

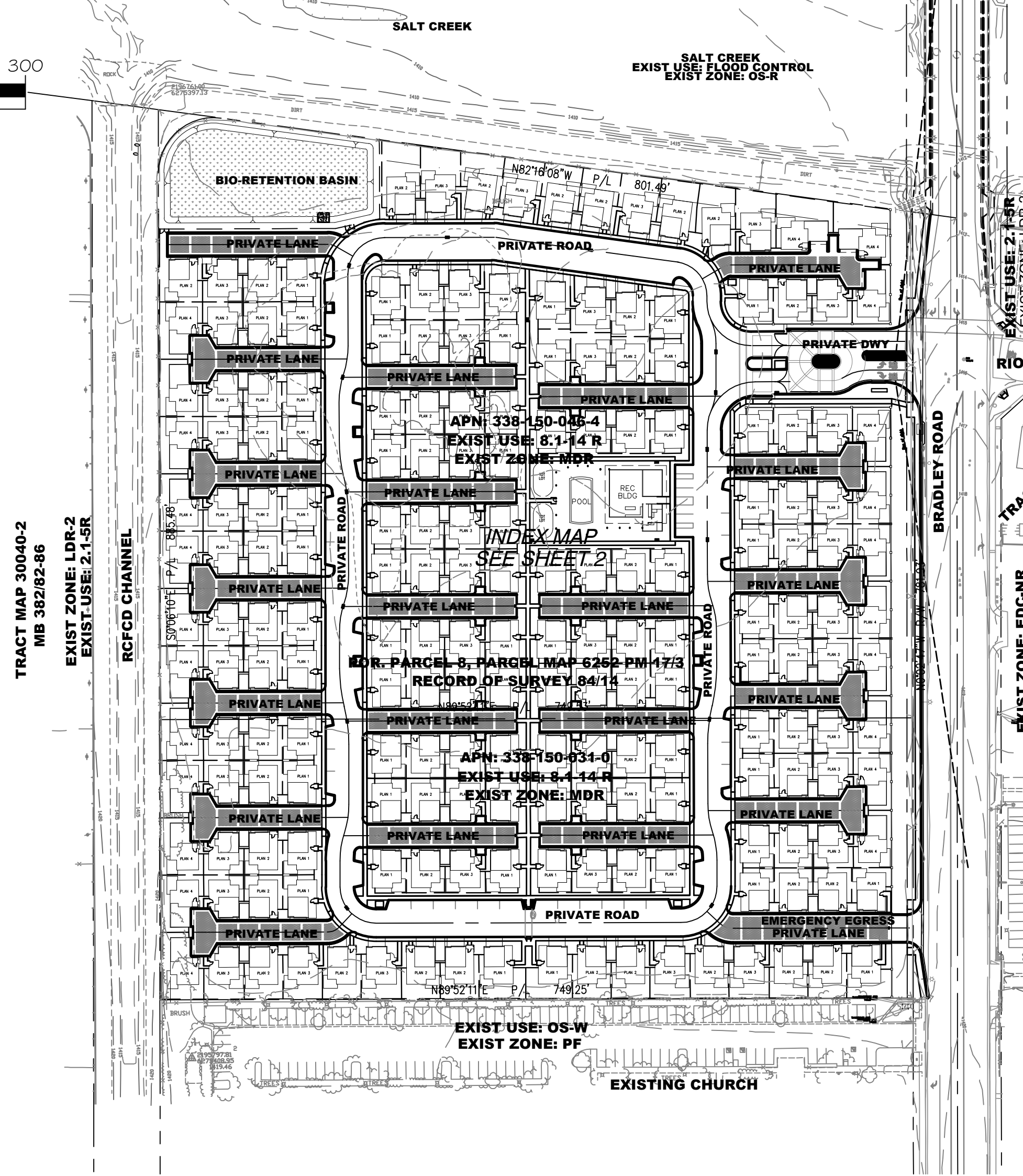
#	DATE	REVISION
1	10/20/21	corrections per city plan check #1

TENTATIVE PARCEL MAP NO. 38219, PLN 21-XXX MENIFEE RIVERWALK - A TOWNHOME DEVELOPMENT

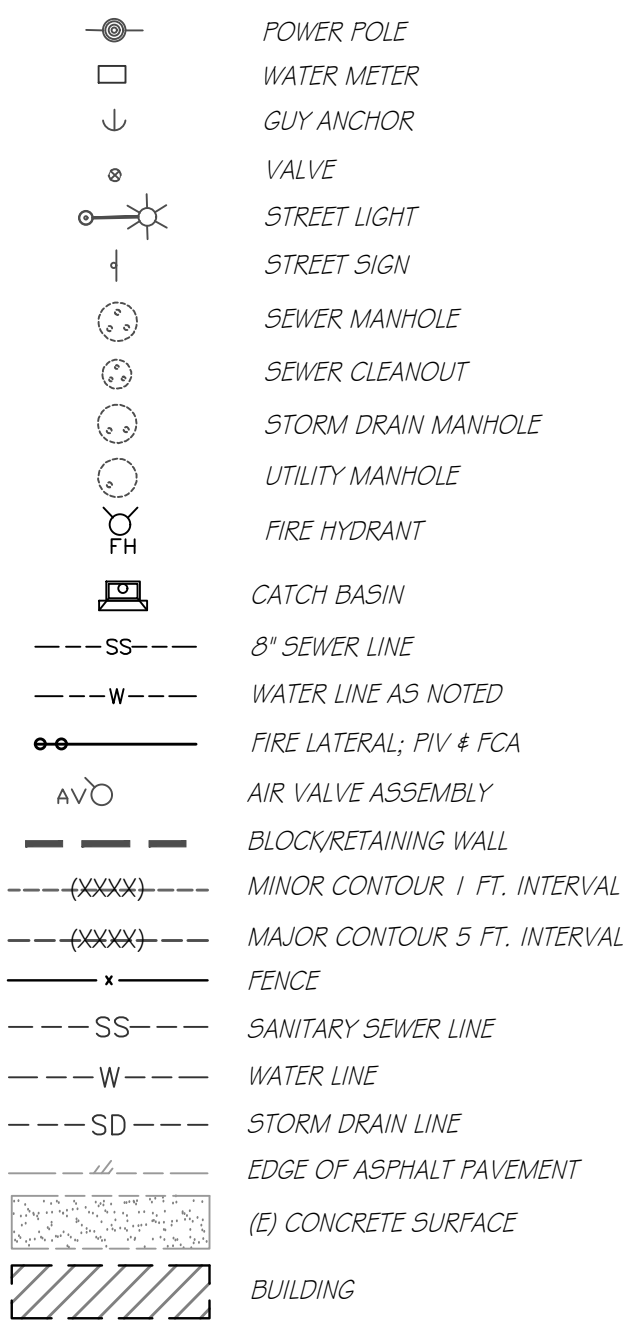
EXISTING SITE EXHIBIT SCALE: 1" = 100'



PROPOSED SITE EXHIBIT SCALE: 1" = 100'



LEGEND:



SUBDIVISION LOT SUMMARY:

PARCEL LOT 1: LOT FOR CONDOMINIUM PURPOSES
A. 14.21 NET ACRES
14.34 GROSS ACRES
LOT A: DEDICATION OF 9 FEET OF RIGHT-OF-WAY WITH CORNER CUTBACKS OF BRADLEY ROAD
A. 0.13 NET ACRES (5.836 SF)
EASEMENT 4: RECIPROCAL ACCESS, DRAINAGE AND UTILITY EASEMENT FOR CONDOMINIUM PURPOSES FOR PROPOSED TOWNHOMES AS DIMENSIONED SHOWN AND DIMENSIONED ON SHEET 1.

AREAS:

LOT AREAS:
PARCEL LOT 1:
14.21 NET ACRES
14.34 GROSS ACRES
0.13 NET ACRES
5,836 SQUARE FEET
1.30 ACRES
0.30 ACRES
COMMON OPEN SPACE:
RECREATIONAL OPEN SPACE:
TOWNHOMES/CONDOMINIUM AREAS LOT 1:
UNIT 1:
UNIT 2:
UNIT 3:
UNIT 4:
REC. BUILDING:
TOTAL GROSS FLOOR AREA:
355,292 S.F.

MAINTENANCE:

ALL EXISTING AND PROPOSED MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE FUTURE HOME OWNERS ASSOCIATION. SPECIFIC MAINTENANCE REQUIREMENTS FOR WATER QUALITY BASINS IS OBTAINED IN THE PRELIMINARY WATER QUALITY MANAGEMENT PLAN AND SHALL BE FINALIZED BY AGREEMENT WITH CITY AT TIME OF WQMP APPROVAL. ALL ONSITE LANDSCAPE AND PRIVATE UTILITY MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOA. LOT A SHOWN ALONG BRADLEY CAN BE COMBINED WITH EXISTING MAINTAINED BRADLEY ROAD C/D AND SHALL BE DEDICATED FOR PUBLIC USE.

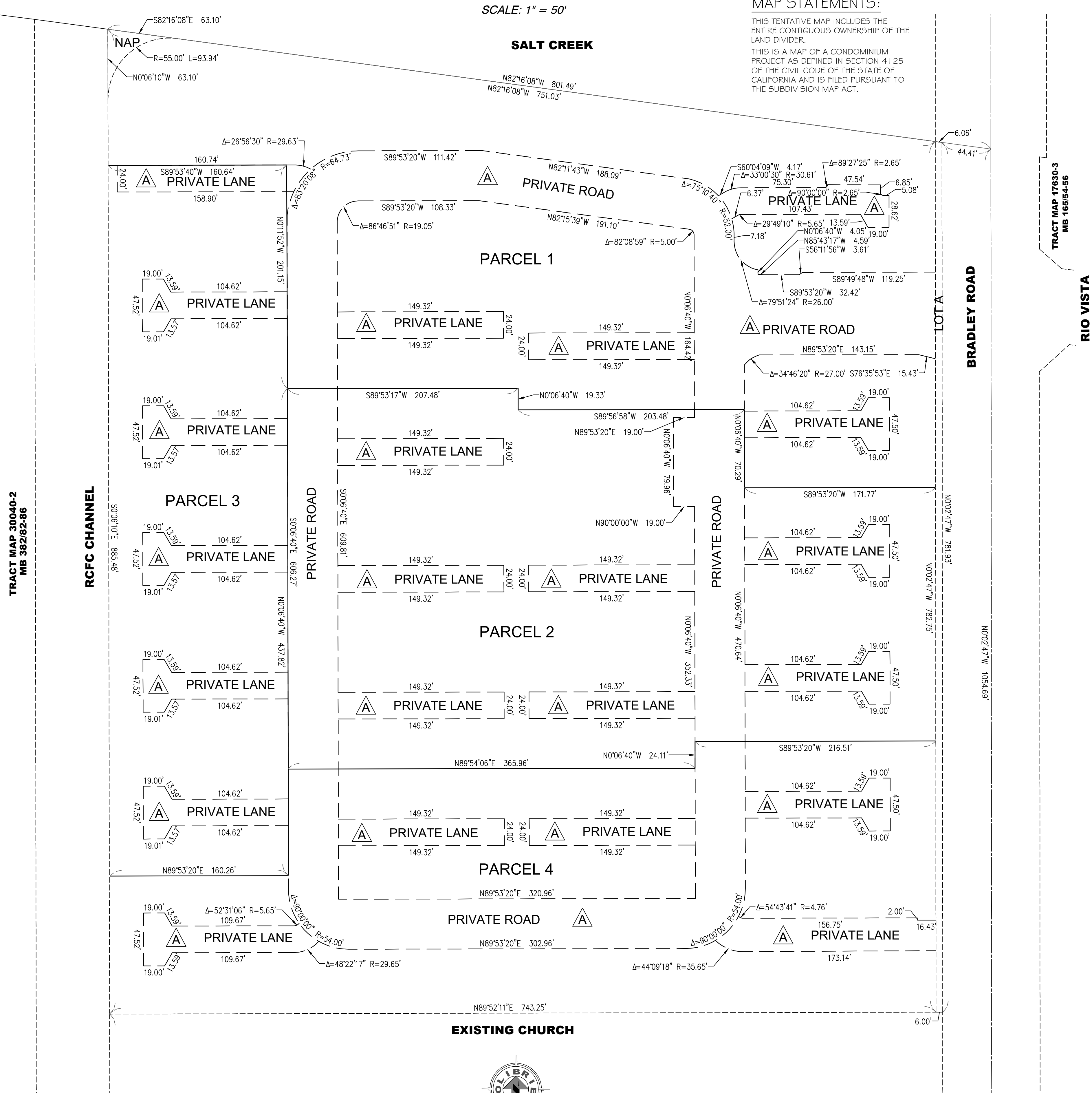
HYDROLOGY & WATER QUALITY SUMMARY:

SEE DRAINAGE STUDY AND PRELIMINARY WATER QUALITY MANAGEMENT PLAN FOR ADDITIONAL INFO.

PROPOSED RATIONAL HYDROLOGY DATA			
AREA ID	10 YEAR Q	100 YEAR Q	
A1	10.4 CFS	16.0 CFS	
A2	11.0 CFS	16.8 CFS	
CONFLUENCE A1 AND A2	20.5 CFS	31.5 CFS	
A3	0.5 CFS	0.8 CFS	
TOTAL	21.0 CFS	32.4 CFS	

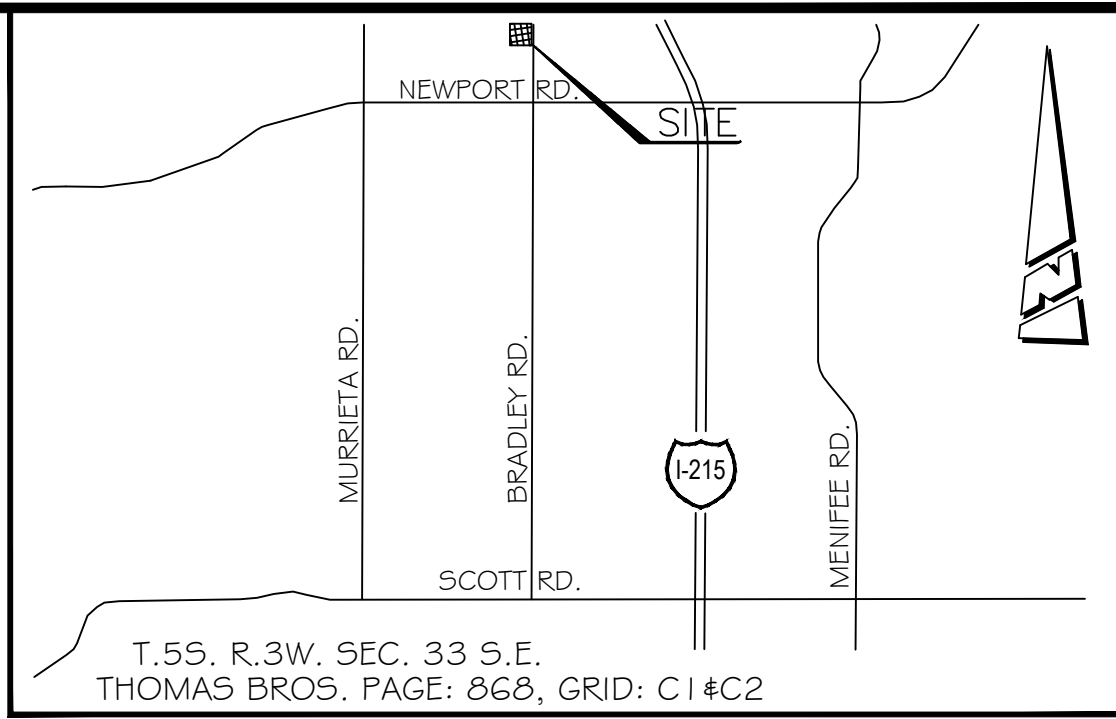
STORM WATER QUALITY MITIGATION SUMMARY		
STORM	VOLUME REQUIRED FOR BMP MITIGATION (CF)	VOLUME PROVIDED THROUGH BIO-RETENTION BASIN (CF)
ANY	21,098	22,282

PROPOSED SUBDIVISION MAP SCALE: 1" = 50'



MAP STATEMENTS:

THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDED.
THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 41.25 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT.



SITE ADDRESS:

VACANT LAND, BRADLEY ROAD, MENIFEE, CA 92584

ASSESSOR'S PARCEL NO.S:

338-150-031-0 + 338-150-046-4

OWNER:

WASHINGTON MURRIETA S, LLC
P.O. BOX 3809
SEAL BEACH, CA 90740
CONTACT: AL WOMBLE
(562) 618-3890
E: ALWOMBLE@ALWOMBLE.COM

APPLICANT / DEVELOPER:

WASHINGTON MURRIETA S, LLC
P.O. BOX 3809
SEAL BEACH, CA 90740
CONTACT: AL WOMBLE
(562) 618-3890
E: ALWOMBLE@ALWOMBLE.COM

ENGINEER / SURVEYOR:

KOLIBRIEN CORP. - JOHN JOHNSON, P.E., PLS
27919 JEFFERSON AVE., STE. 201
TEMECULA, CA 92590
PHONE: (951) 232-1034
EMAIL: INFO@KOLIBRIEN.BIZ
WEBSITE: WWW.KOLIBRIEN.BIZ

BASIS OF BEARINGS:

THE WESTERLY PROPERTY LINE ALONG PARCELS APN 338-150-031-0 + 338-150-046-4 MEASURED AS NORTH0°11'0W AS SHOWN ON RECORD OF SURVEY 84/10-14, RECORDS OF RIVERSIDE COUNTY.

BENCHMARK:

RIVERSIDE COUNTY 600 25 68, 54 FT. NORTH-EAST OF POWER POLE 16193, 29 FT. EAST OF MURRIETA RD. AND 2 FT. ABOVE THE ROAD, 2 FT. SOUTH-WEST OF THE NORTH-WEST CORNER OF A 4 FT. CHAIN LINK FENCE, 2 FT. NORTH OF A WATER METER, 2 FT. SOUTH OF A MARKER POST, A BRASS DISK IN A CONCRETE POST, ELEVATION = 1488.4 NAVD83.

FLOOD ZONE DESIGNATION:

A PORTION OF THE PROPERTY FOR THE PROPOSED DEVELOPMENT IS IN FLOODWAY AREA ZONE A, PARTIALLY WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS IS SHOWN ON FLOOD INSURANCE RATE MAPS FOR THE COUNTY OF RIVERSIDE, CALIFORNIA, SHOWN ON COMMUNITY PANEL NUMBER 06065C205SH. FLOOD CONTROL IMPROVEMENTS SHOW THE 100 YEAR FLOOD PLAIN LIMITS FULLY CONTAINED WITHIN THE ADJACENT REGULATORY FLOODWAY ZONE.

ZONE AND USE INFORMATION:

EX. ZONE = MDR: MEDIUM DENSITY RESIDENTIAL
EX. LAND USE = 8, 1-1-4 DUAC RESIDENTIAL (8,1-1-4 R)
SPA: NOT IN A SPECIFIC PLAN

CIRCULATION ELEMENT: SECONDARY 100 FOOT WIDE R.O.W. REQUIRED FOR BRADLEY ROAD, COLLECTOR. PROPOSED 6 FOOT WIDE DEDICATION AND IMPROVEMENTS ALONG BRADLEY ROAD.

