DRAIN PIPE
3. REMOVE EXISTING STORM DRAIN AREA GRAIN
4. EXISTING STORM DRAIN MANHOLE
5. EXISTING SIDEWALK DRAINAGE TO BE EXTENDED
6. EXISTING STORM LIFT STATION TO BI-ORIENTATION POND
7. EXISTING BI-ORIENTATION POND AREA
8. PROPOSED 24" STORM DRAIN PIPE
9. PROPOSED 24" AREA DRAIN
10. PROPOSED STORM DRAIN MANHOLE
11. PROPOSED 2" CURB CUT

RAW EARTHWORK QUANTITIES

CUT	109	0.00	0.00
FILL	1092	0.00	0.00
NET	798	0.00	0.00

	<p>CITY OF MENIFEES ENGINEERING DEPARTMENT CA 1026 NEWPORT MISTER CAR WASH MAJOR PLOT PLAN PL122-0289 PRELIMINARY GRADING AND DRAINAGE PLAN</p>	<p>SHEET NO. C2.0 4 of 12 PROJECT NO. DEV2022-027</p>																		
	<p>Kimley-Horn PROFESSOR OF CIVIL ENGINEERING REGISTERED UNDER THE DIRECT SUPERVISION OF JOHN POLLOCK, R.C.E. NO. 86160 DATE EXP. 12/31/24</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>BY</td> <td>DESCRIPTION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	BY	DESCRIPTION															
DATE	BY	DESCRIPTION																		
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DESIGNED BY</td> <td>SUBMITTAL NO.</td> </tr> <tr> <td>CHECKED BY</td> <td>REVISION #</td> </tr> <tr> <td>APPROVED BY</td> <td>DATE</td> </tr> </table>	DESIGNED BY	SUBMITTAL NO.	CHECKED BY	REVISION #	APPROVED BY	DATE	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>SCALE</td> <td>1" = 10'</td> </tr> <tr> <td>SECTION</td> <td> </td> </tr> <tr> <td>DRAWN</td> <td> </td> </tr> <tr> <td>CHECKED</td> <td> </td> </tr> <tr> <td>APPROVED</td> <td> </td> </tr> <tr> <td>DATE</td> <td> </td> </tr> </table>	SCALE	1" = 10'	SECTION		DRAWN		CHECKED		APPROVED		DATE	
DESIGNED BY	SUBMITTAL NO.																			
CHECKED BY	REVISION #																			
APPROVED BY	DATE																			
SCALE	1" = 10'																			
SECTION																				
DRAWN																				
CHECKED																				
APPROVED																				
DATE																				



LEGEND

- PROPOSED 4" CONCRETE CURB
- PROPOSED 4" CONCRETE COBB
- EXISTING 4" CONCRETE CURB
- EXISTING 24" STORM DRAIN PIPE
- PROPOSED 24" STORM DRAIN PIPE
- PROPOSED GRADE INFILL
- FLOW DIRECTION
- SOA POST
- PROPOSED AREA DRAIN
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED SURFACE
- EXISTING SURFACE
- EXISTING CONTOUR
- PROPOSED CONTOUR

GRADING AND DRAINAGE NOTES

- 1 PROPOSED 4" CONCRETE CURB PER AREA DRAIN
- 2 REMOVE EXISTING 24" STORM DRAIN AREA DRAIN
- 3 REMOVE EXISTING 24" STORM DRAIN AREA DRAIN
- 4 EXISTING 24" STORM DRAIN AREA DRAIN
- 5 EXISTING 24" STORM DRAIN MANHOLE
- 6 EXISTING 24" STORM DRAIN LEFT STATION TO BORERETENTION POND
- 7 EXISTING BORERETENTION POND AREA
- 8 PROPOSED 24" STORM DRAIN PIPE
- 9 PROPOSED 24" AREA DRAIN
- 10 PROPOSED 24" STORM DRAIN MANHOLE
- 11 PROPOSED 2" CURB CUT

RAW EARTHWORK QUANTITIES

CUT	336	CU YD
FILL	1089	CU YD
NET	753	CU YD (FILL)

CITY OF MENIFEE
ENGINEERING DEPARTMENT
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN LN22-0289
PRELIMINARY GRADING AND DRAINAGE PLAN

SHEET NO.
C2.1
5 OF 12
PROJECT NO. DE/2022-027

SCALE: 1" = 5'
GRAPHIC SCALE IN FEET
0 5 10 20
MAY 2022

DATE: 05/11/2022
DRAWN BY: JH
CHECKED BY: JH
APPROVED BY: JH
DATE: 05/11/2022

PROJECT NO.: 2022-027
SHEET NO.: C2.1
DATE: 05/11/2022

PROJECT NO.: 2022-027
SHEET NO.: C2.1
DATE: 05/11/2022

MATCHLINE - SEE SHEET C2.0

GRADING DETAIL 2
THIS SHEET

OFFICES
FFE = 1434.65

OFFICES
FFE = 1434.65

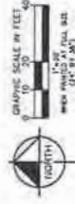
GRADING
DETAIL 2
SCALE: 1"=5'

LEGEND

- PROPOSED 6" CONCRETE CURB
- EXISTING 6" CONCRETE CURB
- EXISTING STORM DRAIN PIPE
- PROPOSED EDGE LINE
- PROPOSED GRADE BREAK
- 500# POST
- PROPOSED AREA DRAIN
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED SURFACE
- EXISTING SURFACE
- EXISTING CONTOUR
- PROPOSED CONTOUR

GRADING AND DRAINAGE NOTES

1. PROPOSED TRENCH DRAIN PER MISTER CAR WASH STANDARDS AND SPECIFICATIONS
2. EXISTING 24" STORM DRAIN PIPE
3. REMOVE EXISTING STORM DRAIN AREA DRAIN
4. EXISTING STORM DRAIN MANHOLE
5. EXISTING STORM DRAIN MANHOLE TO BE EXTENDED
6. EXISTING STORM DRAIN MANHOLE TO BE MAINTAINED
7. EXISTING ROSEBUD FLOOD AREA
8. PROPOSED 24" STORM DRAIN PIPE
9. PROPOSED 24" AREA DRAIN
10. PROPOSED 30" STORM MANHOLE



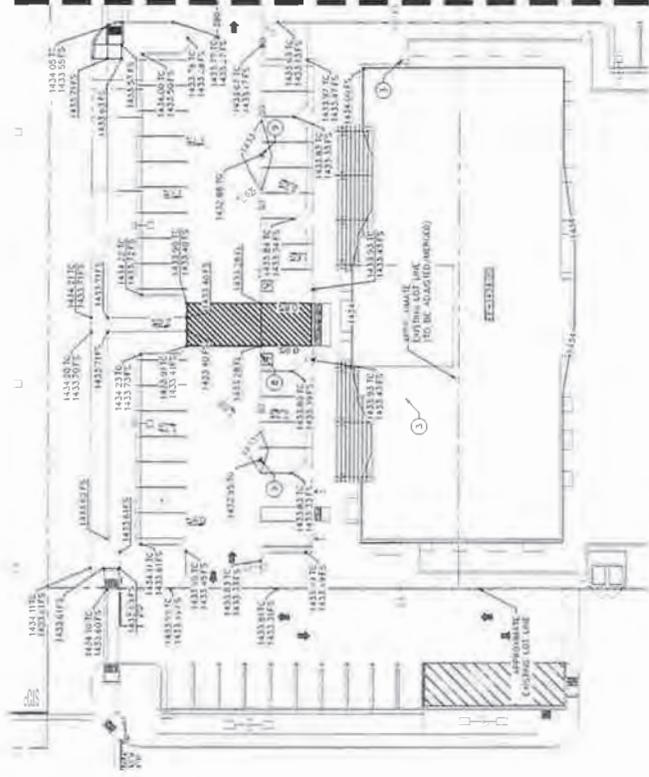
SHEET NO. 027
 C2.2
 6 OF 12
 PROJECT NO. DEY2022-027