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENIFEE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE NORTH HALF OF THE SOUTH HALF OF PARCEL 8 OF PARCEL MAP 6252, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 17, PAGE 3, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THEREFROM THAT PORTION CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, BY DOCUMENT RECORDED SEPTEMBER 12, 1990 AS INSTRUMENT NO. 339109, OF OFFICIAL RECORDS.

APN: 338-150-031-0
THE NORTH HALF OF PARCEL 8 OF PARCEL MAP 6252 AS PER MAP RECORDED IN BOOK 17, PAGE 3 OF PARCEL MAPS, ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID PARCEL 8; THENCE SOUTH 81°40'19" EAST, 790.68 FEET;
THENCE SOUTH 02°33'19" WEST, 503.69 FEET;
THENCE NORTH 89°30'50" WEST, 782.68 FEET;
THENCE NORTH 02°29'10" EAST, 611.37 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM ANY PORTION WITHIN THE NORTH HALF OF THE SOUTH HALF OF SAID PARCEL 8 AS CONVEYED BY DEED RECORDED JULY 21, 1978 AS INSTRUMENT NO. 151664;
ALSO EXCEPT THAT PORTION CONVEYED TO RIVERSIDE FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY DEED RECORDED JUNE 1, 1990 AS INSTRUMENT NO. 202004;
APN: 338-150-046-4

EXISTING EASEMENTS:

NONE

PROPOSED EASEMENTS:

EASEMENT FOR RECIPROCAL ACCESS, DRAINAGE AND UTILITY PURPOSES.

PRELIMINARY EARTHWORK:

APPROXIMATE RAW CUT = 11,200 C.Y.
APPROXIMATE RAW FILL = 35,800 C.Y.

SURVEYOR'S NOTES:

- THIS SURVEY WAS COMPLETED BY KOLIBRIEN CORP. FROM JANUARY 15TH THROUGH FEBRUARY 27TH, 2021
- THIS PROPOSED PROJECT SITE AREA CONTAINS 15.13 GROSS ACRES AND 14.34 NET ACRES.
- SOME IMPROVEMENTS WITHIN OFF-SITE EASEMENTS OR SERVIDUTE BENEFITTING THE PROPERTY ARE SHOWN ON THE FIELD TOPOGRAPHY.
- NOT ALL UTILITIES LINES ARE SHOWN FOR CLARITY.
- UTILITIES SHOWN ARE COMPRESSED OF RECORD DATA AND FIELD SURVEY MEASUREMENTS.
- RECORD DATA FOR SEWER AND WATER LINES WAS FOUND ON RECORD DRAWINGS SD-17764, SD-14630, D-8203, 36804, RECORDS OF EASTERN MUNICIPAL WATER DISTRICT.
- RECORD DATA FOR STORM DRAIN LINES WAS FOUND ON RCFCD/CD DRAWING DWG 4-169, 4-550 AND CITY OF MENIFEE CIP 13-04.
- RECORD DATA FOR PROPERTY BOUNDARIES AND CENTERLINE MONUMENTS WAS FOUND ON RECORD DRAWINGS PM173, MB34780-85, MB46648-50, MB46267-73, RS841-0, RECORDS OF RIVERSIDE COUNTY.
- ALL ADJACENT RECORD BOUNDARY DATA SHOWN HAS BEEN ADJUSTED TO THE SAME BASIS OF BEARING AS THIS MAP.
- WITH EXCEPT TO MEASURED DISTANCE BETWEEN FIELD SURVEY MONUMENTS, ALL PARCEL AND LOT LINES ARE SHOWN PER RECORD MAPS REFERENCED ABOVE.

UTILITY PURVEYORS & SCHOOLS:

WATER SEWER SERVICE: EASTERN MUNICIPAL WATER DISTRICT
SEWER SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
GAS: SOUTHERN CALIFORNIA GAS COMPANY
ELECTRICITY: AT&T FRONTIER COMMUNICATIONS
TEL. CABLE: MENIFEE UNION PERRIS UNION
SCHOOL DISTRICT:

SHEET INDEX:

- TITLE SHEET
SUBDIVISION MAP
EXISTING & PROPOSED EXHIBITS
MAP NOTES
- CONCEPTUAL GRADING & DRAINAGE PLAN
PROPOSED WATER & SEWER
PROPOSED STORM DRAIN
TYPICAL SECTIONS AND DETAILS
- SECTIONS AND DETAILS
ALTERNATE CONCEPTUAL GRADING PLAN
ASSUMES DEVELOPMENT PRIOR TO
BRIDGE CONSTRUCTION

SHEET
1
OF
4
Fig: W03001

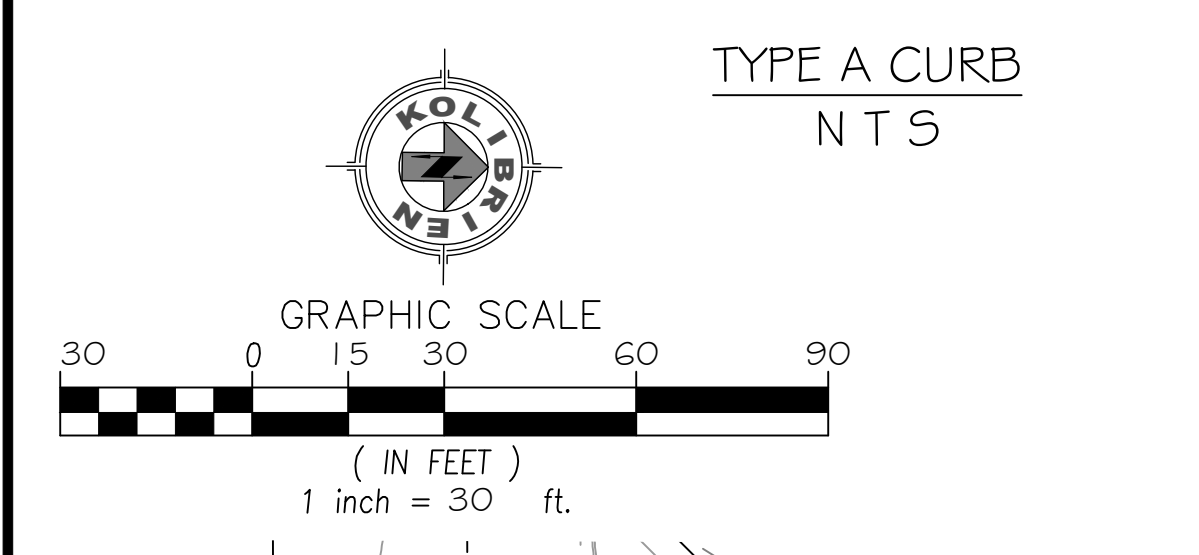
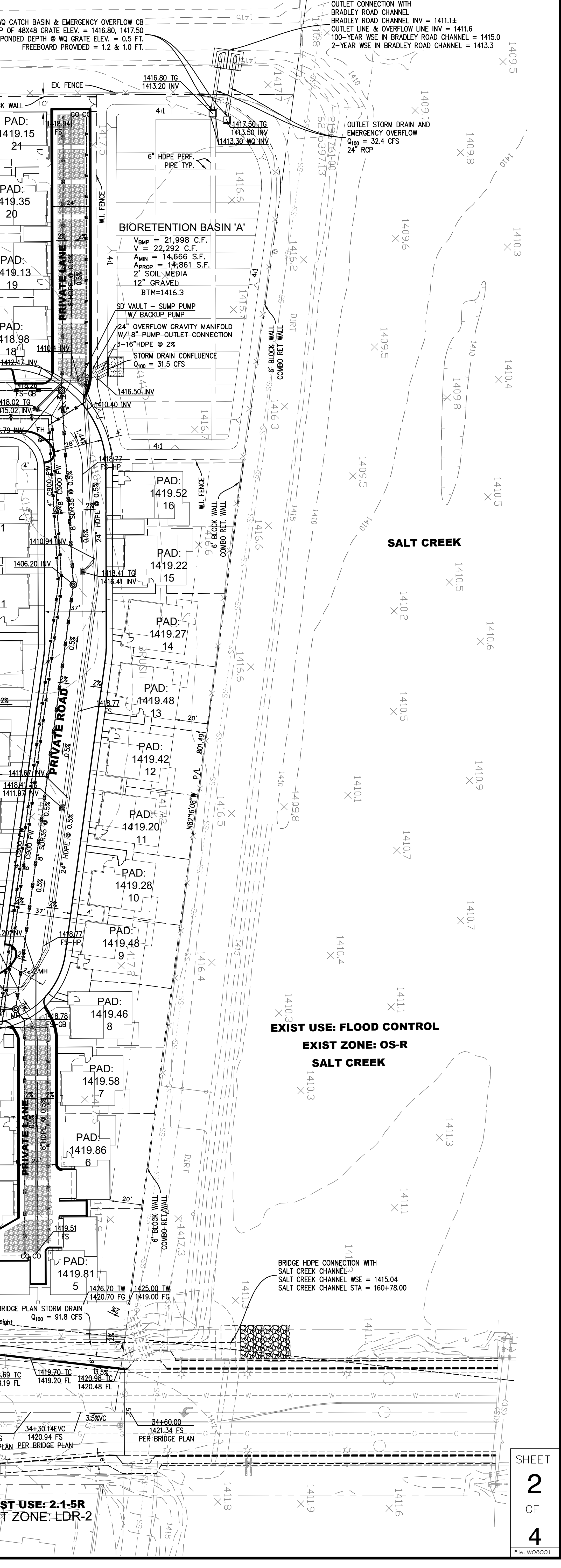
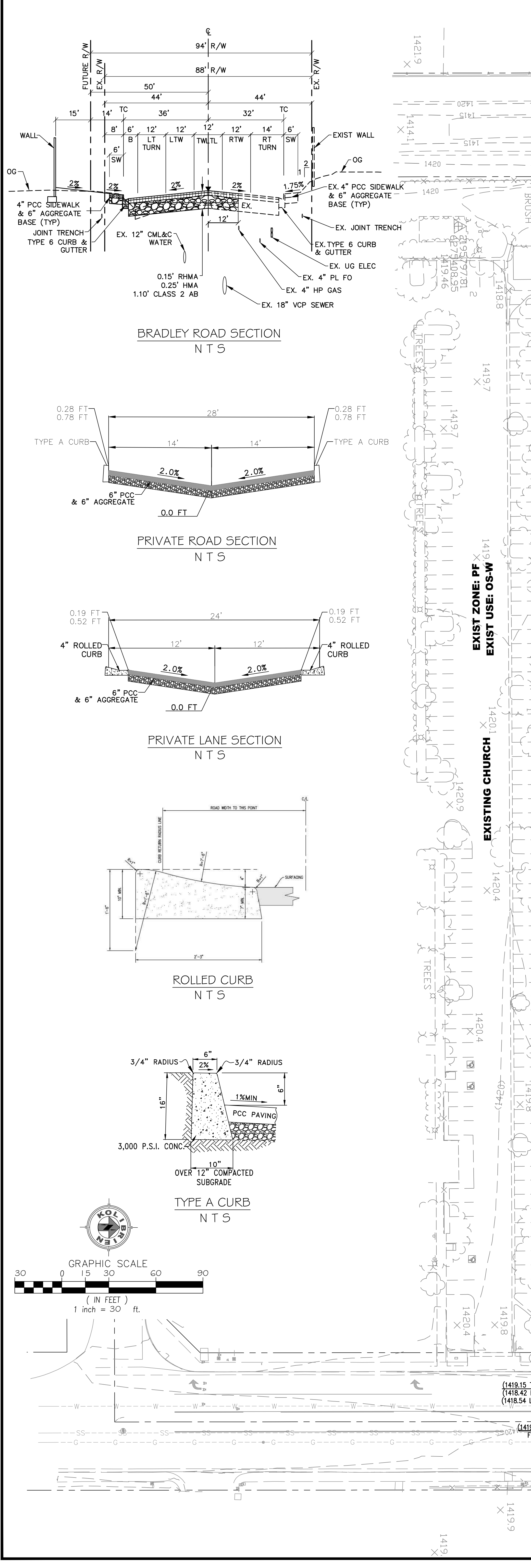
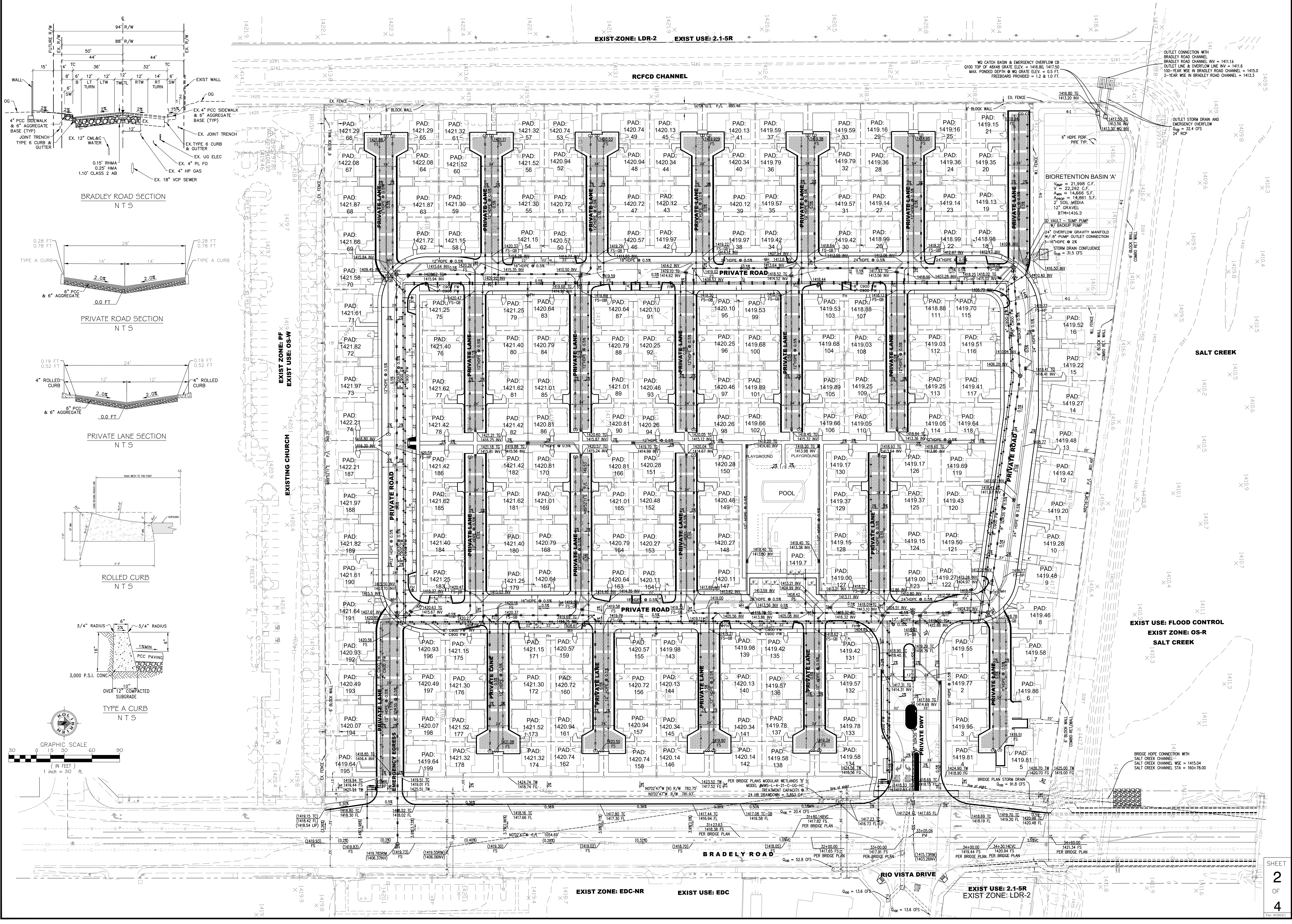
PREPARED BY:

JOHN H. JOHNSON, P.E. 83934
MY REGISTRATION EXPIRES ON 09/30/2021
DATE PREPARED: 04/20/21

KOLIBRIEN
LAND SURVEYING - CIVIL ENGINEERING - STRUCTURAL ENGINEERING

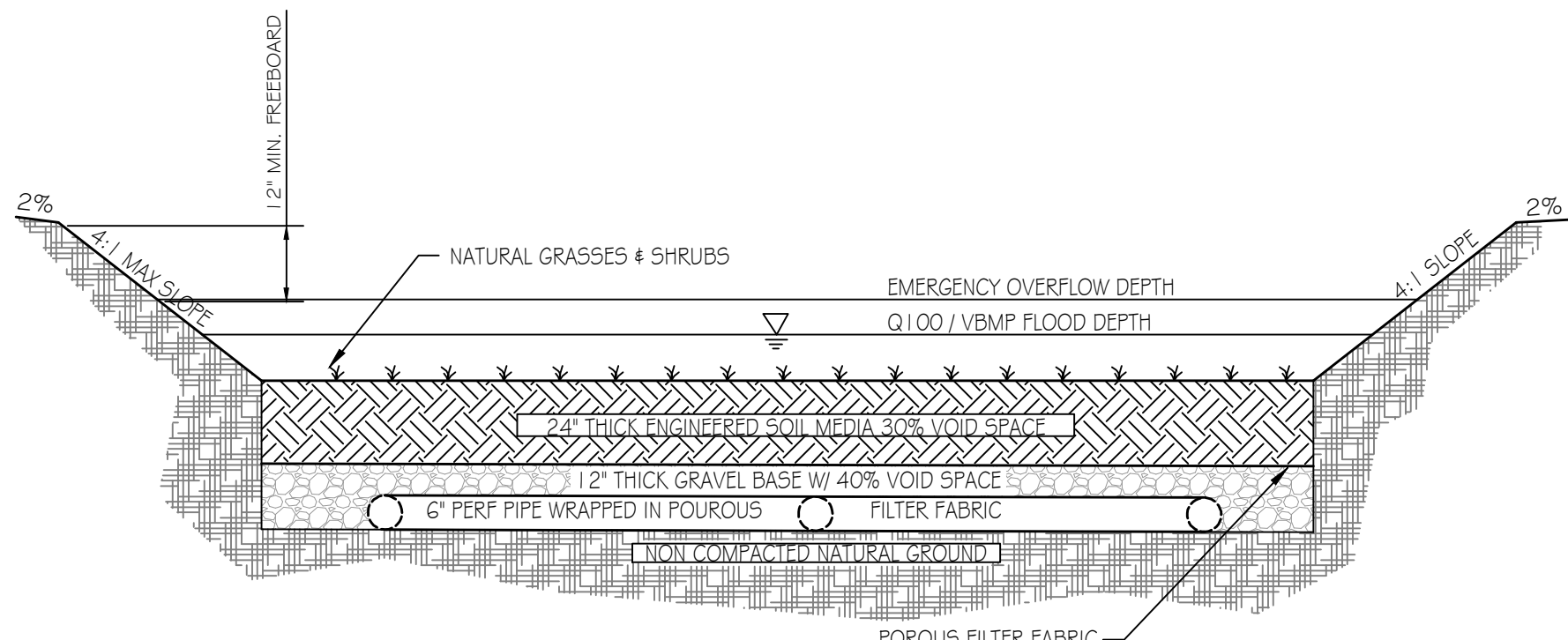
#	DATE	REVISION
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CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN FOR TPM NO. 38219, PLN 21-XXX MENIFEE RIVERWALK - A TOWNHOME DEVELOPMENT

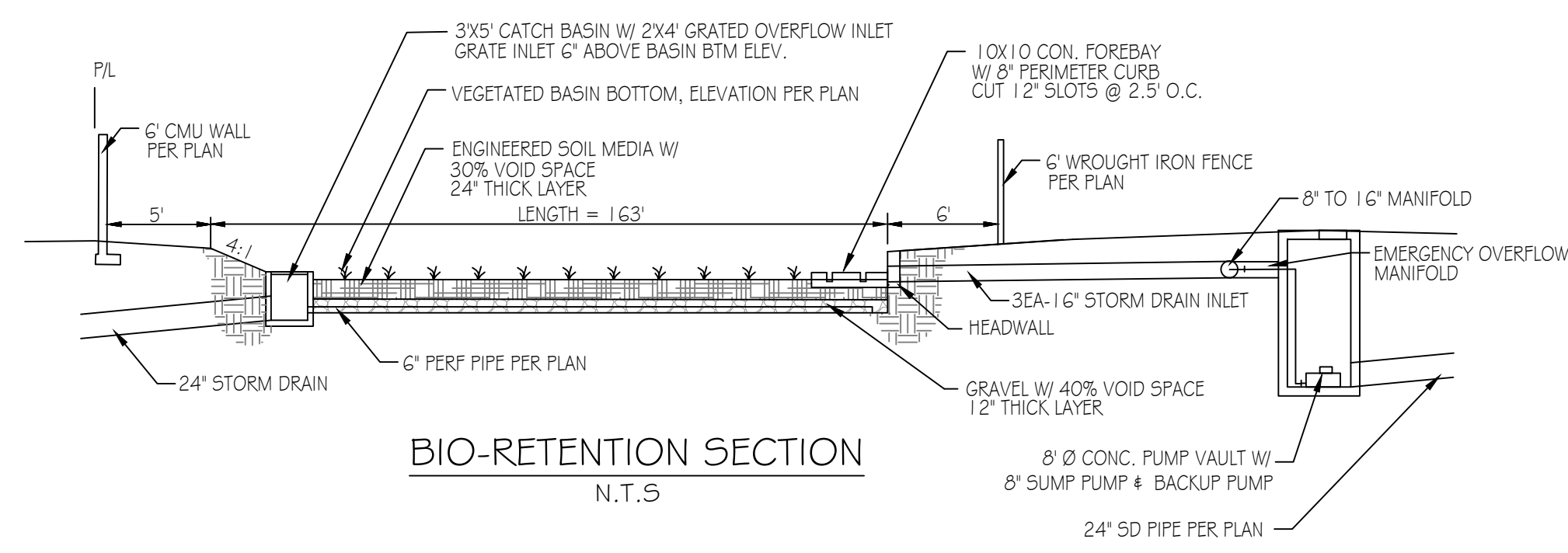


#	DATE	REVISION
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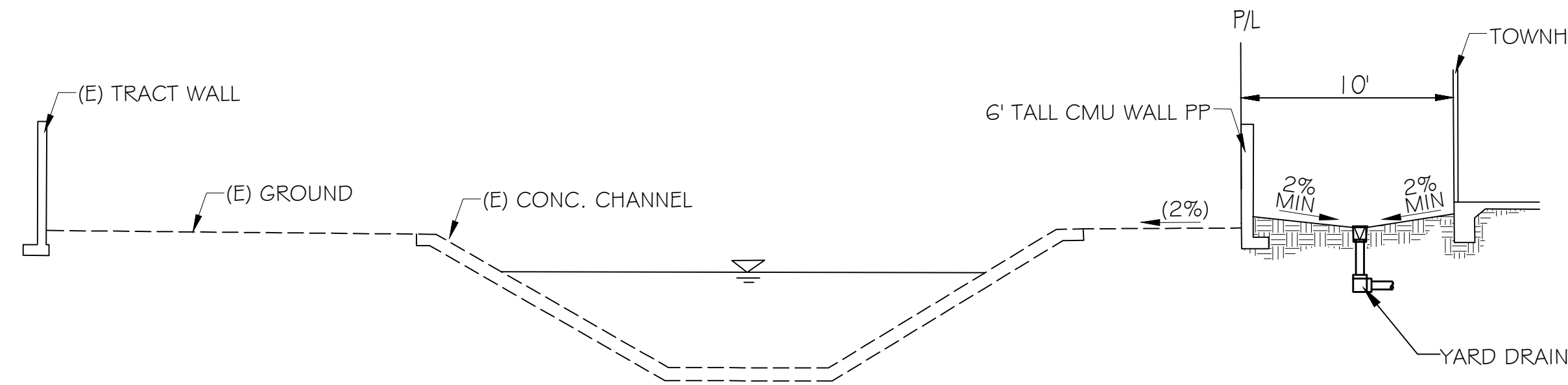
TYPICAL SECTIONS AND DETAILS FOR TPM NO. 38219, PLN 21-XXX MENIFEE RIVERWALK - A TOWNHOME DEVELOPMENT



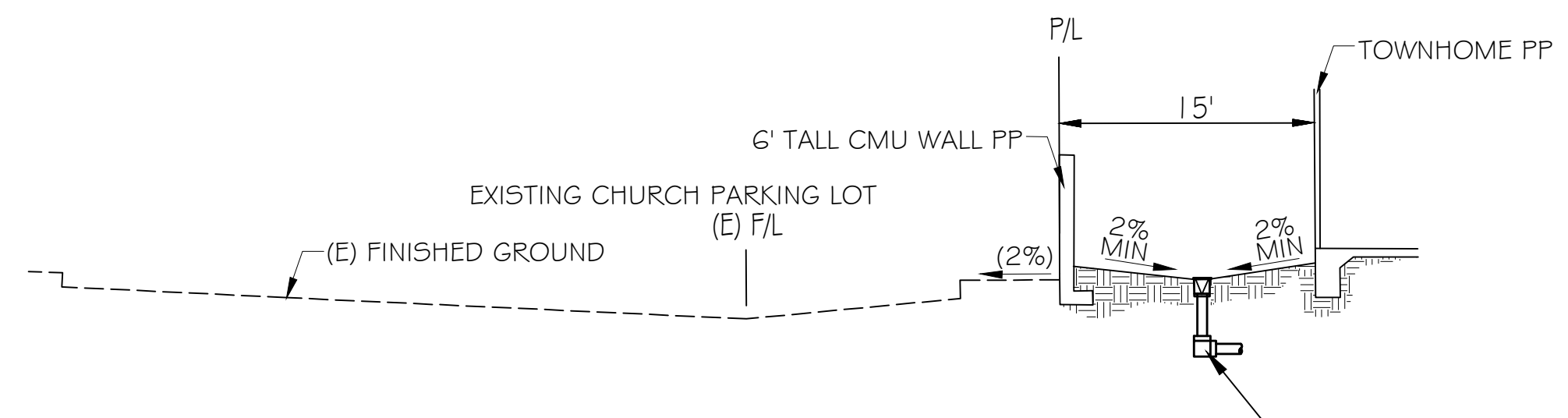
BIO-RETENTION BASIN
N.T.S.



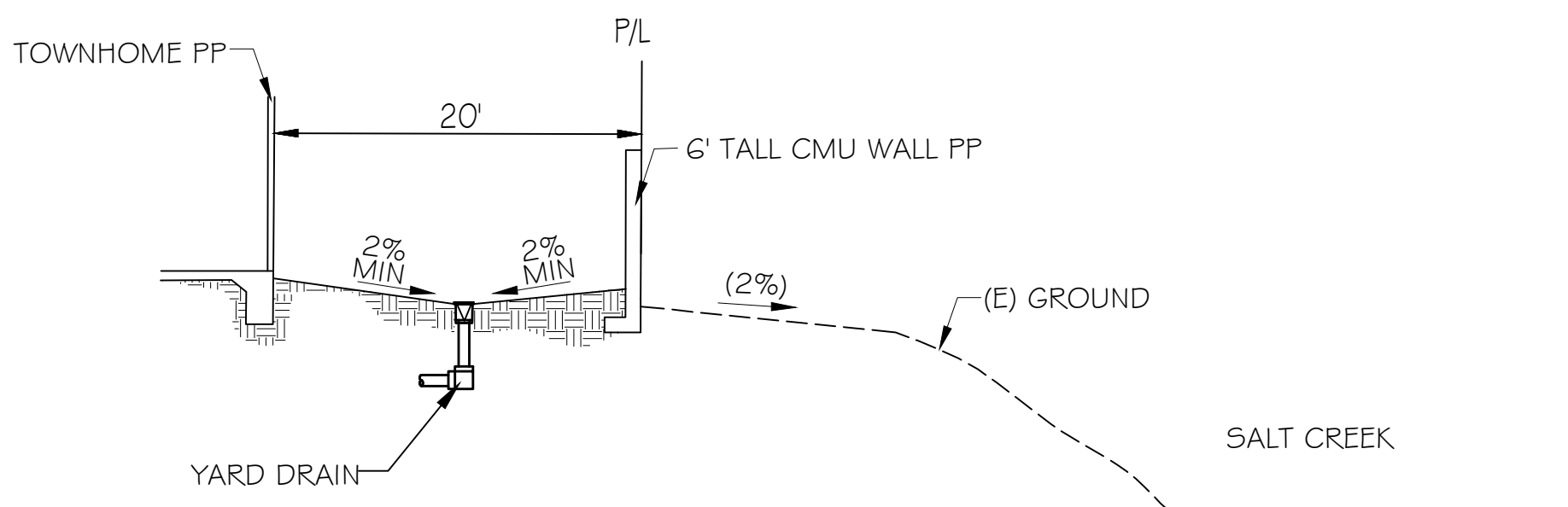
BIO-RETENTION SECTION
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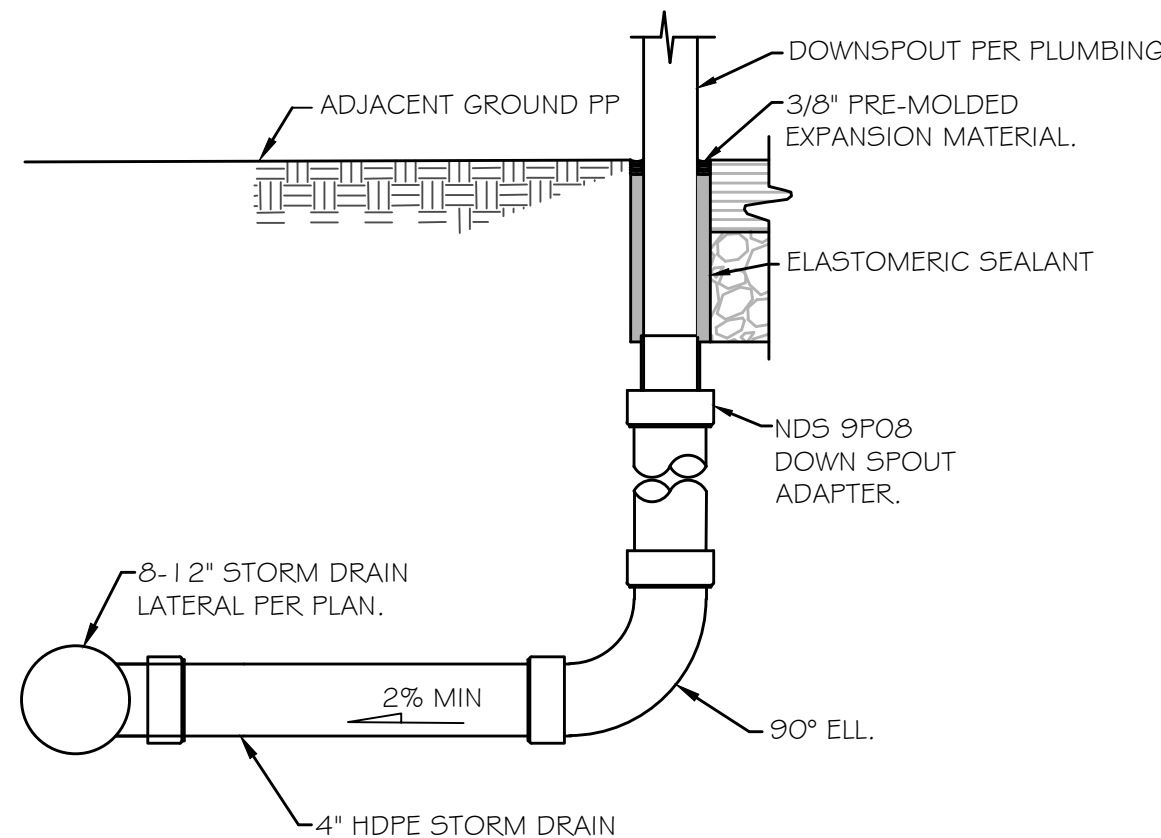
WEST P/L TYPICAL SECTION
N.T.S.



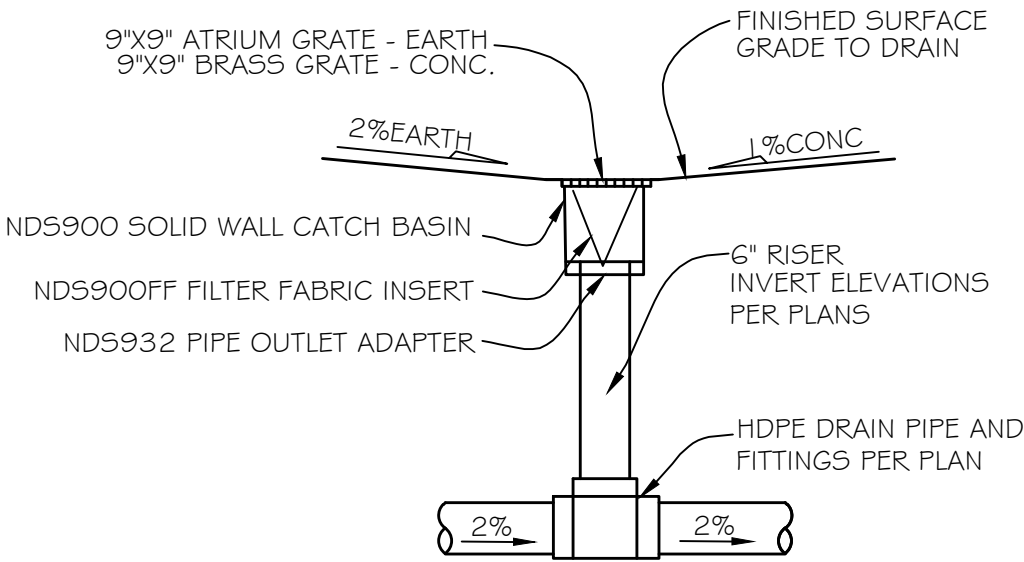
SOUTH P/L TYPICAL SECTION
N.T.S.



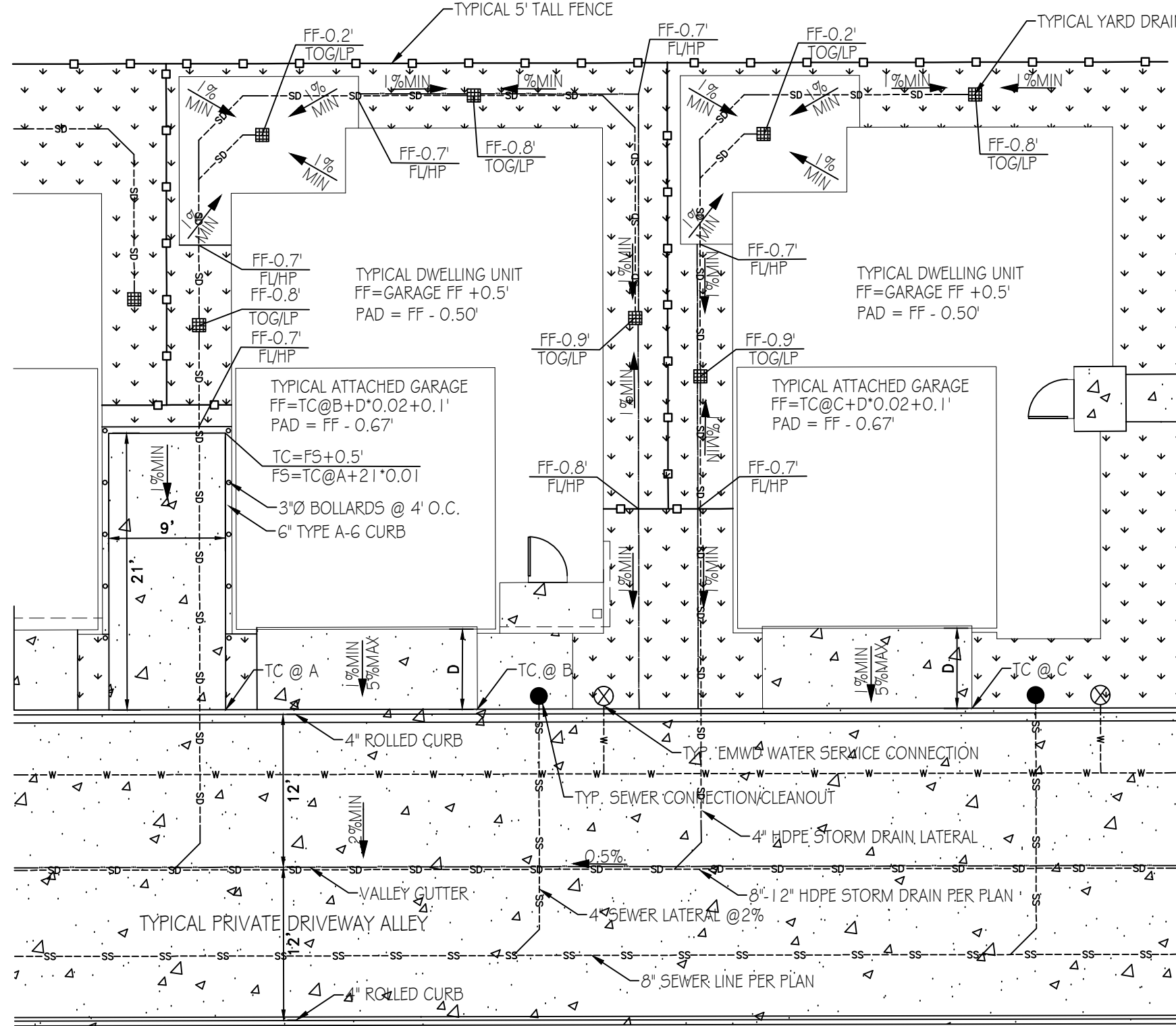
NORTH P/L TYPICAL SECTION
N.T.S.



TYPICAL ROOF DRAIN DETAIL
N.T.S.



TYPICAL YARD DRAIN INLET DETAIL
N.T.S.