CITY OF MENIFEE
 ENGINEERING DEPARTMENT
 CA 1026 NEWPORT MISTER CAR WASH
 MAJOR PLOT PLAN PL N22-0289
 PRELIMINARY GRADING AND DRAINAGE PLAN



DATE	BY	DESCRIPTION
12/31/24	J.P.	APPROVED
12/31/24	J.P.	CHECKED
12/31/24	J.P.	DESIGNED
12/31/24	J.P.	EXTERIOR LAYOUT SUBMITTAL #1
12/31/24	J.P.	EXTERIOR LAYOUT SUBMITTAL #2
12/31/24	J.P.	EXTERIOR LAYOUT SUBMITTAL #3

MATCHLINE - SEE SHEET C2.0

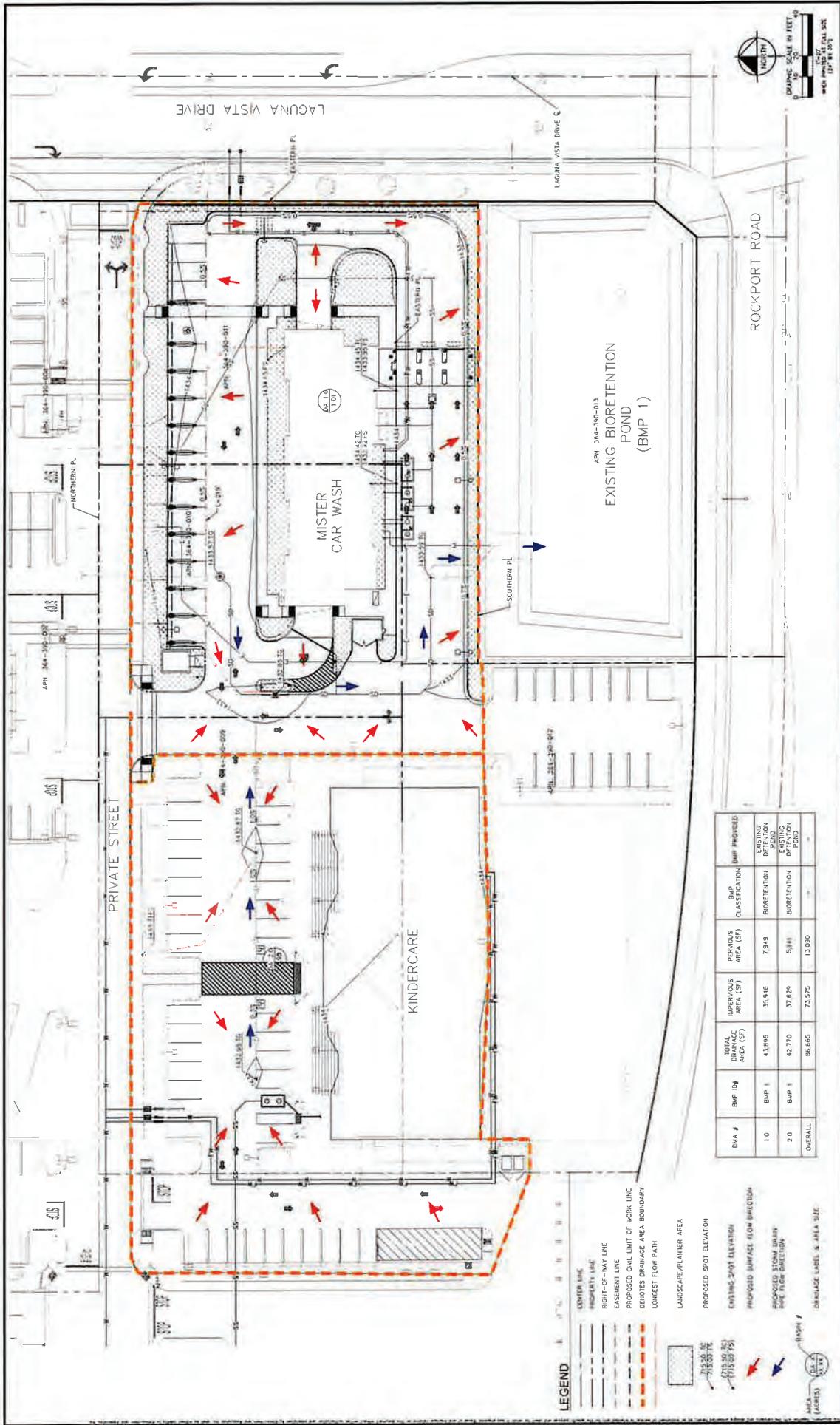


SCALE	DATE	BY	DESCRIPTION
1" = 20'	12/31/24	J.P.	APPROVED
1" = 20'	12/31/24	J.P.	CHECKED
1" = 20'	12/31/24	J.P.	DESIGNED
1" = 20'	12/31/24	J.P.	EXTERIOR LAYOUT SUBMITTAL #1
1" = 20'	12/31/24	J.P.	EXTERIOR LAYOUT SUBMITTAL #2
1" = 20'	12/31/24	J.P.	EXTERIOR LAYOUT SUBMITTAL #3

Kimley-Horn
 1000 W. 10th Street, Suite 200
 Hayward, CA 94541
 PREPARED UNDER THE SUPERVISION OF
 JOHN POLLOCK, R.C.E. NO. 28160 DATE: 12/31/24

NO.	REVISIONS	DATE	BY	DATE





SHEET NO.
C3.0
 of 12
 PROJECT NO. DEV2022-027

CITY OF MENIFEE
 ENGINEERING DEPARTMENT
 CA 1026 NEWPORT MISTER CAR WASH
 MAJOR PLOT PLAN PLN22-0289
 PROPOSED DRAINAGE MAP



DATE	BY	DESCRIPTION
11/14/24	MM	REVISION
11/14/24	MM	DESIGN
11/14/24	MM	DRAWN
11/14/24	MM	CHECKED
11/14/24	MM	APPROVED



SCALE: 1" = 20'
 PREPARED UNDER THE SUPERVISION OF
 JERRY POLLOCK, R.C.E. NO. 10786
 DATE: 12/31/24

DATE	BY	DESCRIPTION

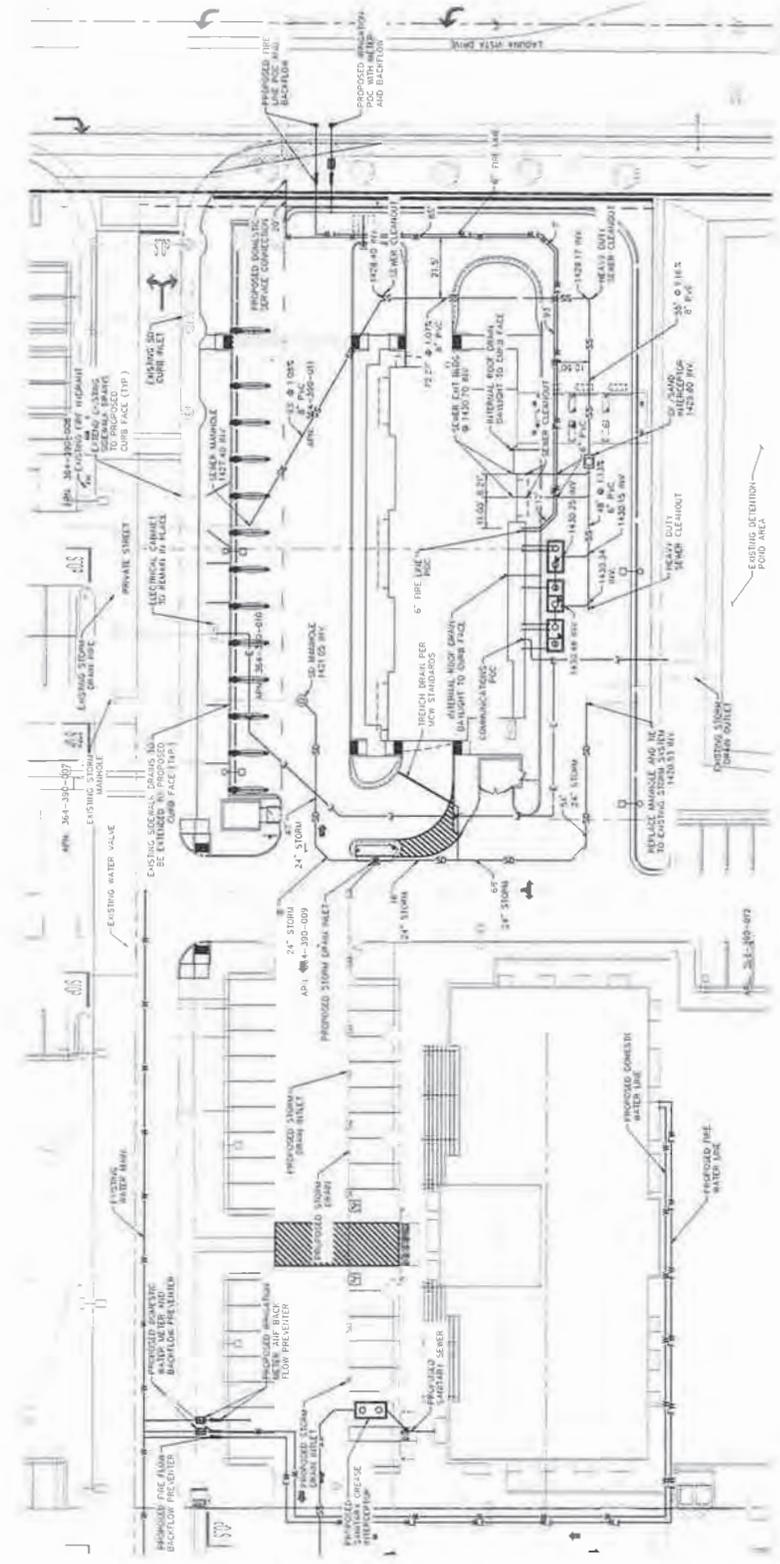
Kimley-Horn
 REGISTERED PROFESSIONAL ENGINEERS
 1-800-277-2000

DMA #	BMP ID	TOTAL AREA (SF)	UPPERVISED AREA (SF)	PERVIOUS AREA (SF)	BMP CLASSIFICATION	BMP PROVIDED
1.0	BMP 1	43,895	35,916	7,979	BIORETENTION	BIORETENTION POND
2.0	BMP 1	42,770	37,629	5,141	BIORETENTION	BIORETENTION POND
OVERALL		86,665	73,545	13,120		

- LEGEND**
- LOWER SIDE PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - PROPOSED CIVIL LIMIT OF WORK LINE
 - DEVIOTES DRAINAGE AREA BOUNDARY
 - LONGEST FLOW PATH
 - LANDSCAPE/PLANTER AREA
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - PROPOSED SURFACE FLOW DIRECTION
 - PROPOSED STORM DRAIN FLOW DIRECTION
 - DRAINAGE LABEL & AREA SIZE

LEGEND

- APPROXIMATE PROPERTY LINE
- CENTER LINE
- EASEMENT OR SETBACK LINE
- RIGHT-OF-WAY LINE
- PROPOSED SANITARY SEWER PIPE
- PROPOSED STORM DRAIN PIPE
- PROPOSED DOMESTIC WATER PIPE
- PROPOSED SANITATION WATER PIPE
- PROPOSED ELECTRIC LINE
- PROPOSED FIRE LINE
- APPROXIMATE (MAGNETIC) CHIMNEY
- EXISTING STORM DRAIN PIPE
- PROPOSED AREA DRAIN
- PROPOSED SITE LIGHTING



GRAPHIC SCALE IN FEET
 0 10 20 40
 WHEN PRINTED AT FULL SIZE
 (1" = 10')

SHEET NO.
C4.0
 of 12
 PROJECT NO. DEV2022-027

CITY OF MENIFEE
 ENGINEERING DEPARTMENT
 CA 1026 NEWPORT MISTER CAR WASH
 MAJOR PLOT PLAN PLN22-0269
 PRELIMINARY UTILITY PLAN



DATE	DESCRIPTION

SCALE: 1" = 10'
 PREPARED BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



Kimley-Horn
 ENGINEERS
 1000 S. GARDEN ST.
 SUITE 100
 ANAHEIM, CA 92805
 PREPARED UNDER THE SUPERVISION OF
 JOHN POLLOCK, P.E. NO. 86160 DATE: 12/17/24

DATE	BY	REVISIONS

Call
 1-800-271-5800

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/BREADTH	SCALE	MISC.
15	1	ARJUNUS UNEDO COMPACT / COMPACT STRAWBERRY TREE	15 GAL.	3.5 HT. X 3.5 SPR.	0.5" CAL.	LOW
16	12	BASTARD TREE (TO BE MAINT.) / MEXICAN BIRCH	24" DIA.	6-10 FT. X 3.5" DIA.	1" CAL.	MODERATE
17	14	FACEIT / HONEY SUCKLE / HONEY SUCKLE	30" DIA.	10-12 FT. X 4.5" DIA.	1.5" CAL.	MODERATE
18	14	PLATANUS A HISPANICA / LONDON PLANE TREE	30" DIA.	10-12 FT. X 4.5" DIA.	1.5" CAL.	MODERATE
19	8	QUERUS QUINQUE-LOBATA / COAST LIVE OAK	30" DIA.	12-15 FT. X 4.5" DIA.	1.5" CAL.	LOW

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/BREADTH	SCALE	MISC.
20	23	SAURAU / FICUS SP. / FICUS SP.	30 GAL.	60" OC	LOW	
21	65	CALLISTEMON VIVIDUS / LITTLE JUNE / LITTLE JUNE	5 GAL.	30" OC	LOW	
22	20	CHORISANDRA FLORIBUNDA / JAGGED LEAF	5 GAL.	40" OC	LOW	
23	14	DANIELLA REVOLUTA / SPREADING FLAX LILY	5 GAL.	24" OC	LOW	
24	40	ELIUS SP. / ELIUS SP.	5 GAL.	30" OC	LOW	
25	65	FERTIGALANCA / FERTIGALANCA	5 GAL.	30" OC	LOW	
26	123	HESPERALOE PARVIFLORA / YELLOW YUCCA	5 GAL.	30" OC	LOW	
27	23	HYDRANGEA / HYDRANGEA	5 GAL.	40" OC	LOW	
28	130	LEUCOPHYLLON / LEUCOPHYLLON	5 GAL.	40" OC	LOW	
29	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
30	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
31	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
32	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
33	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
34	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
35	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
36	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
37	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
38	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
39	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
40	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
41	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
42	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
43	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
44	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
45	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
46	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
47	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
48	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
49	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
50	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
51	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
52	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
53	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
54	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
55	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
56	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
57	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
58	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
59	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
60	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
61	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
62	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
63	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
64	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
65	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
66	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
67	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
68	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
69	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
70	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
71	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
72	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
73	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
74	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
75	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
76	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
77	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
78	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
79	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
80	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
81	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
82	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
83	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
84	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
85	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
86	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
87	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
88	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
89	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
90	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
91	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
92	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
93	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
94	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
95	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
96	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
97	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
98	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
99	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
100	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	

INERT MATERIAL

SYMBOL	QTY	DESCRIPTION
1	433 SF	CONCRETE (TO BE MAINT.)
2	23	ROCK (TO BE MAINT.)
3	141	SPREAD (TO BE MAINT.)