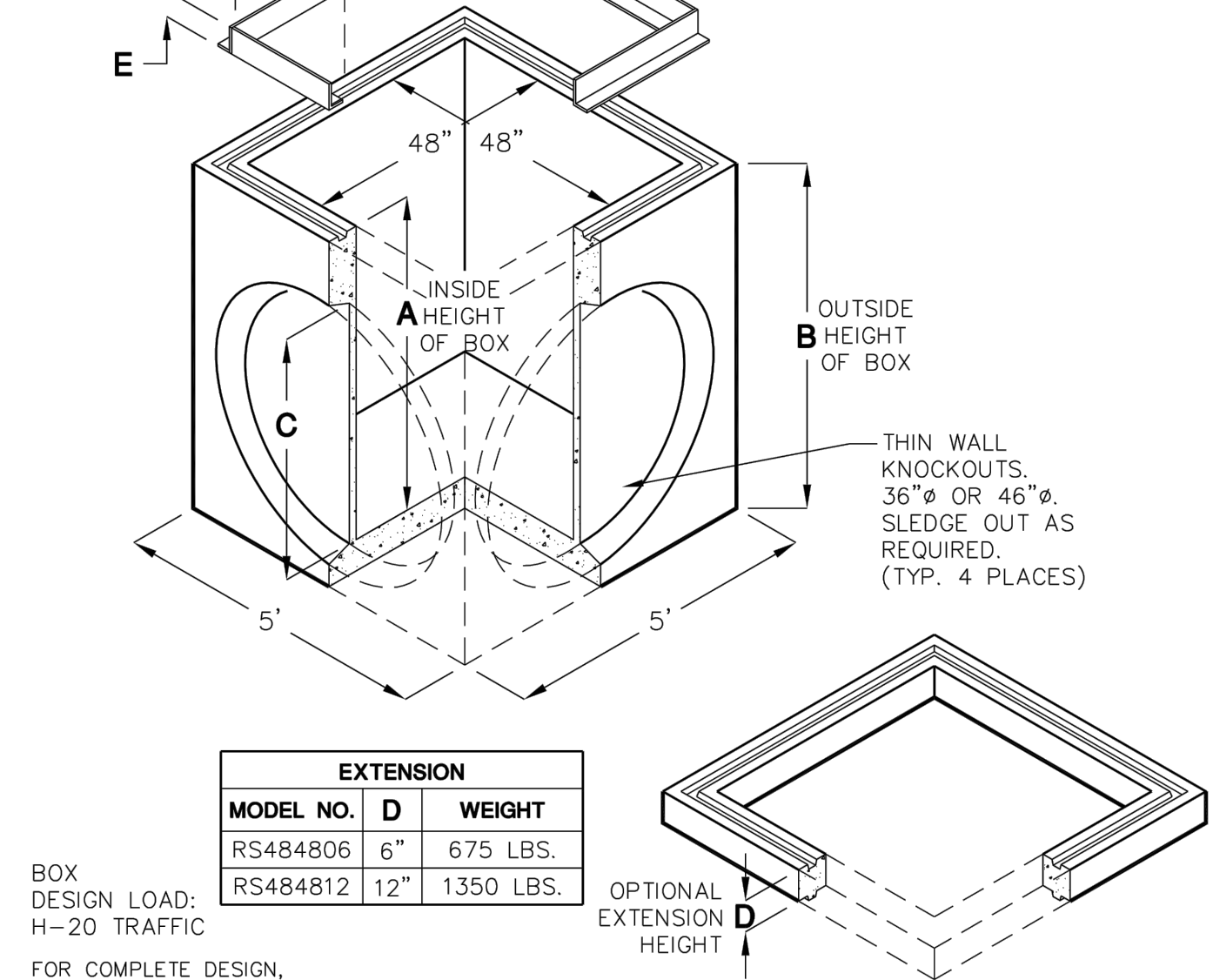
TYPICAL TOWNHOME UNIT GRADING & DRAINAGE
N.T.S.

48"x48" DROP INLET UP TO 6'-0" INSIDE DEPTH

MODEL NO.	RATING	E	WEIGHT
FG4848P	PEDESTRIAN	1 1/2"	242 LBS.
FG4848H	TRAFFIC	5"	1000 LBS.

MODEL NO.	A	B	C	BOX WEIGHT
D4848A85	48"	54"	36"	4395 LBS.
D4848B60	60"	66"	46"	6433 LBS.
D484872	72"	78"	46"	7872 LBS.

*MAX. KNOCKOUT SIZE .36"



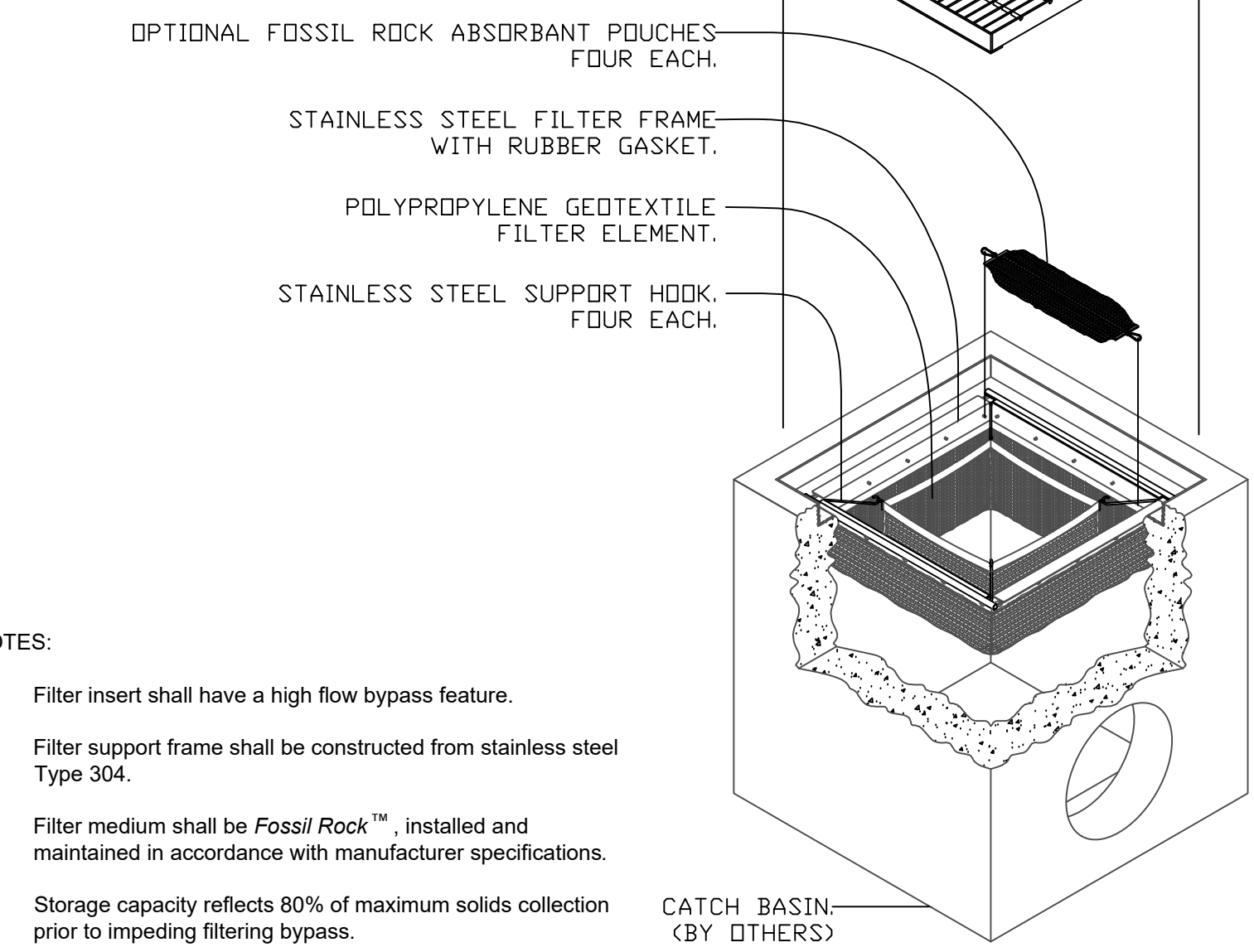
MODEL NO.	D	WEIGHT
RS484806	6"	675 LBS.
RS484812	12"	1350 LBS.

BOX DESIGN LOAD: H-20 TRAFFIC
FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

8/23/00
J4848.dwg
© 2000 Jensen Precast

JENSEN
PRECAST

MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET



NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™, installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

FloGard®
Catch Basin Insert Filter
Grated Inlet Style

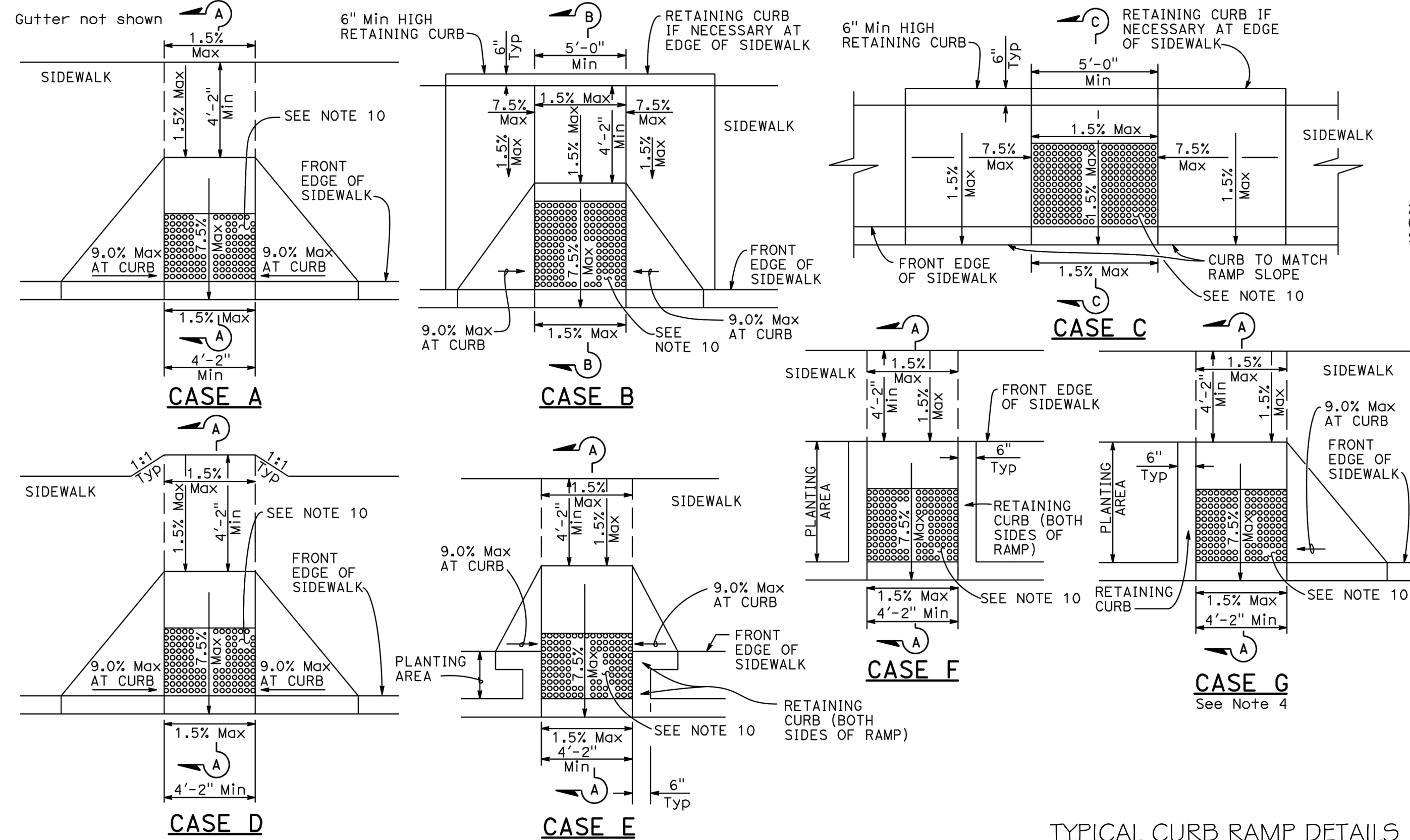
Oldcastle®
Stormwater Solutions
1701 Southpark Plaza, Suite 200, Littleton, CO 80120, Ph: 800.576.8810, oldcastlestormwater.com

FloGard®
Catch Basin Insert Filter
Grated Inlet Style

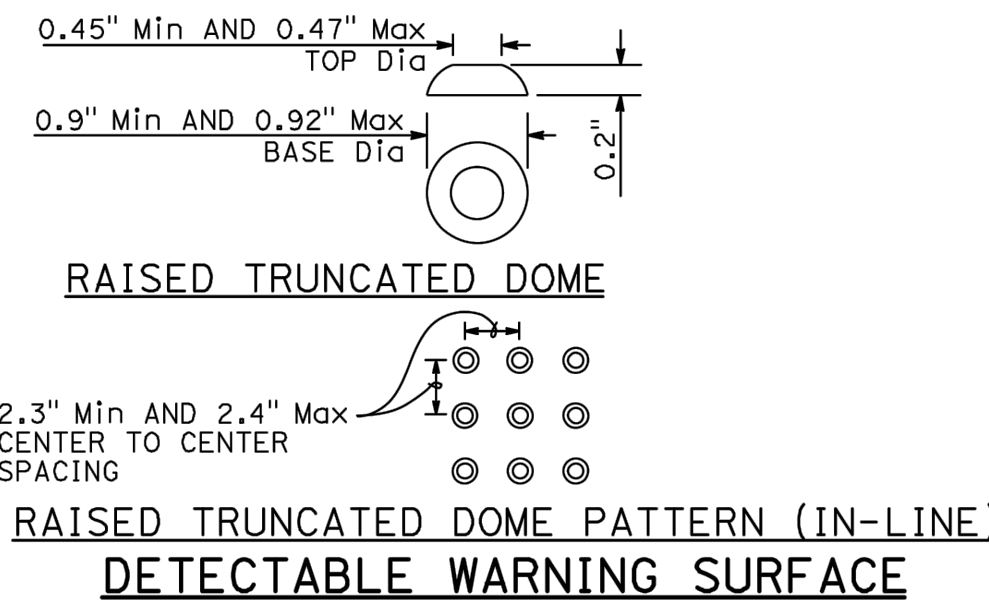
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NOTES:

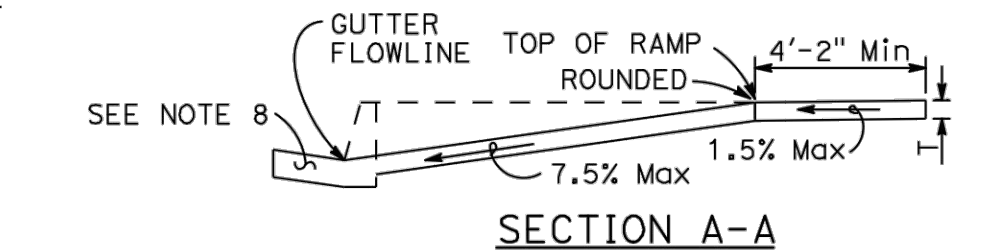
- As site conditions dictate, Case A through Case G curb ramps may be used for corner installations similar to those shown in Detail A and Detail B. The case of curb ramps used in Detail A do not have to be the same. Case A through Case G curb ramps also may be used at mid-block locations, as site conditions dictate, for specific site condition configuration, including the conform to existing sidewalk, see Project Plans.
- If distance from curb to back of sidewalk is too short to accommodate ramp and 4'-2" platform (landing) as shown in Case A, the sidewalk may be depressed longitudinally as in Case B or C or may be widened as in Case D.
- When ramp is located in center of curb return, crosswalk configuration must be similar to that shown for Detail B.
- As site conditions dictate, the retaining curb side and the flared side of the Case G ramp shall be constructed in reversed position.
- The ramp portion of the curb ramp is a typical rectangle, unless modified in the Project Plans.
- Side slope of ramp flares vary uniformly from a maximum of 9.0% at curb to conform with longitudinal sidewalk slope adjacent to top of the ramp, except in Case C and Case F.
- The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.
- Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1V:20H (5.0%). Gutter pan slope shall not exceed 1" of depth for each 2'-0" of width.
- Transition gutter pan slope from 1" of depth for each 2'-0" of width to match typical gutter pan slope per Standard Plan A81A.
- The detectable warning surface will be a rectangle as shown at back of curb, unless modified in the Project Plans. Curb ramps shall have a detectable warning surface that extends the full width and 3'-0" depth of the ramp. Detectable warning surfaces shall extend the full width of the ramp except a maximum gap of 1 inch is allowed on each side of the ramp. Detectable warning surfaces shall conform to the requirements in the Standard Specifications.
- Sidewalk and ramp thickness, "T", shall be 3 1/2" minimum.
- Utility pull boxes, manholes, vaults and all other utility facilities within the boundaries of the curb ramp will be relocated or adjusted to grade by the owner prior to, or in conjunction with, curb ramp construction.
- Detectable warning surface may have to be cut to allow removal of utility covers while maintaining detectable warning width and depth.



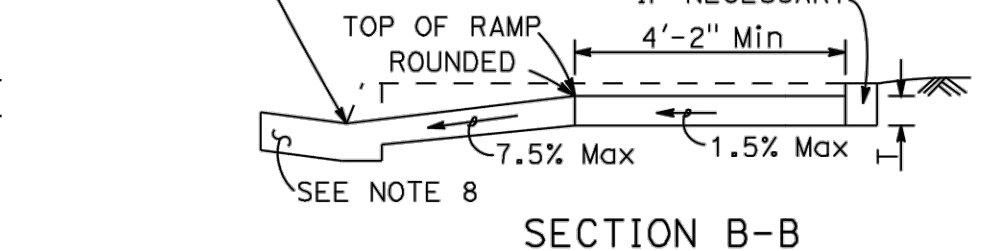
TYPICAL CURB RAMP DETAILS
N.T.S.



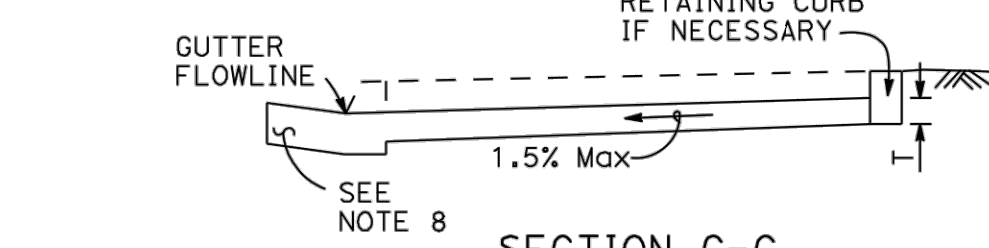
RAISED TRUNCATED DOME
DETECTABLE WARNING SURFACE



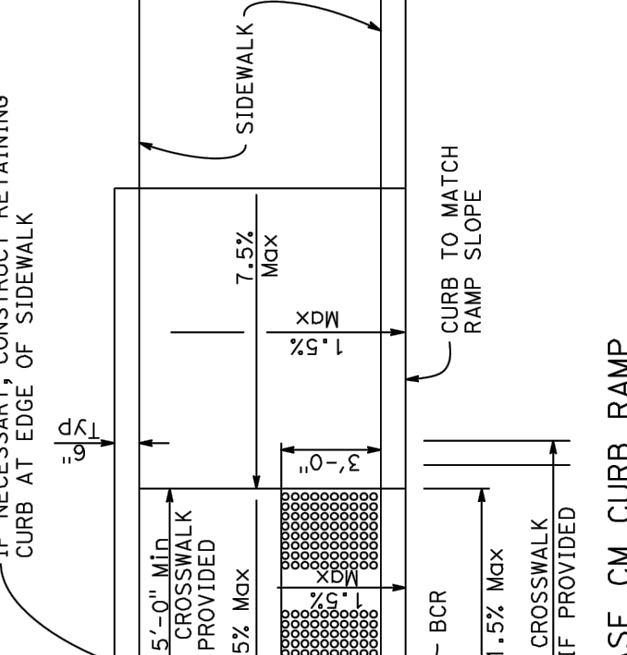
RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE



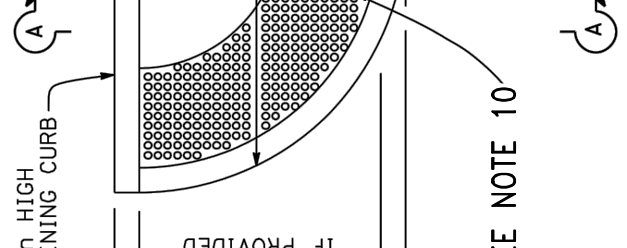
RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE



RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE



RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE



RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE



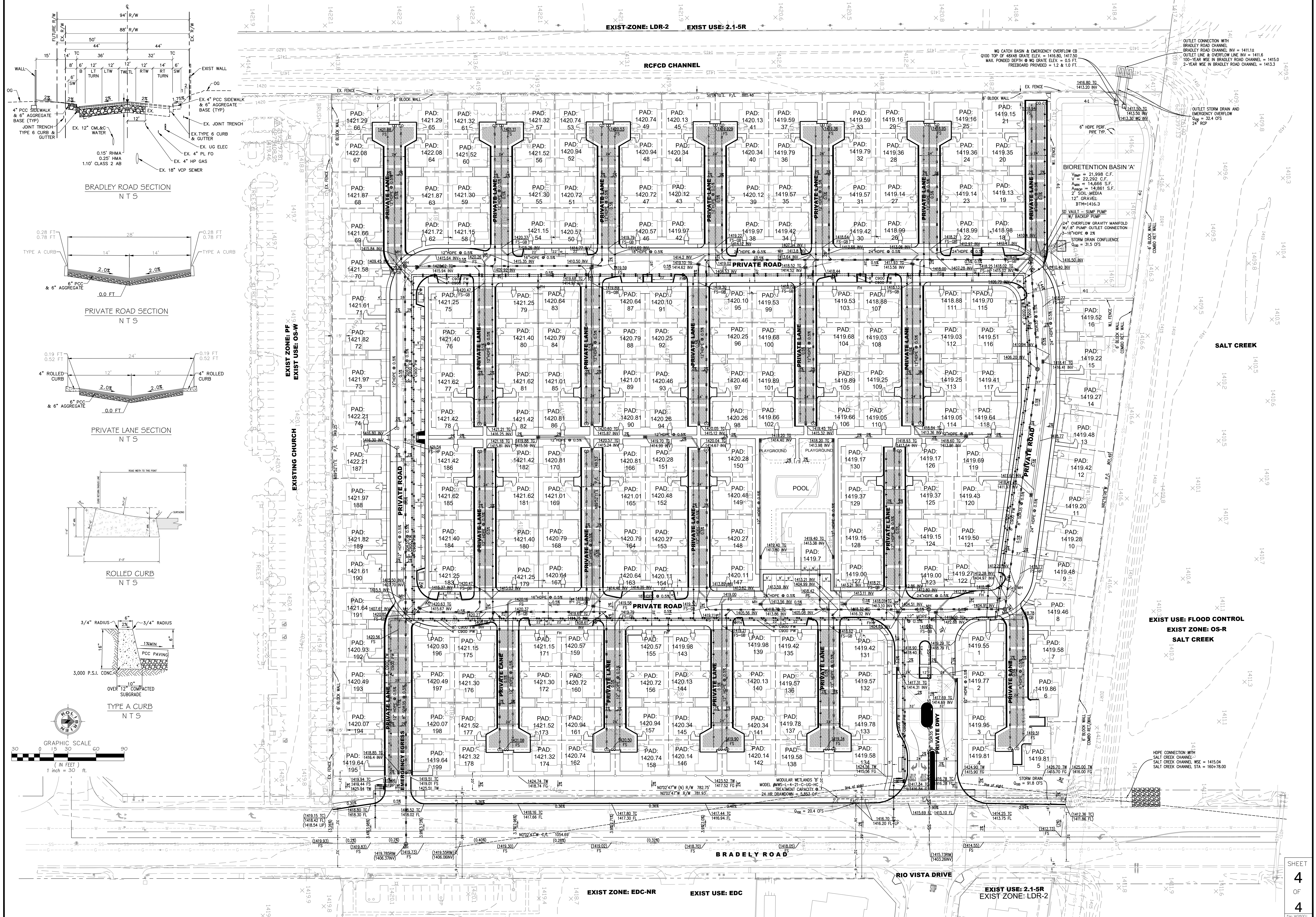
RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE



RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE

#	DATE	REVISION
1	10/20/21	corrections per city plan check #1

ALTERNATE (PRIOR TO BRIDGE CONSTRUCTION)
CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN FOR TPM NO. 38219, PLN 21-XXX
MENIFEE RIVERWALK - A TOWNHOME DEVELOPMENT



RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

LEGAL DESCRIPTION

PARCEL 1

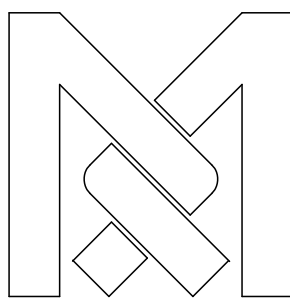
THE NORTH HALF OF PARCEL 8 OF PARCEL MAP 6252, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 17, PAGE 3 OF PARCEL MAPS, ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWESTERLY CORNER OF SAID PARCEL 8:
THENCE SOUTH 81° 40' 19" EAST, 790.68 FEET;
THENCE SOUTH 00° 33' 19" WEST, 503.49 FEET;
THENCE NORTH 89° 30' 50" WEST, 782.68 FEET;
THENCE NORTH 00° 29' 10" EAST, 611.37 FEET TO THE POINT OF BEGINNING.
EXCEPTING THEREFROM ANY PORTION WITHIN THE NORTH HALF OF THE SOUTH HALF OF SAID PARCEL 8 AS CONVEYED BY DEED RECORDED JULY 21, 1978 AS INSTRUMENT NO. 151664.
ALSO EXCEPT THAT PORTION CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT BY A DOCUMENT RECORDED JUNE 1, 1990 AS INSTRUMENT NO. 202004.

PARCEL 2

THE NORTH HALF OF THE SOUTH HALF OF PARCEL 8 OF PARCEL MAP 6252, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 17, PAGE 3, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPT THEREFROM THAT PORTION CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, BY DOCUMENT RECORDED SEPTEMBER 12, 1990 AS INSTRUMENT NO. 339109, OF OFFICIAL RECORDS.

DRAWING INDEX

T	TITLE
A-1	SITE PLAN
A-2	FIRE AND TRASH TRUCK CIRCULATION PLAN
A-3	TRASH COLLECTION PLAN
A-4	MOVING TRUCK CIRCULATION PLAN
A-5	DISABLED ACCESS PLAN
A-6	TYPICAL CLUSER PLAN 1
A-7	TYPICAL CLUSTER PLAN 2
A-8	TURN RADIUS DIAGRAMS
A-9	PRIVATE GARAGE & FIRE ACCESS PLANS
A-10	FIRE ACCESS PLAN 2
A-11	MAIN ENTRY PLAN
A-12	PHASING PLAN
A-13	SITE DETAILS & BUILDING SECTION
A-14	RECREATION BUILDING PLAN
A-15	RECREATION BUILDING ELEVATIONS
1(1)	PLAN 1 FLOOR PLANS
2(1)	PLAN 1 ROOF PLANS
3(1)	PLAN 1 FRONT & GARAGE SIDE ELEVATIONS- ROOF A
4(1)	PLAN 1 FRONT & GARAGE SIDE ELEVATIONS- ROOF B
5(1)	HACIENDA / ROOF A & B, SIDE YARD & REAR ELEVATIONS
6(1)	BUNGALOW / ROOF A & B, SIDE YARD & REAR ELEVATIONS
7(1)	PRAIRIE / ROOF A & B, SIDE YARDS & REAR ELEVATIONS
1(2)	PLAN 2.0 & 2.1 FLOOR PLANS
2(2)	PLAN 2.0 ROOF PLANS A & B
3(2)	PLAN 2.1 ROOF PLANS A, B & C
4(2)	PLAN 2.0 & 2.1 FRONT ELEVATIONS - ROOFS A, B & C
5(2)	PRAIRIE 2.0 / ROOF A, SIDE YARDS & REAR ELEVATIONS
6(2)	BUNGALOW 2.0 / ROOF B, SIDE YARDS & REAR ELEVATIONS
7(2)	HACIENDAS 2.0 / ROOF B, SIDE YARDS & REAR ELEVATIONS
8(2)	PRAIRIE 2.1 / ROOF A, SIDE YARDS & REAR ELEVATIONS
9(2)	BUNGALOW 2.1 / ROOF B, SIDE YARDS & REAR ELEVATIONS
10(2)	HACIENDAS 2.1 / ROOF C, SIDE YARDS & REAR ELEVATIONS
1(3)	PLAN 3 FLOOR PLANS
2(3)	PLAN 3 ROOF PLANS
3(3)	PLAN 3 FRONT & GARAGE SIDE ELEVATIONS
4(3)	PRAIRIE / ROOF AG & AH, SIDE AND REAR ELEVATIONS
5(3)	PRAIRIE / ROOF B, SIDE & REAR ELEVATIONS
6(3)	HACIENDA / ROOFS AG & AH, SIDE AND REAR ELEVATIONS
7(3)	BUNGALOW / ROOFS B & C, SIDE AND REAR ELEVATIONS
1(4)	PLAN 4 FLOOR PLANS
2(4)	PLAN 4 ROOF PLAN
3(4)	PLAN 4 FRONT & GARAGE SIDE ELEVATIONS
4(4)	PLAN 4 SIDE & REAR ELEVATIONS



RANDY MORRIS ARCHITECT
45120 VIA CARINA
INDIAN WELLS, CA 92210
T. (310) 809-6745
E-MAIL rj.morris3@verizon.net

owner:
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740
T. (562) 438-9804
EMAIL: alwomble@alwomble.com

DATE: OCTOBER 18, 2021
SHEET T



PROJECT DATA

ASSESSORS PARCEL NUMBERS 338-150-046 AND 338-150-031
EXISTING ZONE: MDR
EXISTING USE: VACANT
PROPOSED ZONE: MDR - 8-14 UNITS/ACRE
PROPOSED OCCUPANCY/USE: SINGLE FAMILY RESIDENCES
623,551 SF GROSS AREA, 14.31 ACRES
618,836 SF NET AREA, 14.22 ACRES
DENSITY ALLOWED: 14.206 AC. X 14 U/A = 198 UNITS
TOTAL BUILDING AREA: 348,703 SF RESIDENTIAL + 2,800 SF ACCESSORY

PARKING REQUIRED:
2 SPACES IN GARAGES
+ 1/10 UNITS GUEST PARKING (20)
= 416 TOTAL SPACES

PARKING PROPOSED:
2 SPACES IN GARAGES
+ 50 ASSIGNED SPACES
+ 45 GUEST SPACES
= 491 TOTAL SPACES (2.48/UNIT)

SITE COVERAGE DATA			
PLAN 1	1,042 SF/U	68,772 SF	
PLAN 2	1,016 SF/U	59,944 SF	
PLAN 3	1,023 SF/U	51,150 SF	
PLAN 4	1,101 SF/U	25,323 SF	
REC BLDG		2,800 SF	
TOTAL		207,989 SF	33.6%
LANDSCAPE AREA		173,935 SF	27.9%
PUBLIC		83,955 SF	13.4%
PRIVATE		89,980 SF	14.5%
HARD SURFACE AREA		233,136 SF	37.8%

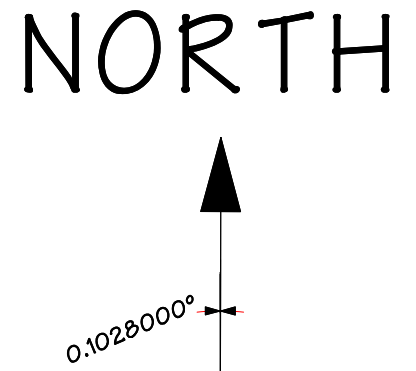
UNIT COUNT			
PLAN #1	66	1,716 SF	113,356 SF
PLAN #2	59	1,775 SF	104,725 SF
PLAN #3	50	1,755 SF	87,750 SF
PLAN #4	23	1,864 SF	43,872 SF
	198		348,703 SF

REVISIONS	
DATE	

● TYPICAL GANGED MAILBOX
14 LOCATIONS

■ TYPICAL PAD MOUNTED
ELECTRICAL TRANSFORMERS

NOTE -
ALL UTILITIES ARE TO BE INSTALLED
UNDERGROUND



VICINITY MAP

SITE PLAN

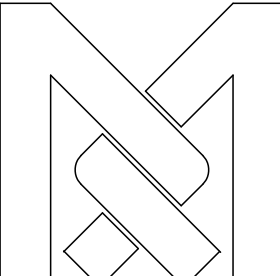
RIVER WALK VILLAGE

BRADLEY ROAD, MENIFEE

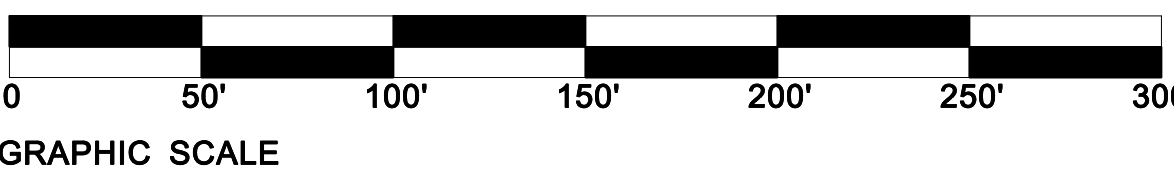
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: FEBRUARY 11, 2022

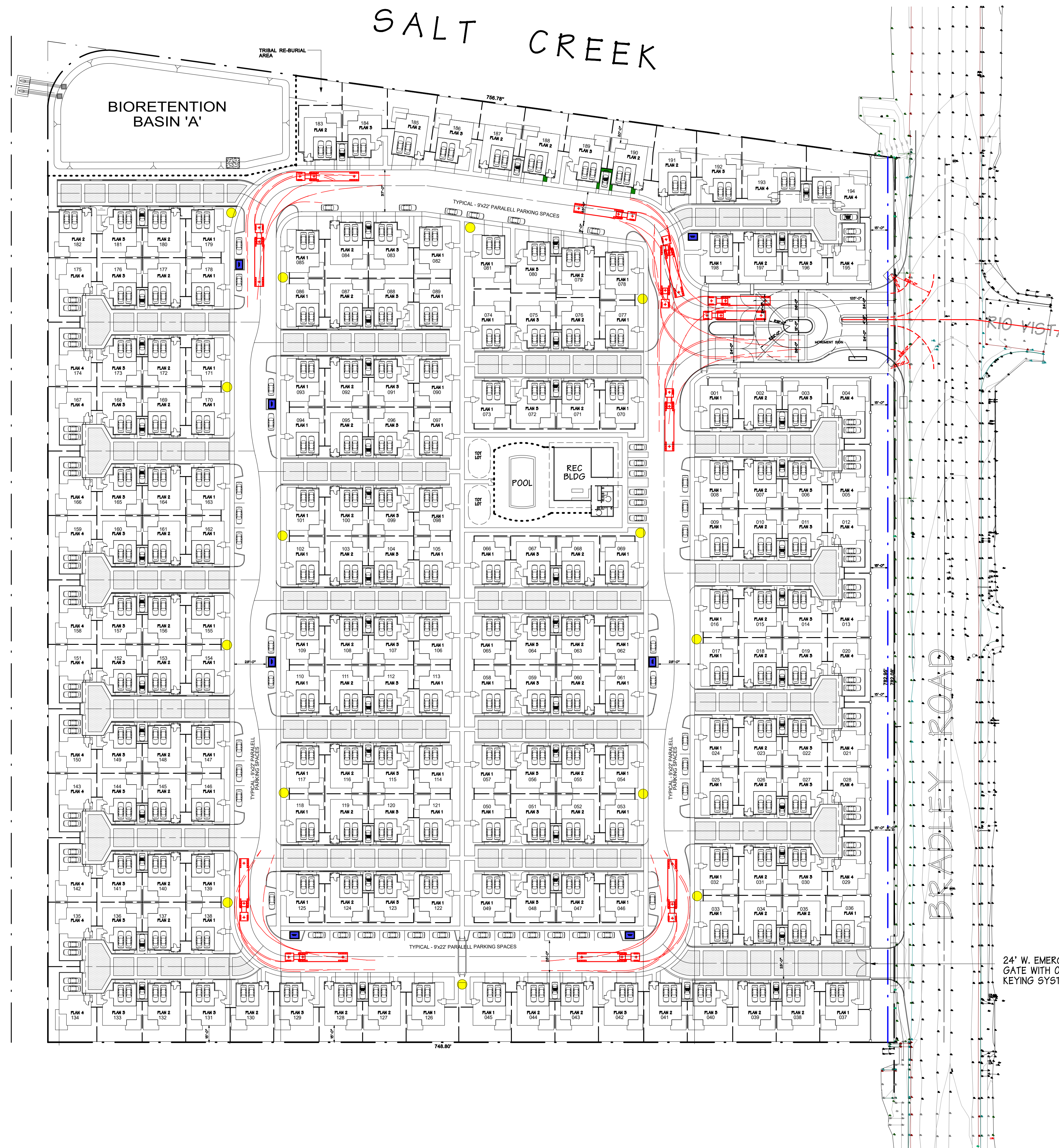
SHEET A-1



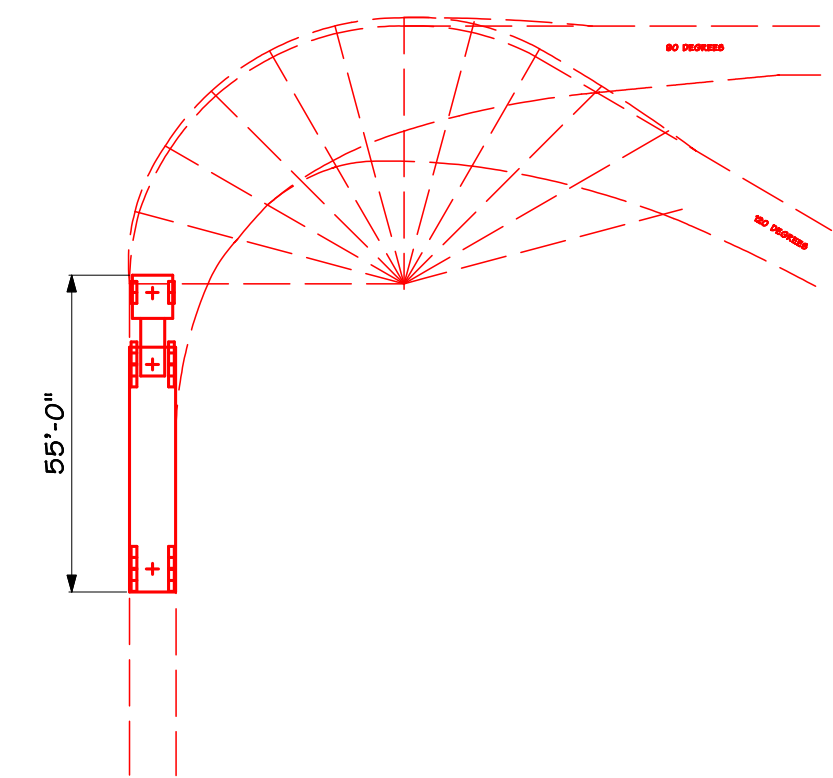
RANDY MORRIS ARCHITECT
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The property is NOT within a high fire hazard severity zone, as determined by the Department of Forestry and Fire Protection pursuant to Section 51178.