GROUND COVERS

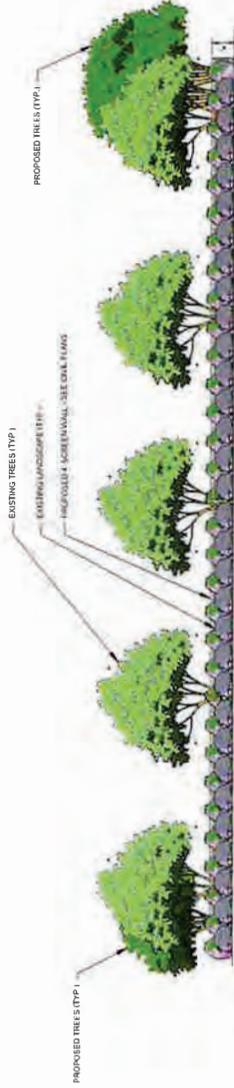
SYMBOL	QTY	DESCRIPTION
1	182 SF	ENGLISH IRIS
2	141 SF	FLORIBUNDA
3	141 SF	WOOD BANK MULCH

PLANT SCHEDULE (CONT.)

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/BREADTH	SCALE	MISC.
20	23	SAURAU / FICUS SP. / FICUS SP.	30 GAL.	60" OC	LOW	
21	65	CALLISTEMON VIVIDUS / LITTLE JUNE / LITTLE JUNE	5 GAL.	30" OC	LOW	
22	20	CHORISANDRA FLORIBUNDA / JAGGED LEAF	5 GAL.	40" OC	LOW	
23	14	DANIELLA REVOLUTA / SPREADING FLAX LILY	5 GAL.	24" OC	LOW	
24	40	ELIUS SP. / ELIUS SP.	5 GAL.	30" OC	LOW	
25	65	FERTIGALANCA / FERTIGALANCA	5 GAL.	30" OC	LOW	
26	123	HESPERALOE PARVIFLORA / YELLOW YUCCA	5 GAL.	30" OC	LOW	
27	23	HYDRANGEA / HYDRANGEA	5 GAL.	40" OC	LOW	
28	130	LEUCOPHYLLON / LEUCOPHYLLON	5 GAL.	40" OC	LOW	
29	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
30	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
31	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
32	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
33	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
34	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
35	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
36	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
37	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
38	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
39	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
40	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
41	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
42	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
43	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
44	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
45	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
46	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
47	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
48	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
49	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
50	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
51	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
52	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
53	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
54	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
55	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
56	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
57	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
58	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
59	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
60	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
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62	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
63	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
64	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
65	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
66	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
67	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
68	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
69	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
70	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
71	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
72	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
73	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
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78	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
79	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
80	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
81	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
82	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
83	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
84	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
85	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
86	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
87	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
88	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
89	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
90	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
91	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
92	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
93	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
94	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
95	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
96	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
97	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
98	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
99	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	
100	4	MAHONIA / MAHONIA	5 GAL.	40" OC	LOW	

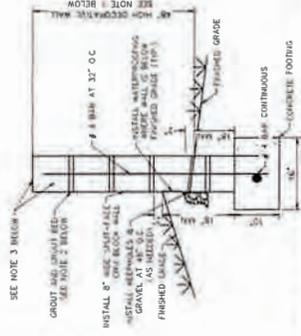
INERT MATERIAL (CONT.)

SYMBOL	QTY	DESCRIPTION
1	433 SF	CONCRETE (TO BE MAINT.)
2	23	ROCK (TO BE MAINT.)
3	14	



(A) ELEVATION OF RETAINING WALL FROM THE STREET

- NOTES**
1. CMU BLOCKS TO BE PERAL GREY DESIGNER BLOCK (DA) BY BORAAL AT 16" X 16" X 8" WITH 1/2" GROUT JOINTS TO MATCH CMU BLOCK.
 2. USE SINGLE HORIZONTAL BAND OF CHARCOAL DESIGNER BLOCK (DA) TO MATCH PERAL GREY DESIGNER BLOCK (DA) AT 16" X 16" X 8".
 3. USE CHARCOAL DESIGNER BLOCK (DA) TO MATCH PERAL GREY DESIGNER BLOCK (DA) AT 16" X 16" X 8".



(B) SECTION OF RETAINING WALL

SHEET NO.
L1.3
12 OF 12
PROJECT NO. DEV2022-027

**CITY OF MENIFEE
ENGINEERING DEPARTMENT**
CA 1026 NEWPORT MISTER CAR WASH
MAJOR PLOT PLAN PLN22-0289
LANDSCAPE SECTIONS



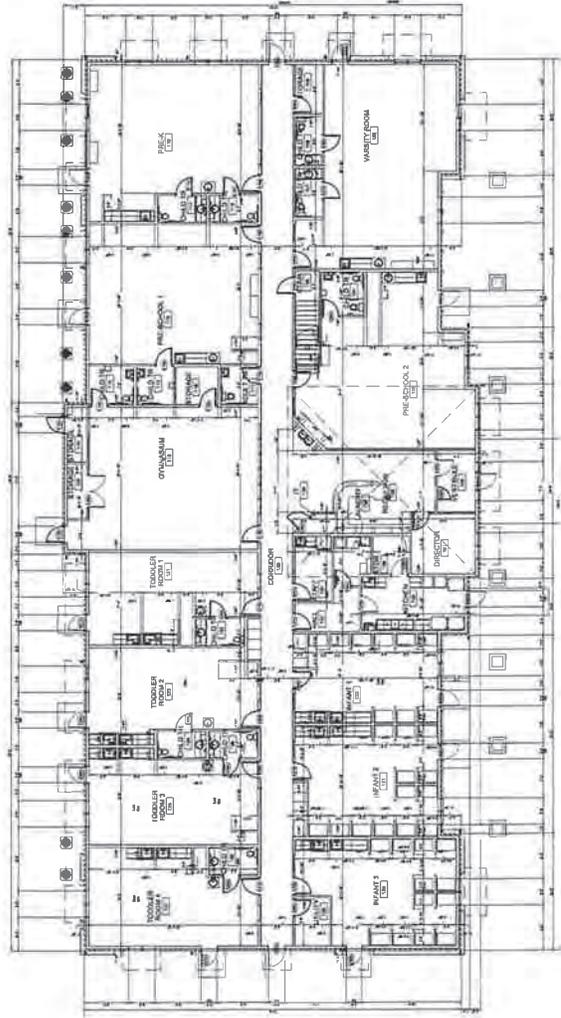
DATE	BY	DESCRIPTION



Kimley-Horn
1000 W. MAIN ST., SUITE 200
MENIFEE, CA 92554
REGISTERED UNDER THE STATE OF CALIFORNIA
PROJECT NO. 2022-0289 DATE: 08/31/24