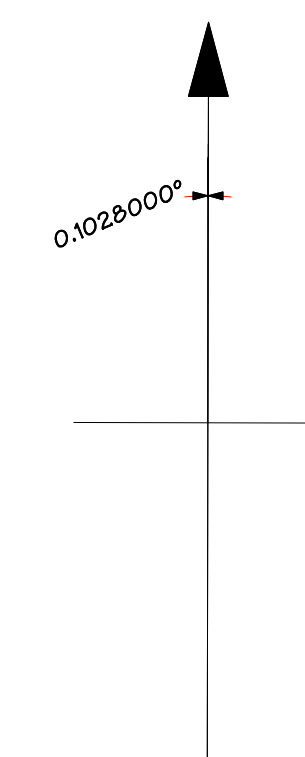


MOVING TRUCK CIRCULATION

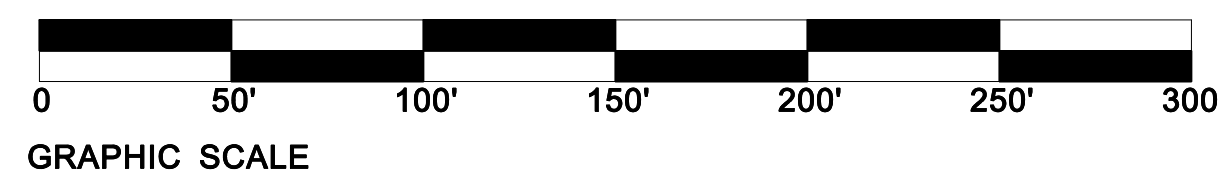


WB-50 TURNING TEMPLATE

NORTH



24' W. EMERGENCY ONLY ACCESS
GATE WITH OPTICON AND KNOX
KEYING SYSTEM



GRAPHIC SCALE

SITE PLAN

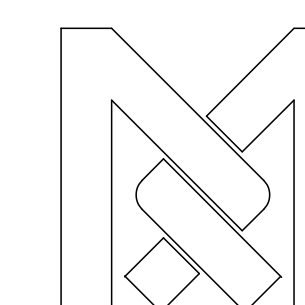
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC

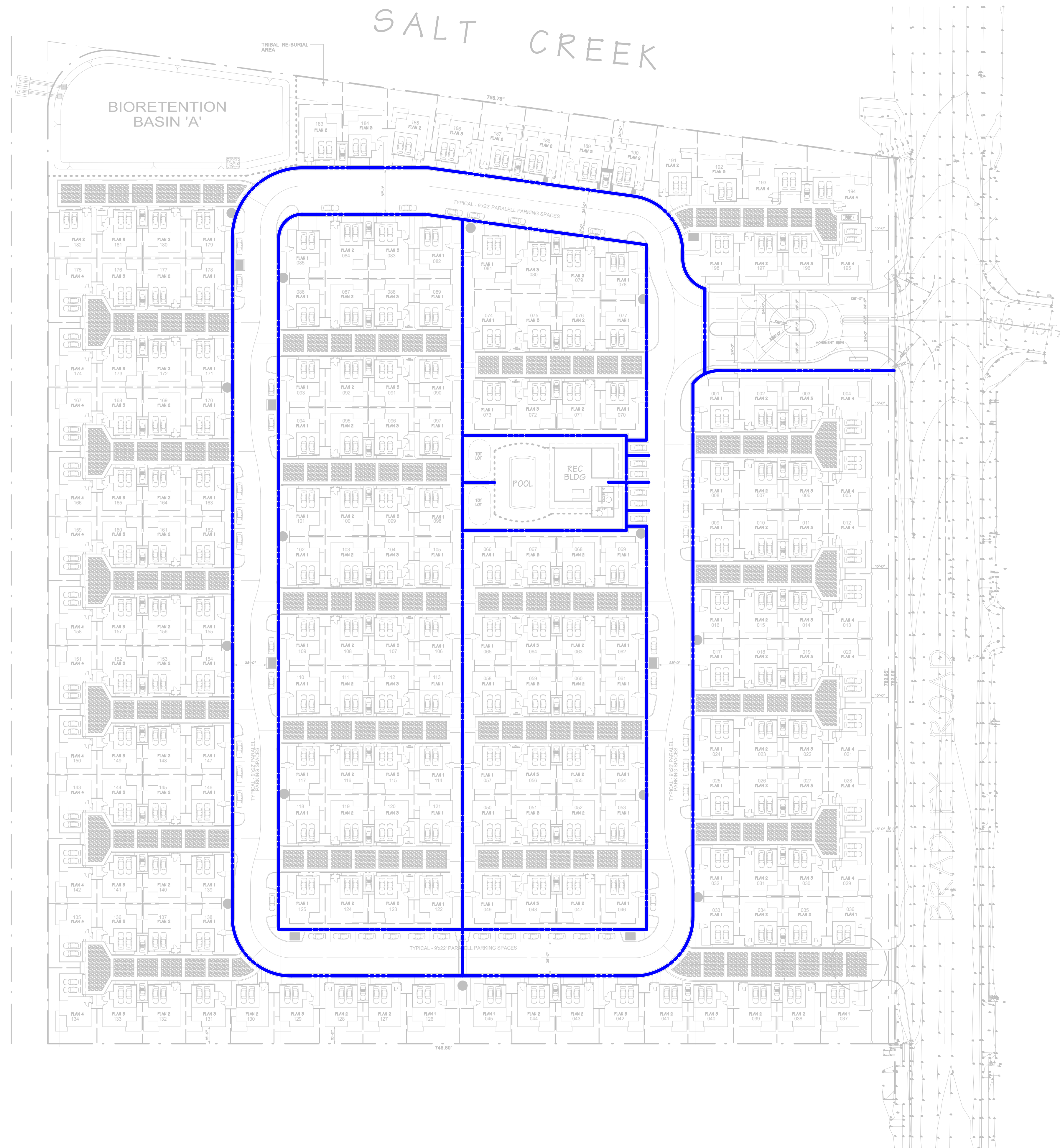
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: FEBRUARY 11, 2022

SHEET A-2



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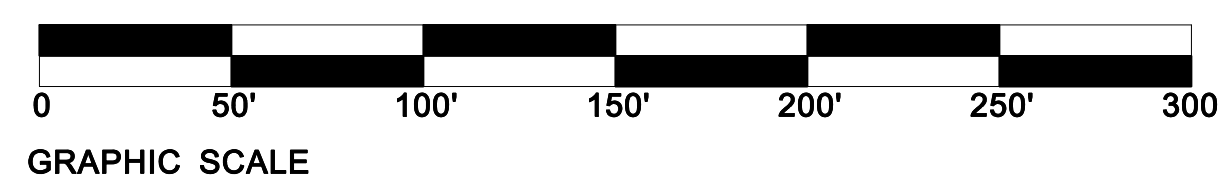
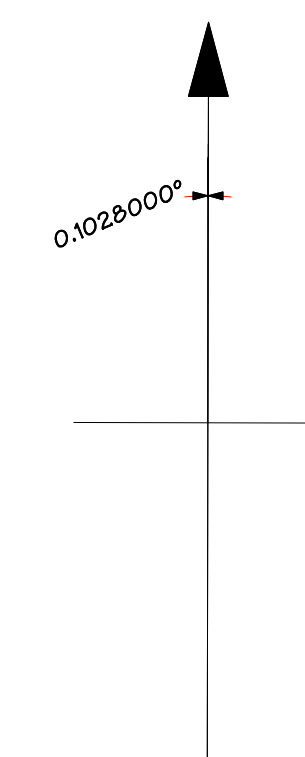


DISABLED ACCESS PLAN

————— PATH OF TRAVEL

DISABLED ACCESS NOTE:
DETACHED SINGLE FAMILY DWELLINGS ARE EXEMPT FROM REQUIRING DISABLED ACCESS TO THEIR MAIN ENTRIES AND WITHIN THE DWELLING UNIT. PUBLIC SIDEWALKS PROVIDING ACCESS TO PUBLIC USE AREAS ARE REQUIRED TO PROVIDE DISABLED ACCESS VIA AN ACCESSIBLE ROUTE AND ACCESSIBLE PARKING LOCATED NEAREST TO THOSE PUBLIC USE AREAS.

NORTH

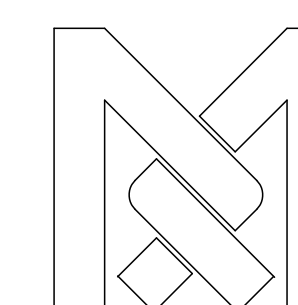


GRAPHIC SCALE

SITE PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

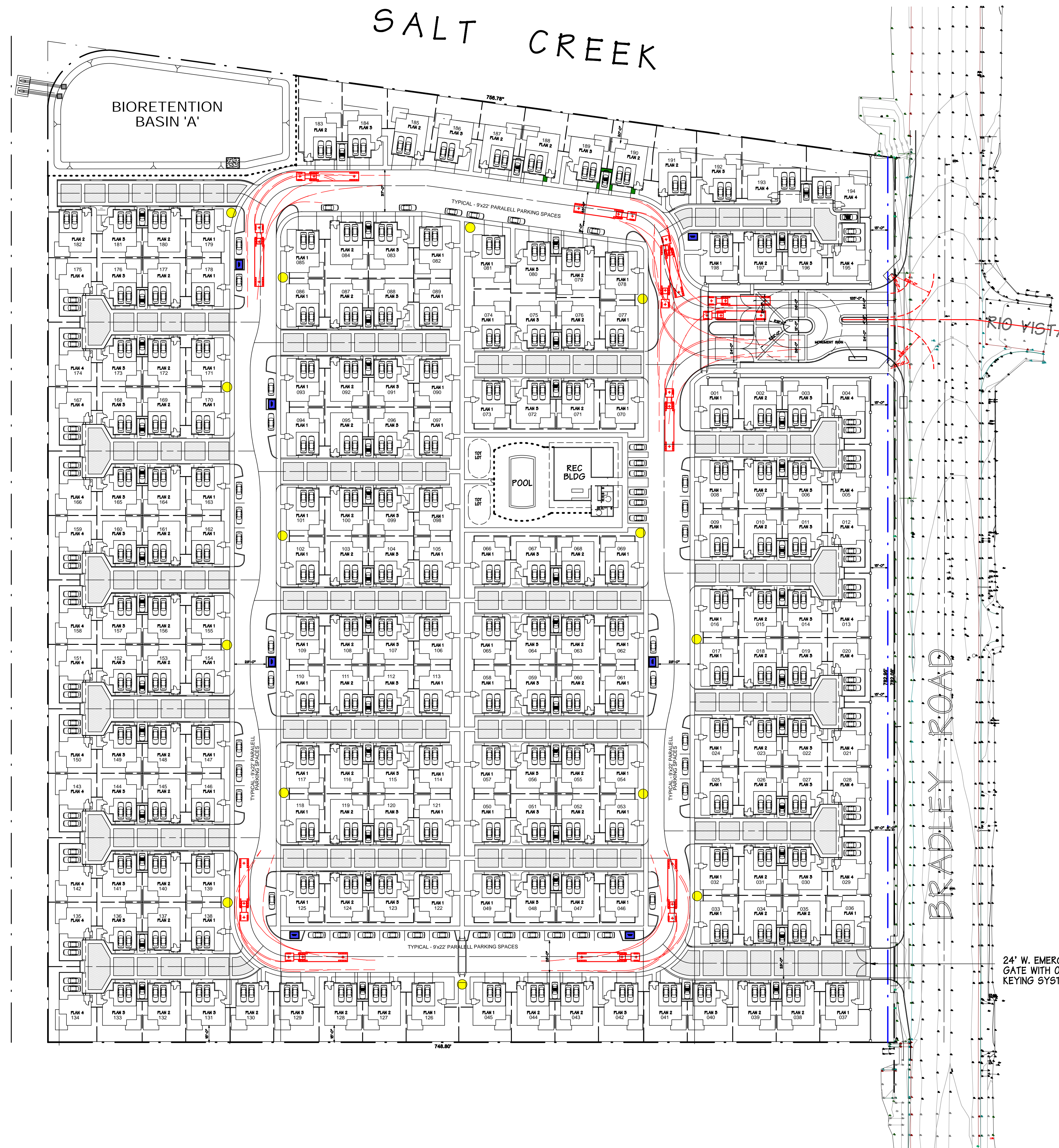
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740



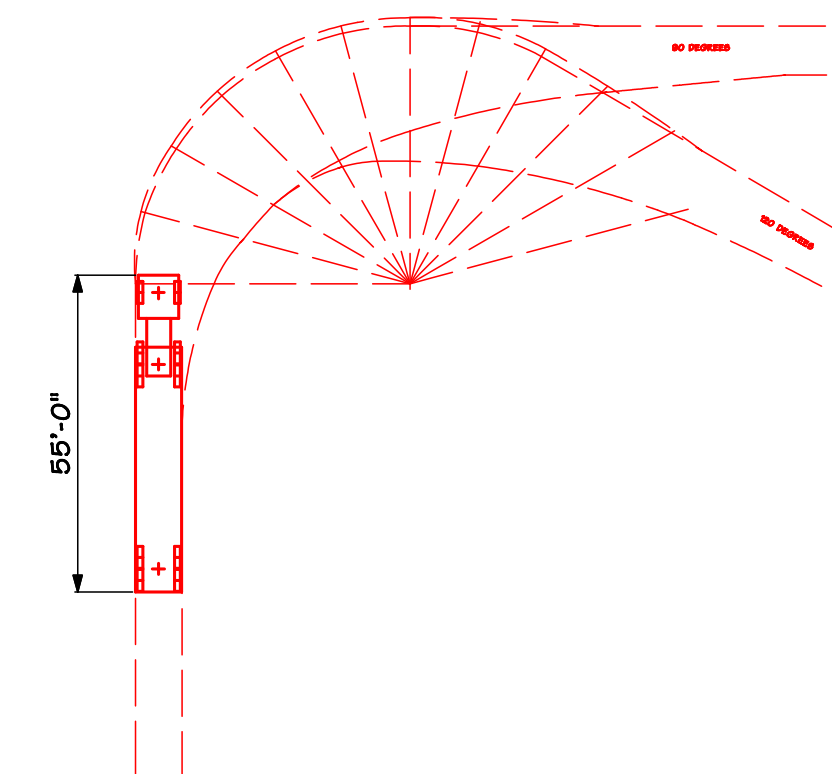
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E-MAIL rj.morris3@verizon.net

SCALE: 1/4" = 1'-0"
DATE: FEBRUARY 11, 2022

SHEET A-3

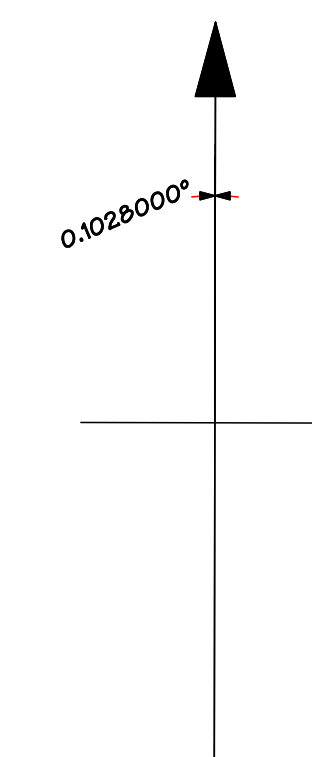


MOVING TRUCK CIRCULATION

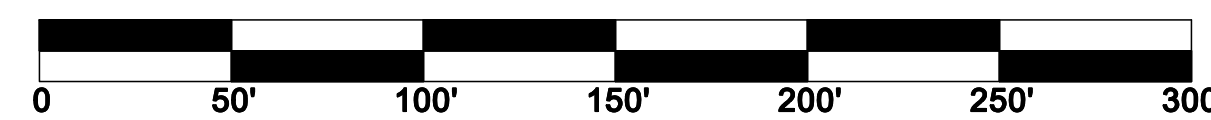


WB-50 TURNING TEMPLATE

NORTH



24' W. EMERGENCY ONLY ACCESS
GATE WITH OPTICON AND KNOX
KEYING SYSTEM

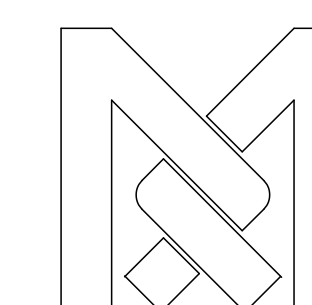


GRAPHIC SCALE

SITE PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

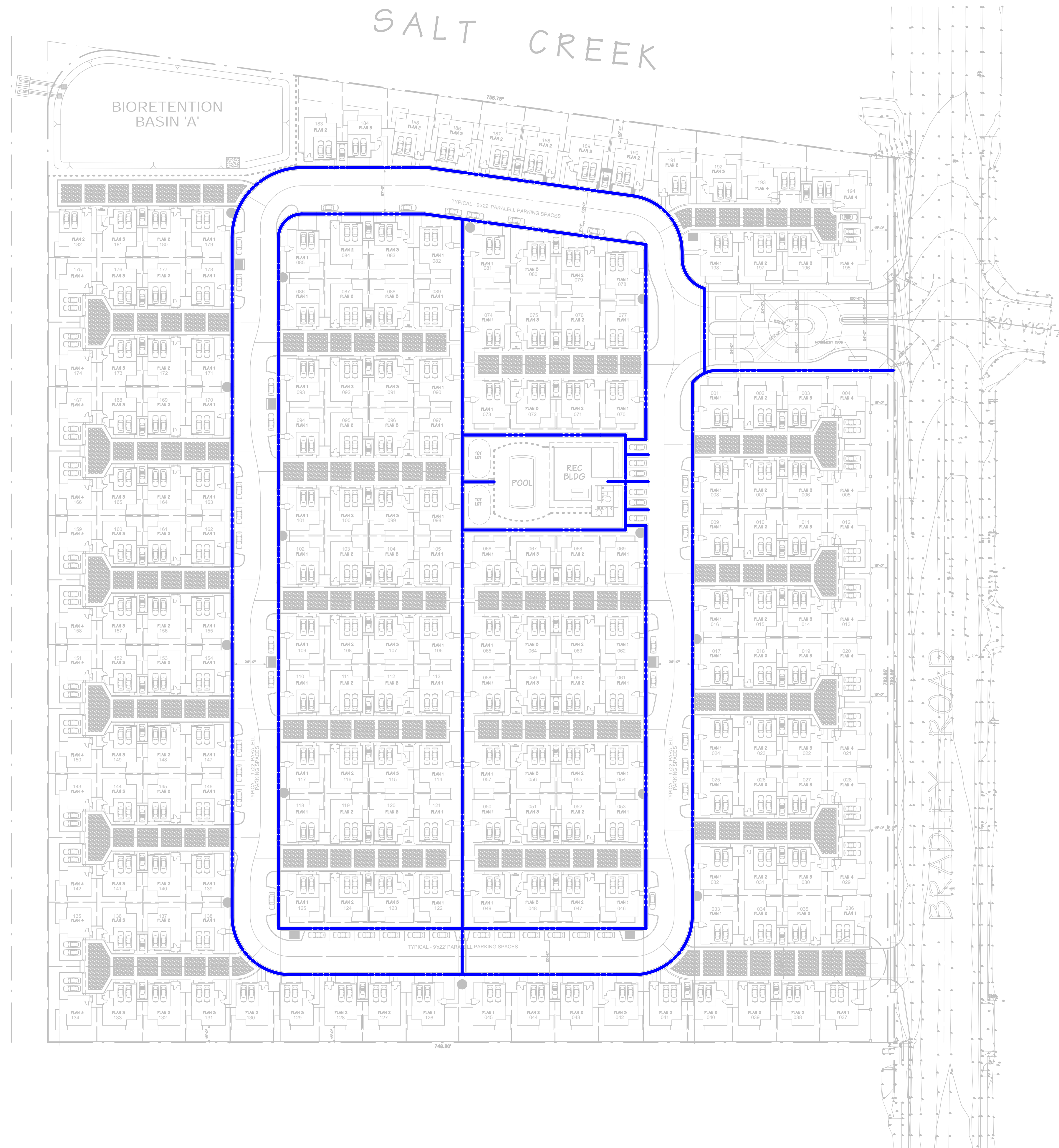
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740