NO.	REVISIONS	DATE	BY	DATE





DAYCARE FLOOR PLAN

SHOPPES at THE LAKES
MENIFEE, CALIFORNIA

USS SLATON, LLC
 8228 CANYON CREST DRIVE
 RIVERSIDE, CA 92507
 951.764.7160

K. PIERCE ARCHITECTS
 1000 AVENUE OF THE LAKES
 SUITE 200
 MENIFEE, CA 92554
 951.764.7160
 WWW.KPIERCEARCHITECTS.COM

PAD F FLOOR PLAN

ENGINEER OF THE LAKES, PHD
 1000 AVENUE OF THE LAKES
 SUITE 200
 MENIFEE, CA 92554
 951.764.7160
 WWW.KPIERCEARCHITECTS.COM



Mister®

January 29, 2024
Menifee - CA 1026
130 W1 - Elevations and Materials
A23 Studios #22151

Applicant Information

Name: Tom R. Gerbo

Address: Sears Gerbo Architecture, LLC
4547 E Fort Lowell Road, Suite 421
Tucson, Arizona 85712

P: 520-722-5079 **E:** tgerbo@searsgerboarch.com

FLOOR AREA CALCULATIONS

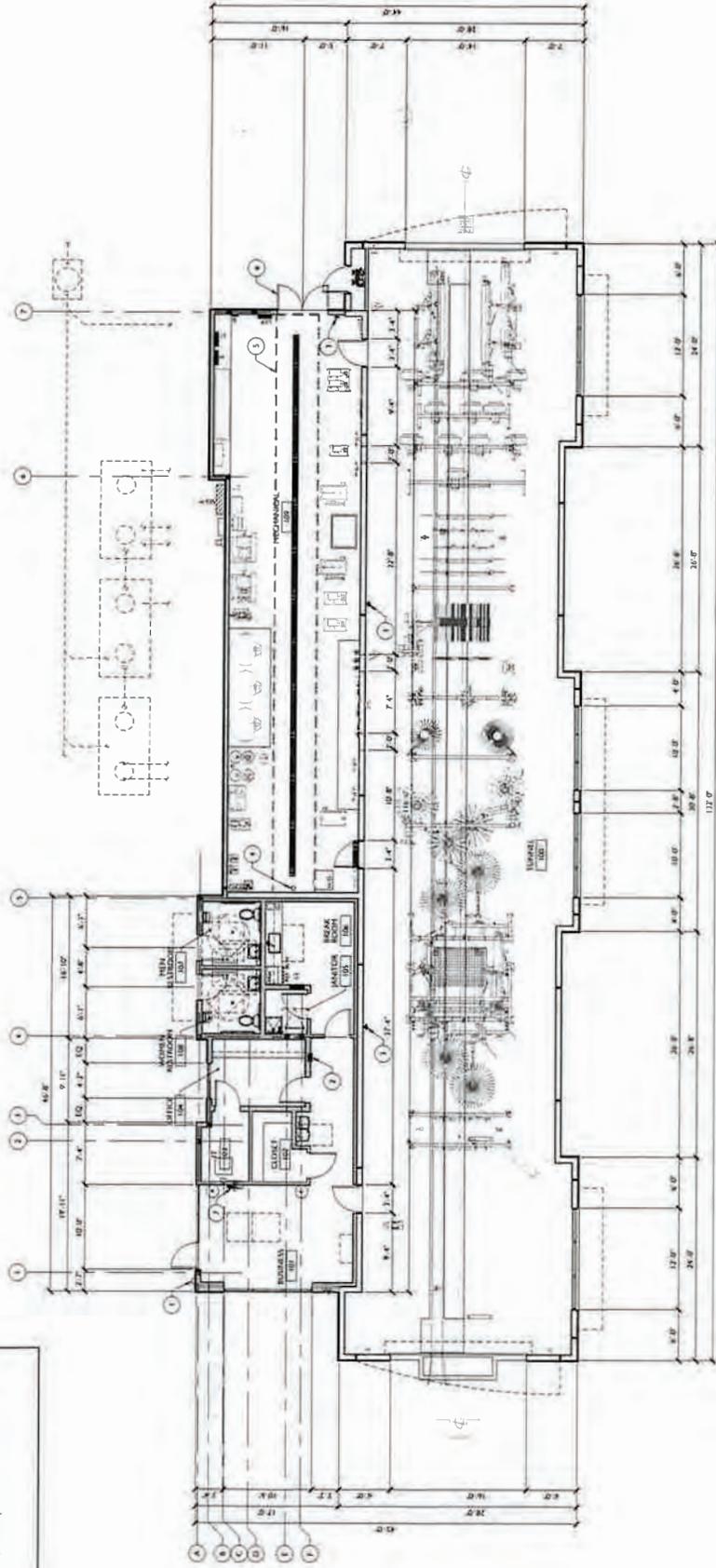
Total Floor Area - 5,281 sqft - 100%

- 100 Tunnel - 3,142 sqft
- 101 Business - 313 sqft
- 102 Closet - 46 sqft
- 103 IT - 45 sqft
- 104 Office - 95 sqft
- 105 Janitor - 26 sqft
- 106 Break Room - 132 sqft
- 107 Mens Restroom - 52 sqft
- 108 Womens Restroom - 52 sqft
- 109 Mechanical - 1,098 sqft

TARE - 380 sqft

FLOOR PLAN KEYNOTES

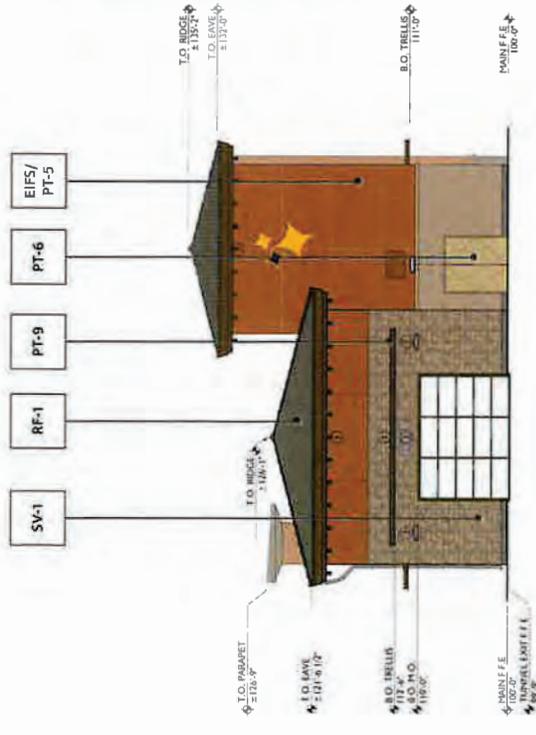
- 1. PROVIDE KEY LOCKS. REFERENCE ELEVATIONS FOR MORE INFORMATION.
- 2. STAINLESS STEEL RECESSED FIRE EXTINGUISHER CABINET TO FIT 2A108C FIRE EXTINGUISHER. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
- 3. 2A108 C PORTABLE FIRE EXTINGUISHER SHALL BE MOUNTED NO HIGHER THAN 5'0" FROM FINISH FLOOR. VERIFY REQUIREMENTS WITH FIRE MARSHAL. VERIFY REQUIREMENTS WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
- 4. VERIFY EXACT LOCATION WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
- 5. PROVIDE SIGN ON EXTERIOR FACE OF DOOR PER FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
- 6. VERIFY EXACT LOCATION WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
- 7. VERIFY EXACT LOCATION WITH FIRE MARSHAL PRIOR TO ROUGH IN AND INSTALLATION.
- 8. REFERENCE ELECTRICAL PLANS FOR MORE INFORMATION.



FLOOR PLAN

3/16" = 1'

2



3 3/16" = 1'

MATERIAL TAKE OFF

Exterior Building Finishes - 8,154 sqft - 100%

A (SV-1) Natural Stone (Veneer) - 1,800 sqft - 22%

B (ALU) Stone Front and Glass - 511 sqft - 6%

C (EIFS) EIFS - 4,406 sqft - 54%

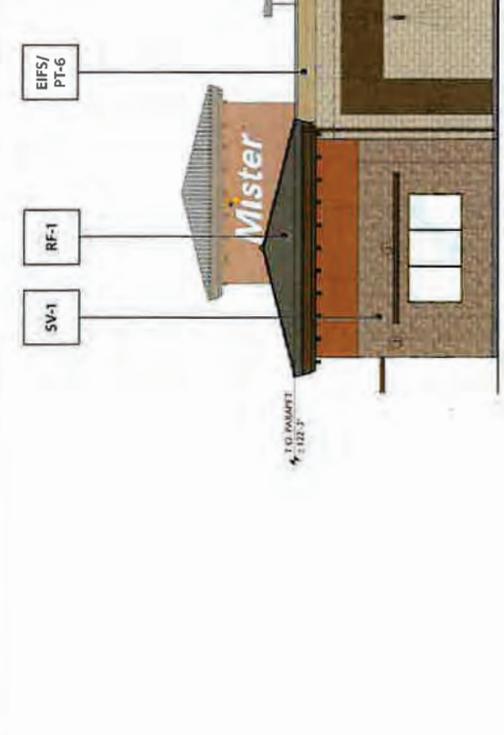
D (CU-1/2) CMU - 1,032 sqft - 13%

G Polycarbonate Overhead Doors - 312 sqft - 4%

H Painted Hollow Metal Doors - 93 sqft - 1%

FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" - SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
SV-1	STONE VENEER - TEXAS RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN-WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO - "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
CU-2	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



4 3/16" = 1'

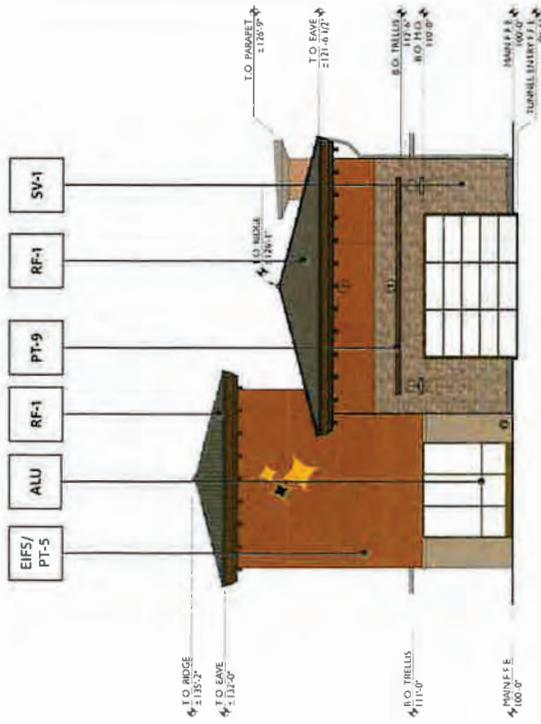
CAR WASH TUNNEL WALL ELEVATION

FINISH LEGEND

	EIFS/PT-5	ROOFING - EAGLE ROOFING "BEL AIR" - SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
	RF-1	STONE VENEER - TEXAS STONE DESIGN/EUREKA TAN / RANDOM/ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN- WILLIAMS / TRUPEPENNY SW6355
	SV-1	CMU (SPLIT FACE) - ORCO - "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
	CU-1	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH CLAY BEIGE
	CU-2	EIFS	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND

MATERIAL TAKE OFF

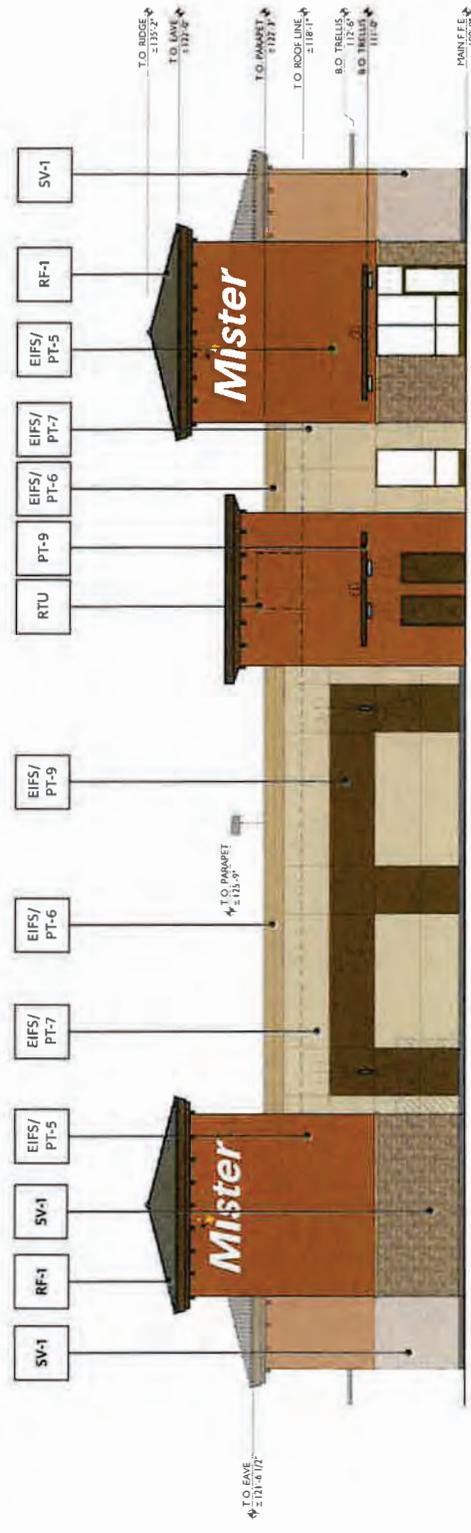
Exterior Building Enclaves - 8,154 sqft - 100%	
A (SV-1) Natural Stone (Veneer) - 1,800 sqft - 22%	B (ALU) Stone Front and Glass - 511 sqft - 6%
C (EIFS) EIFS - 4,406 sqft - 54%	D (CU-1/2) CMU - 1,032 sqft - 13%
G Polycarbonate Overhead Doors - 312 sqft - 4%	H Painted Hollow Metal Doors - 93 sqft - 1%



CAR WASH TUNNEL ENTRANCE

3/16" = 1'