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SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET A-4

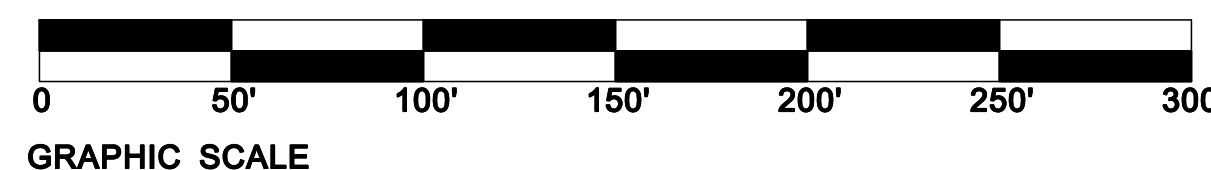
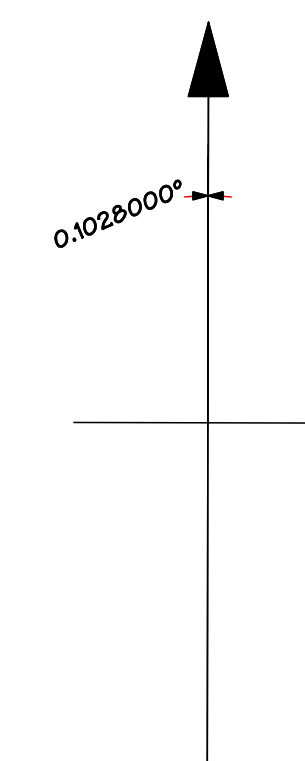


DISABLED ACCESS PLAN

PATH OF TRAVEL

DISABLED ACCESS NOTE:
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NORTH

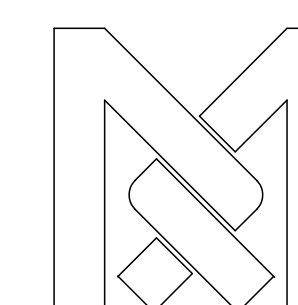


GRAPHIC SCALE

SITE PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

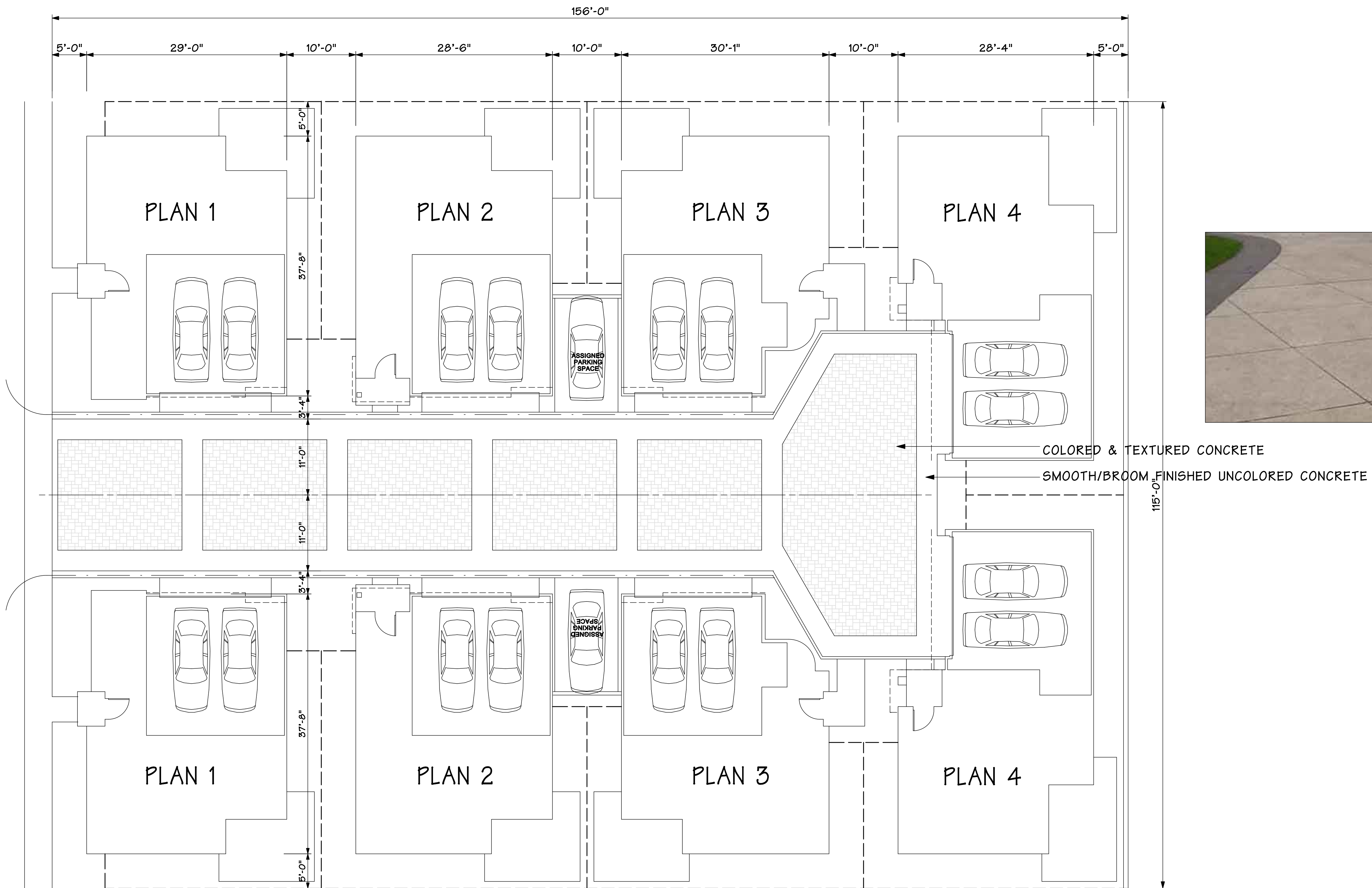
WashingtonMurrieta 5, LLC
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SEAL BEACH, CA 90740



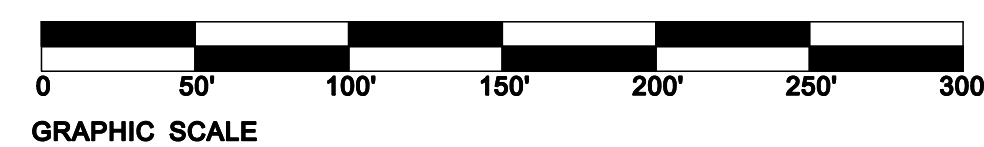
RANDY MORRIS ARCHITECT
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SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET A-5



TYPICAL CLUSTER PLAN 1



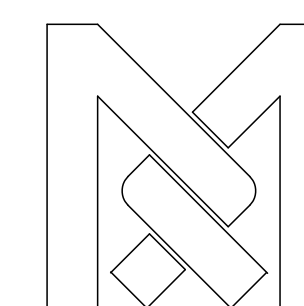
SITE PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

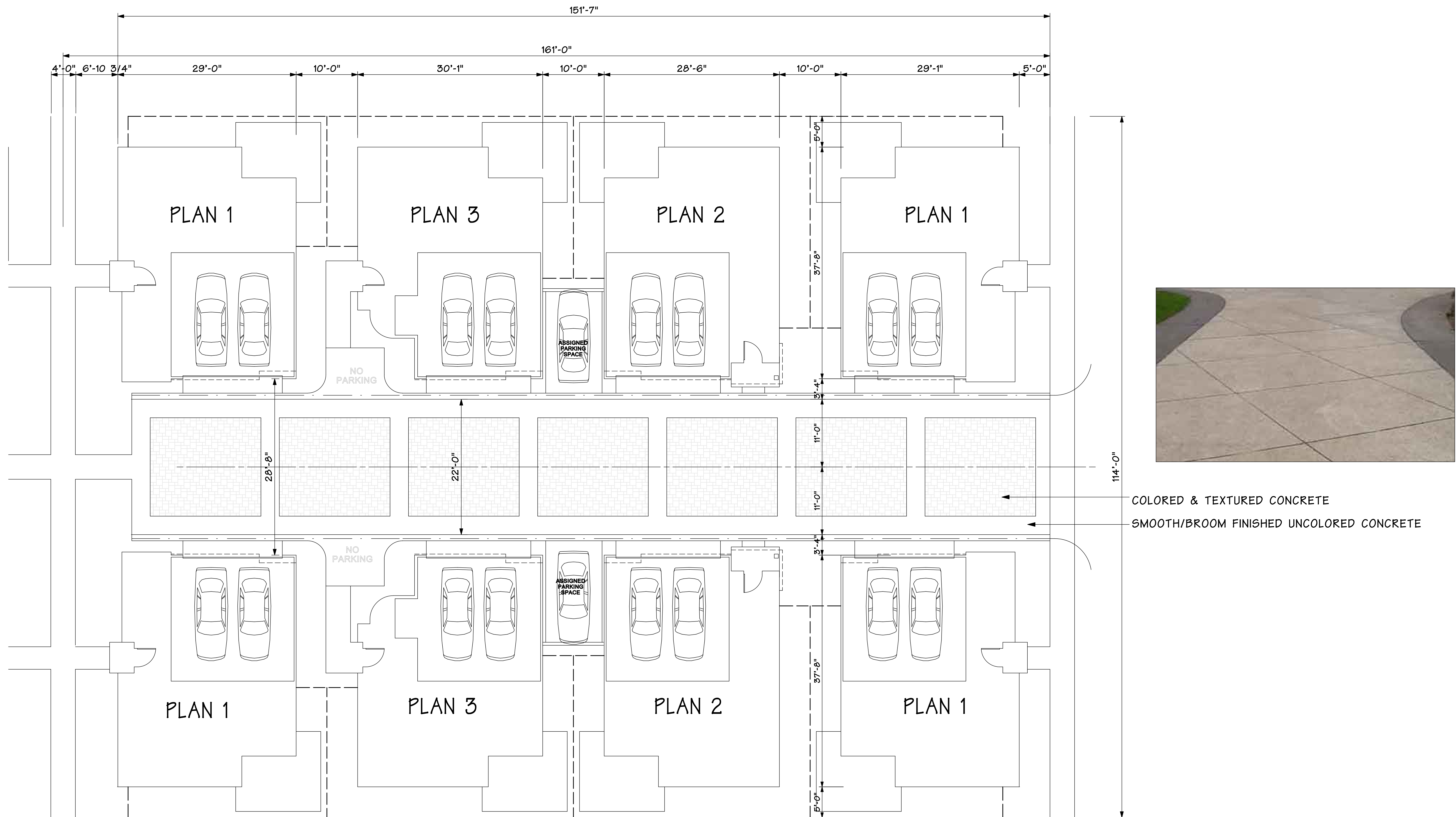
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 3/16" = 1'-0"
DATE: OCTOBER 18, 2021

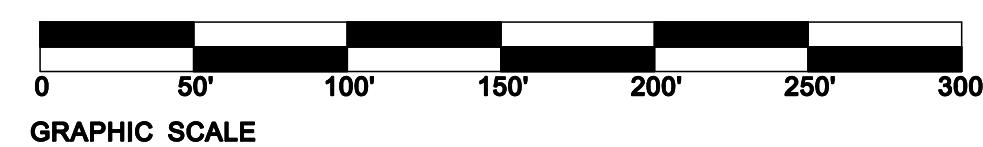
SHEET A-6



RANDY MORRIS ARCHITECT
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INDIAN WELLS, CA 92210
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TYPICAL CLUSTER PLAN 2



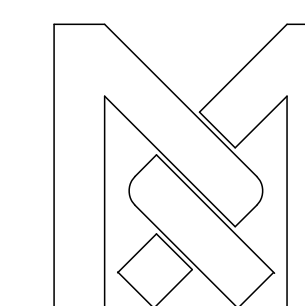
SITE PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

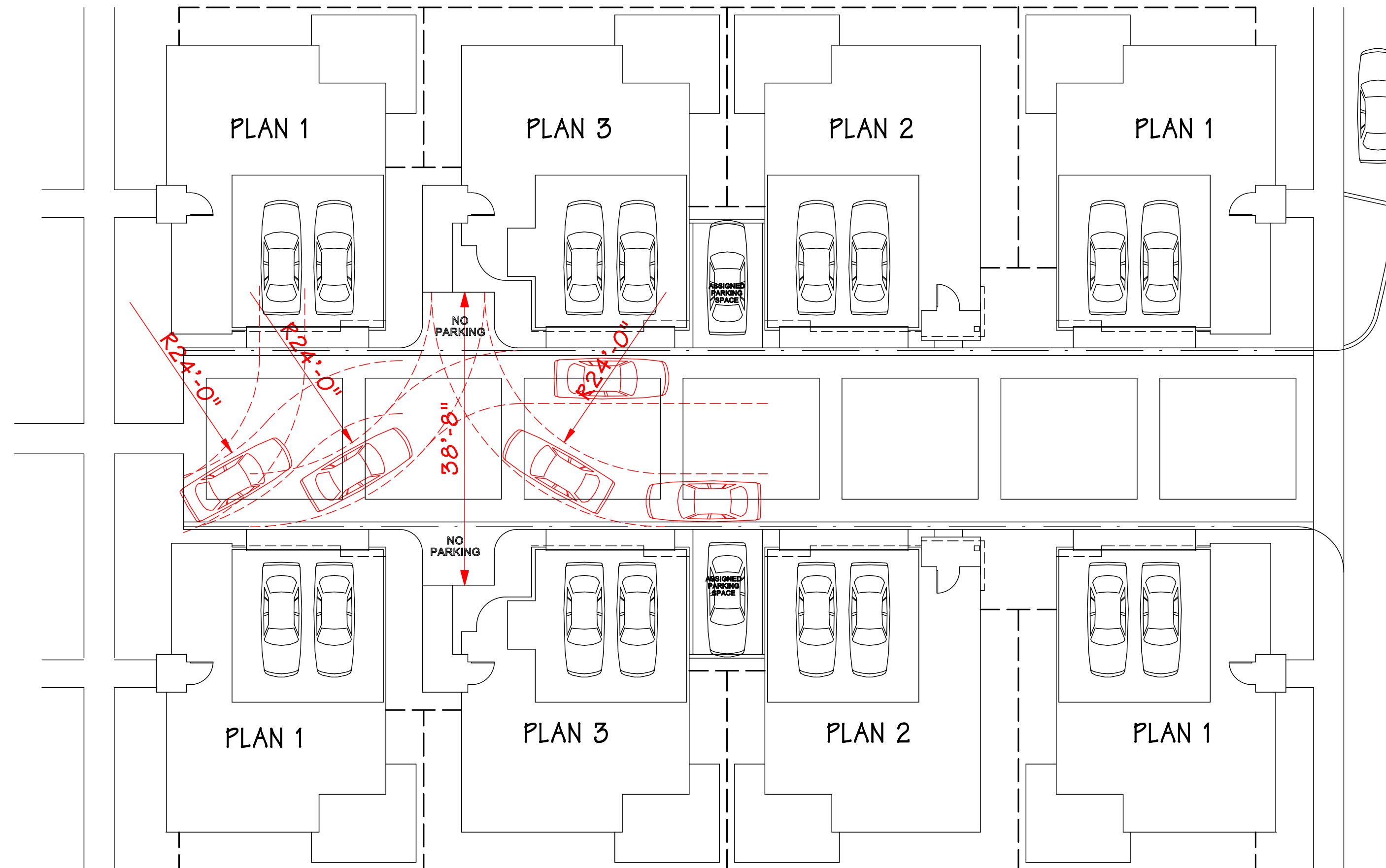
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 3/16" = 1'-0"
DATE: OCTOBER 18, 2021