5



BUSINESS/MECHANICAL ELEVATION

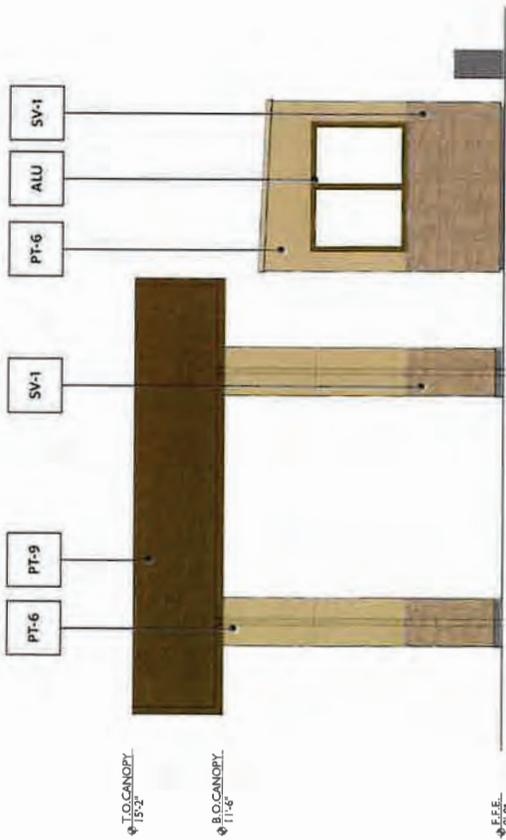
3/16" = 1'

6



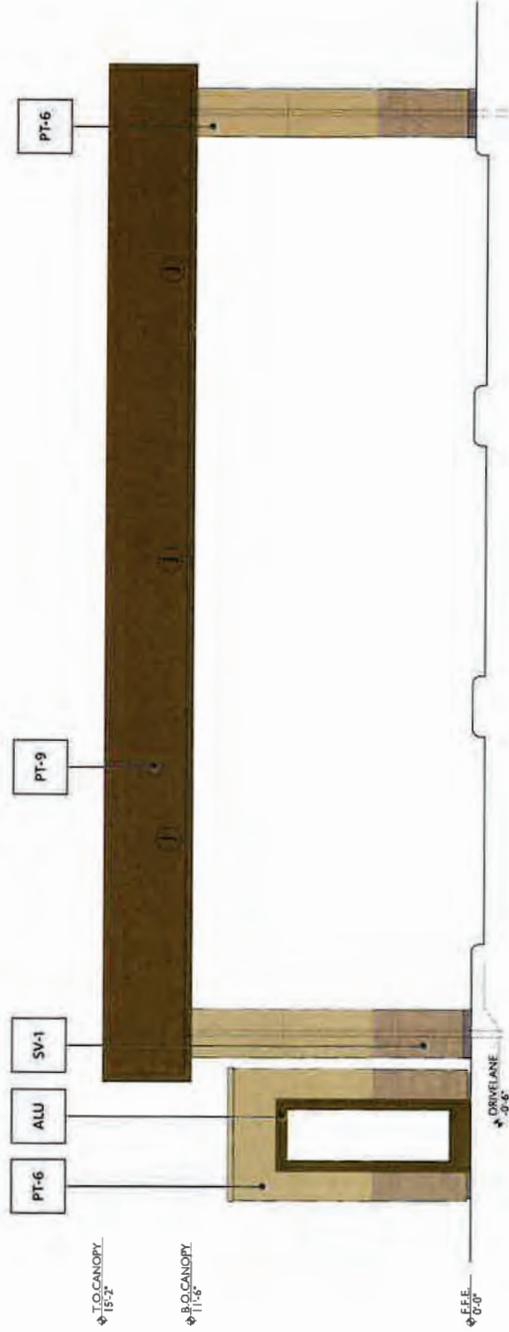
FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" - SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN/ EUREKA TAN / RANDOM ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN-WILLIAMS / TRUOPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44
CU-2	CMU (SPLIT FACE) - ORCO "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



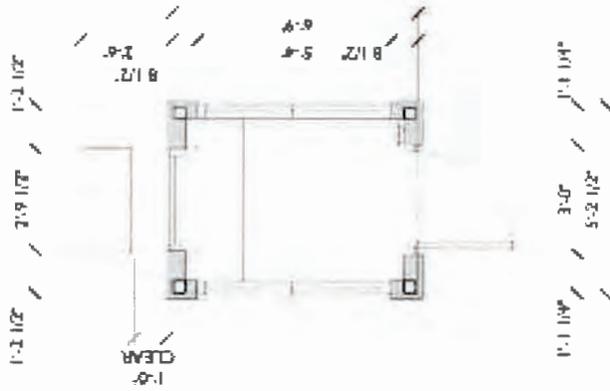
7 POS CANOPY SIDE ELEVATION

1/2" = 1'



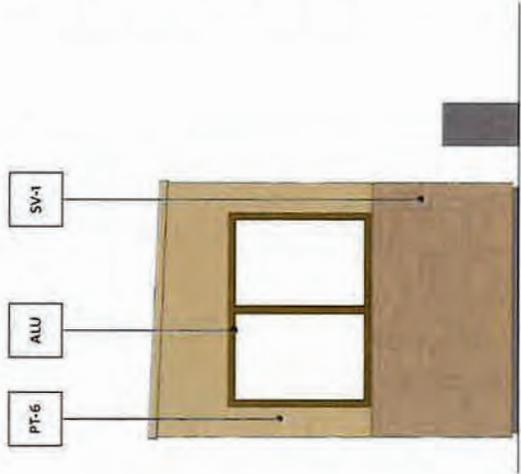
8 POS CANOPY FRONT ELEVATION

1/2" = 1'



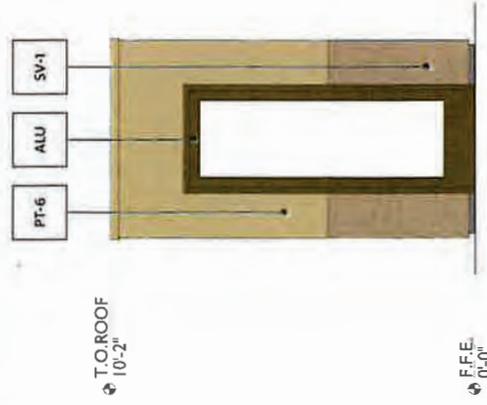
FINISH LEGEND

	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
	STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM / ASHLAR		EXTERIOR PAINT - SHERWIN-WILLIAMS / TRUEPENNY SW6355
	CMU (SPLIT FACE) - ORCO - "WHEAT"		EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"		EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
	EXTERIOR INSULATION FINISHING SYSTEM		EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND

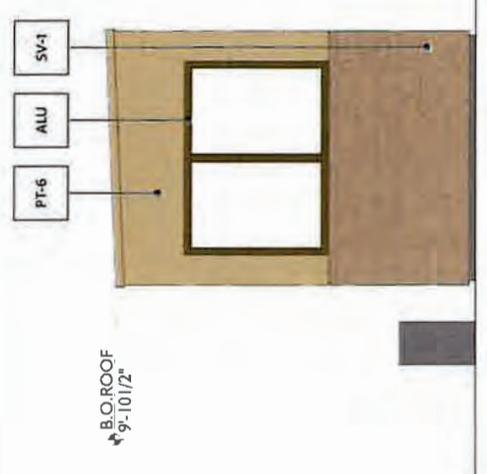


9 ATTENDANT SHELTER PLAN 3/4" = 1'

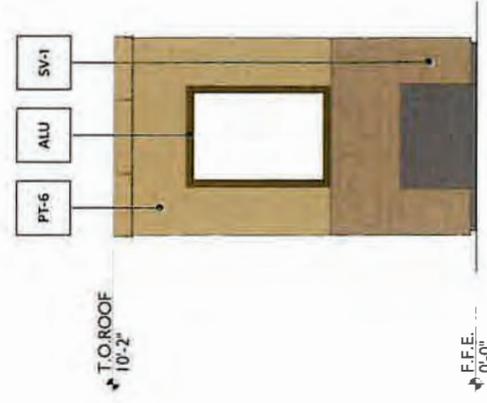
10 ATTENDANT SHELTER SIDE ELEVATION 3/4" = 1'



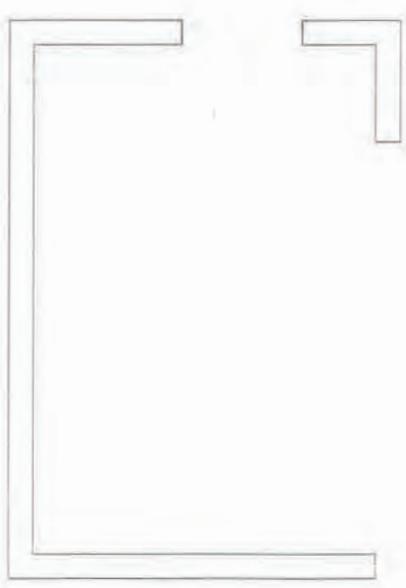
11 ATTENDANT SHELTER FRONT ELEVATION 3/4" = 1'



12 ATTENDANT SHELTER SIDE ELEVATION 3/4" = 1'



13 ATTENDANT SHELTER READ ELEVATION 3/4" = 1'

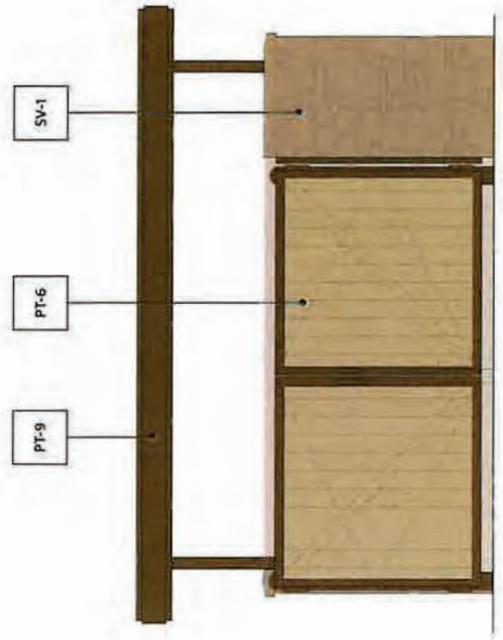


FINISH LEGEND

RF-1	ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND	ALU	WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE - LIGHT RANGE
SV-1	STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM / ASHLAR	PT-5	EXTERIOR PAINT - SHERWIN-WILLIAMS / TRUEPENNY SW6355
CU-1	CMU (SPLIT FACE) - ORCO - "WHEAT"	PT-6	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - HC-44 LENOX TAN
CU-2	CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - OC-11 CLAY BEIGE
EIFS	EXTERIOR INSULATION FINISHING SYSTEM	PT-9	EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND

14 TRASH ENCLOSURE PLAN

3/4" = 1'



T.O. WALL
6'-4"

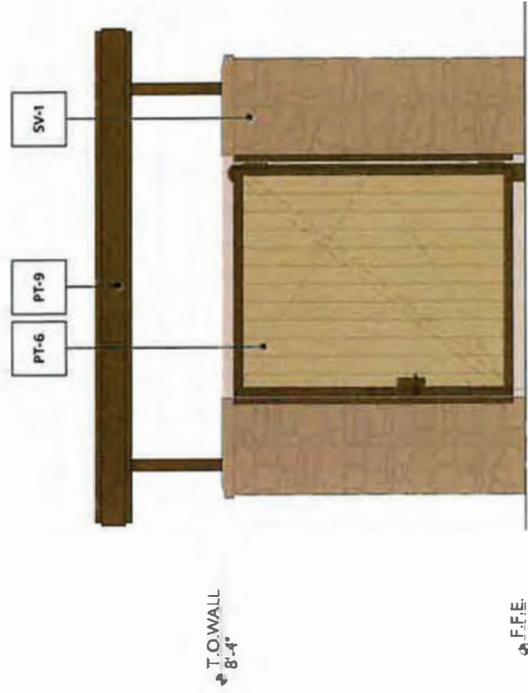
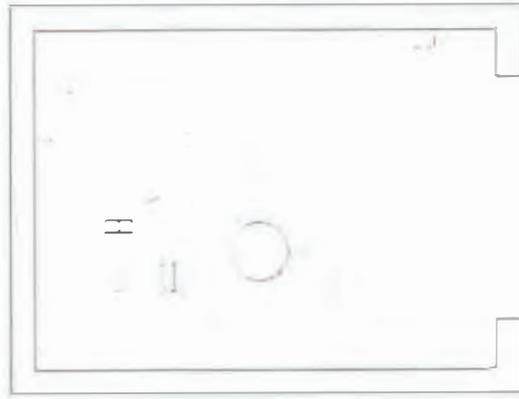
F.F.E.
0'-0"

15 TRASH ENCLOSURE ELEVATIONS

3/4" = 1'

FINISH LEGEND

RF-1		ROOFING - EAGLE ROOFING "BELAIR" - SCB 8805 - SEATTLE BLEND	ALU		WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE-LIGHT RANGE
SV-1		STONE VENEER, TEXAS STONE DESIGN/ EUREKATAN / RANDOM ASHLAR	PT-5		EXTERIOR PAINT - SHERWIN - WILLIAMS / TRUPEPENNY SW6355
CU-1		CMU (SPLIT FACE) - ORCO "WHEAT"	PT-6		EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - H.C. 44 LENOXTAN
CU-2		CMU (SPLIT FACE) - ORCO - "OTAY BROWN"	PT-7		EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - O.C.11 CLAY BEIGE
EIFS		EXTERIOR INSULATION FINISHING SYSTEM	PT-9		EXTERIOR PAINT - SAND FINISH - BENJAMIN MOORE - AF-120 TAMARIND



16 **VACUUM ENCLOSURE ELEVATIONS AND PLAN**
3/4" = 1'-0"

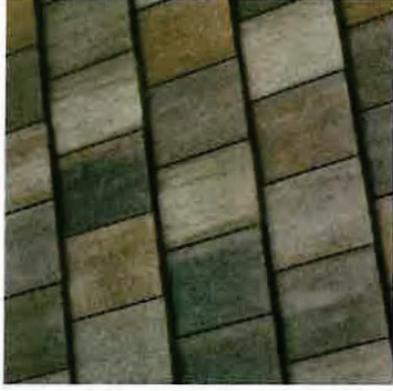
MATERIAL SAMPLE BOARD



CU-1: CMU (SPLIT FACE) - ORCO - "WHEAT"



CU-2: CMU (SPLIT FACE) - ORCO - "OTAY BROWN"



RE-1: ROOFING - EAGLE ROOFING "BELAIR" SCB 8805 - SEATTLE BLEND



ALU: WINDOWS & DOORS - THERMALLY BROKEN ANODIZED MEDIUM BRONZE - LIGHT RANGE



PL-5: EXTERIOR PAINT - SHERWIN WILLIAMS - TRUEPENNY SW6355



PL-2: EXTERIOR PAINT - BENJAMIN MOORE - OC-11 CLAY BEIGE



PL-6: EXTERIOR PAINT - BENJAMIN MOORE - HC-44 LENDOX TAN



SV-1: STONE VENEER - TEXAS STONE DESIGN / EUREKA TAN / RANDOM ASHLAR



EIFS: EXTERIOR INSULATION FINISHING SYSTEM



PL-9: EXTERIOR PAINT - BENJAMIN MOORE - AF-120 TAMARIND