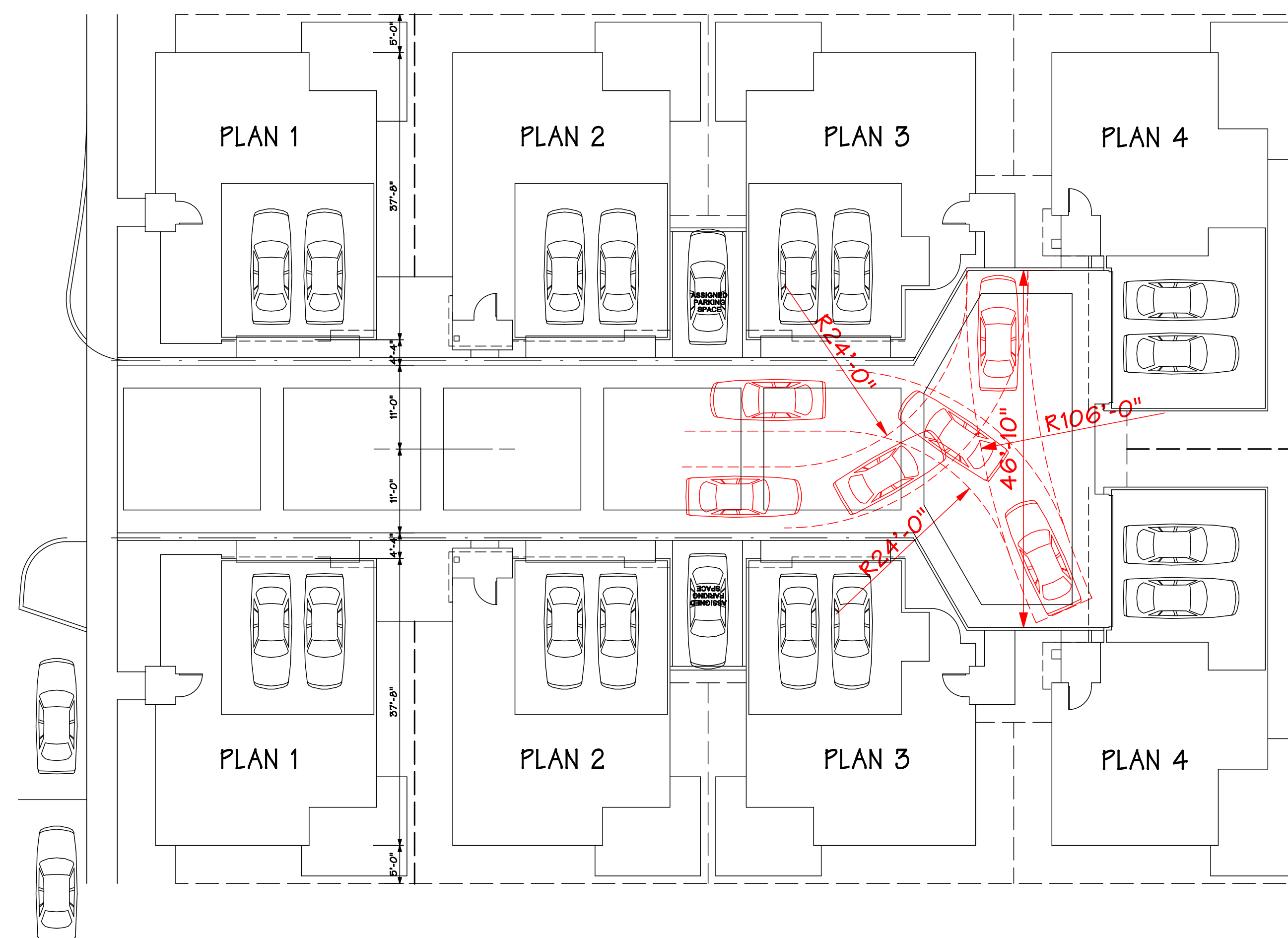
SHEET A-7



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E-MAIL rj.morris3@verizon.net

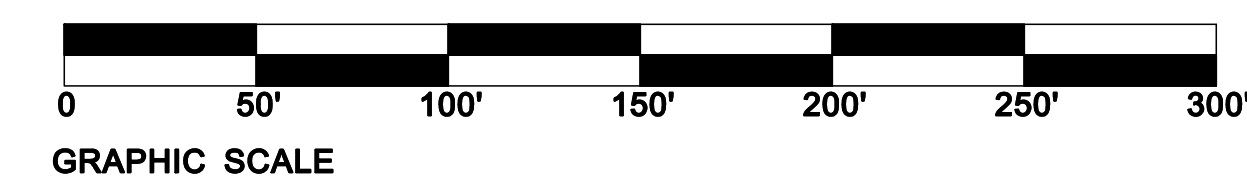


CLUSTER DRIVE T-TURN-AROUND 2

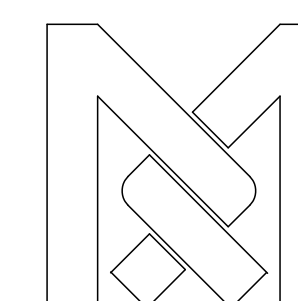


CLUSTER DRIVE T-TURN-AROUND 1

TURN RADIUS DIAGRAMS



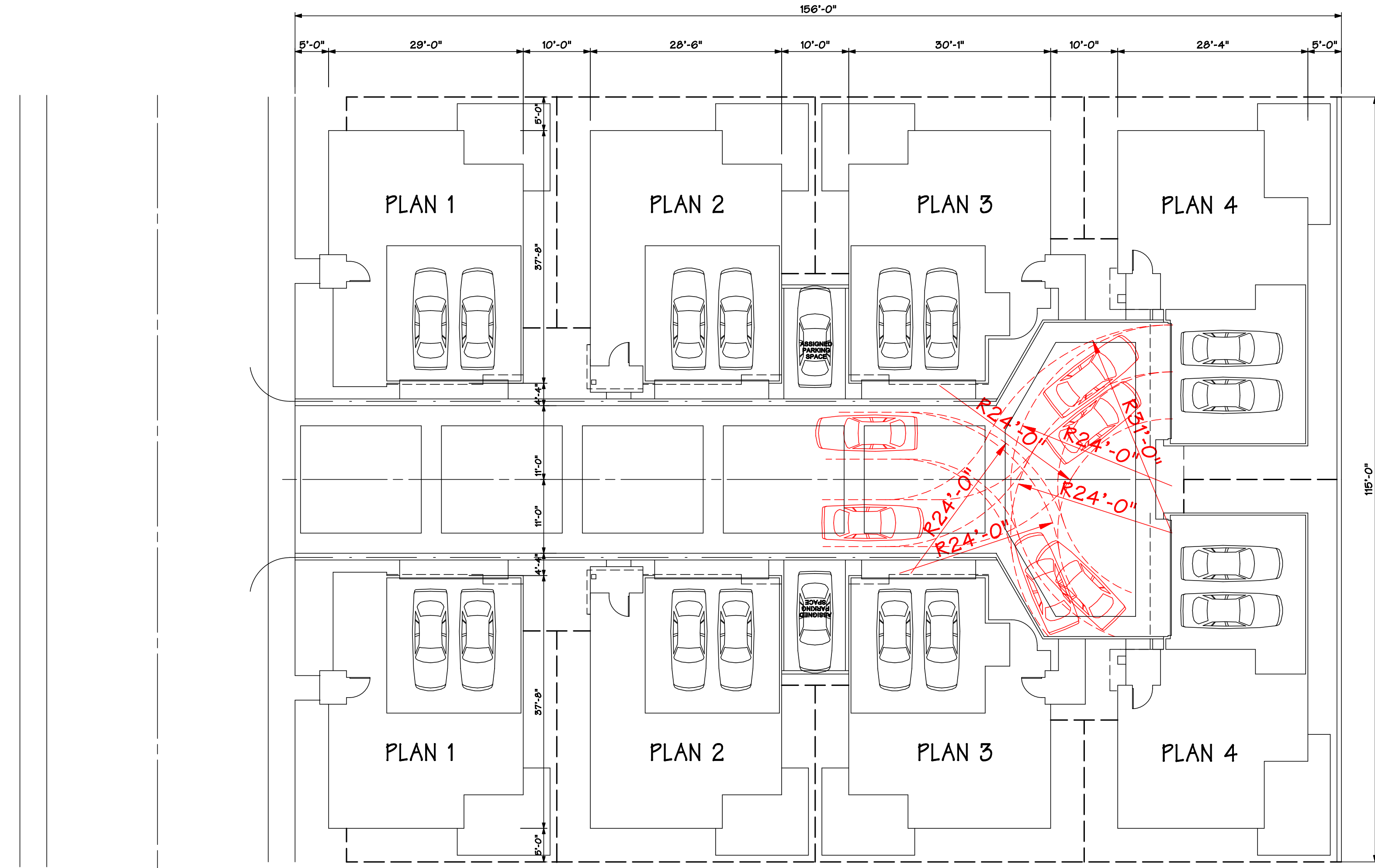
SITE PLAN
RIVER WALK VILLAGE
 BRADLEY ROAD, MENIFEE
WashingtonMurrieta 5, LLC
 P.O. BOX 3609
 SEAL BEACH, CA 90740



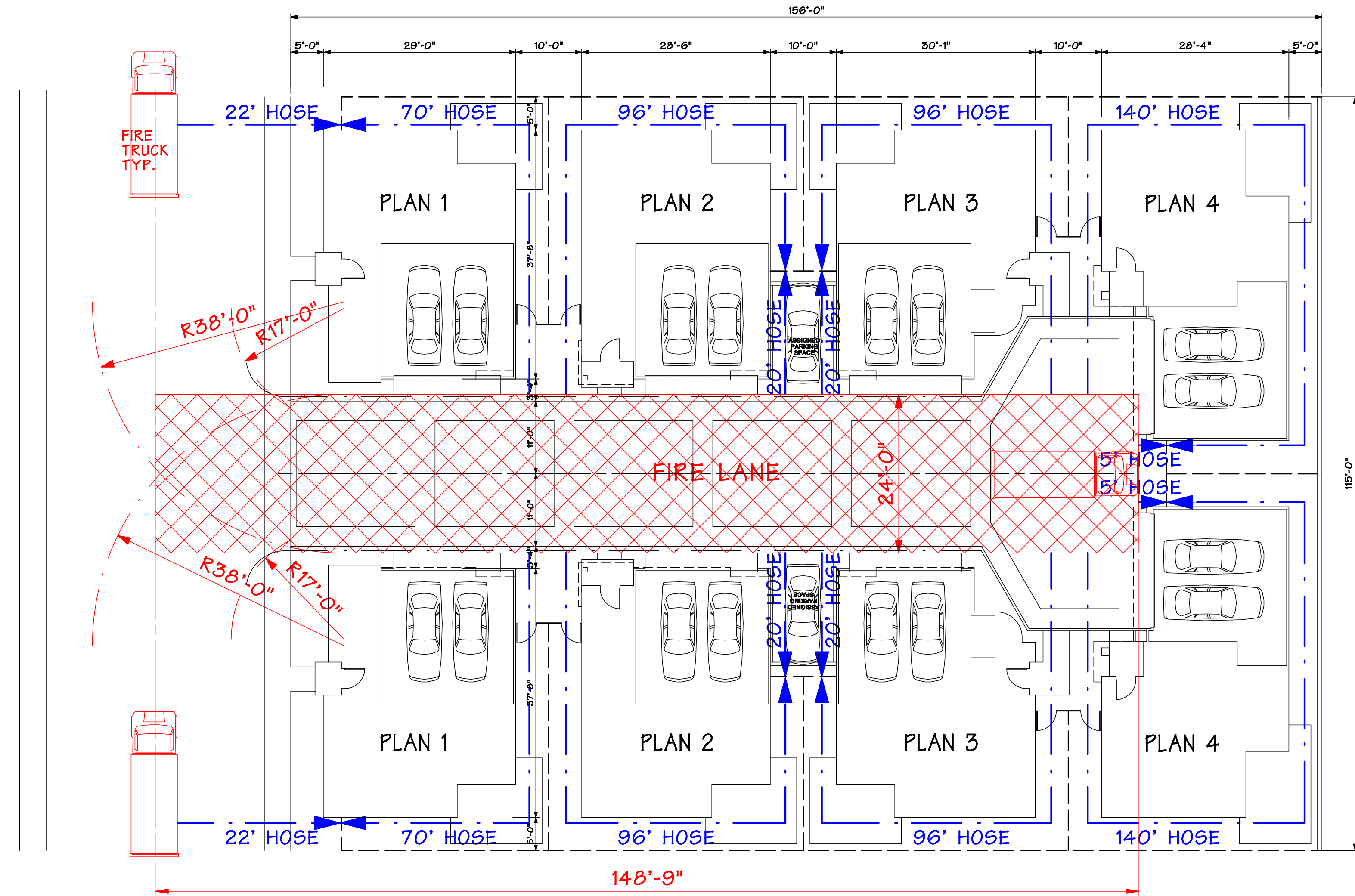
RANDY MORRIS ARCHITECT
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 INDIAN WELLS, CA 92210
 T. (310) 809-6745
 E-MAIL rj.morris3@verizon.net

SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 18, 2021

SHEET A-8

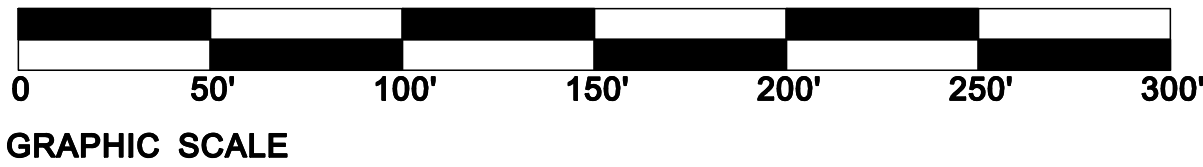


CLUSTER 1 DRIVE GARAGE ACCESS

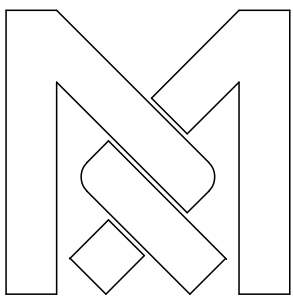


CLUSTER 1 DRIVE FIRE LANE & HOSE COVERAGE

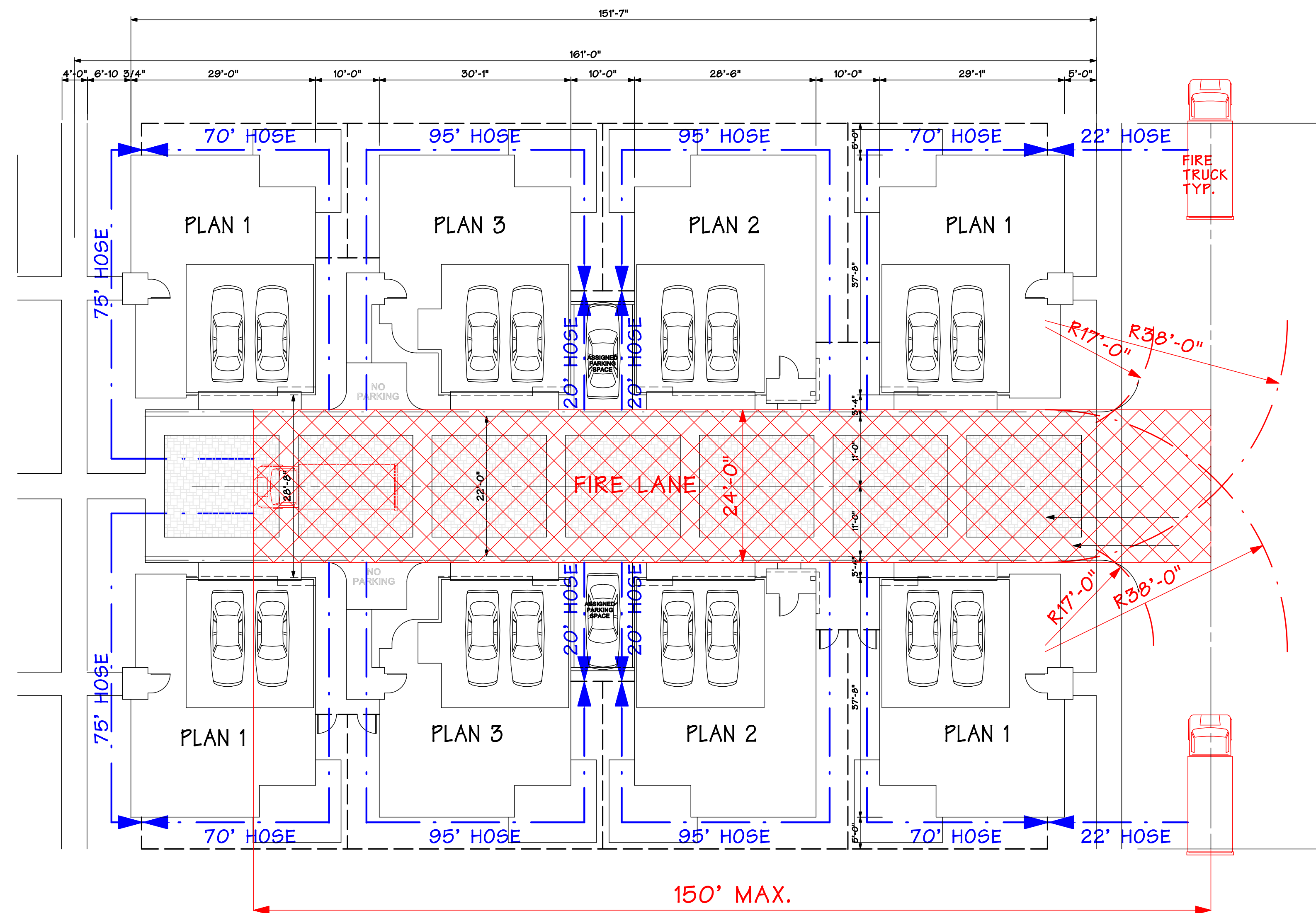
PRIVATE GARAGE & FIRE ACCESS PLANS



SITE PLAN
RIVER WALK VILLAGE
 BRADLEY ROAD, MENIFEE
WashingtonMurrieta 5, LLC
 P.O. BOX 3609
 SEAL BEACH, CA 90740

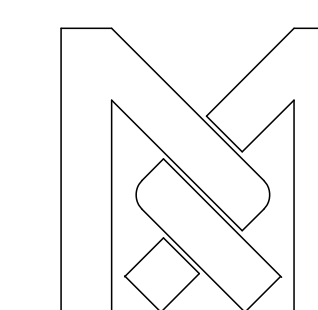
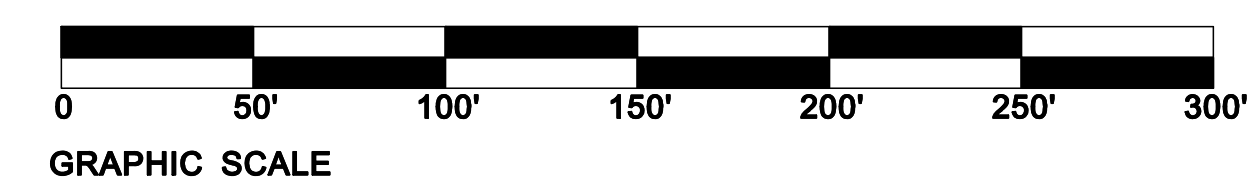

 RANDY MORRIS ARCHITECT
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 INDIAN WELLS, CA 92210
 T. (310) 809-6745
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SCALE: 1/4" = 1'-0"
 DATE: OCTOBER 18, 2021
SHEET A-9



CLUSTER 2 DRIVE FIRE LANE & HOSE COVERAGE

FIRE ACCESS PLAN 2



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45120 VIA CARINA
INDIAN WELLS, CA 92210
T. (310) 809-6745
E-MAIL rj.morris3@verizon.net

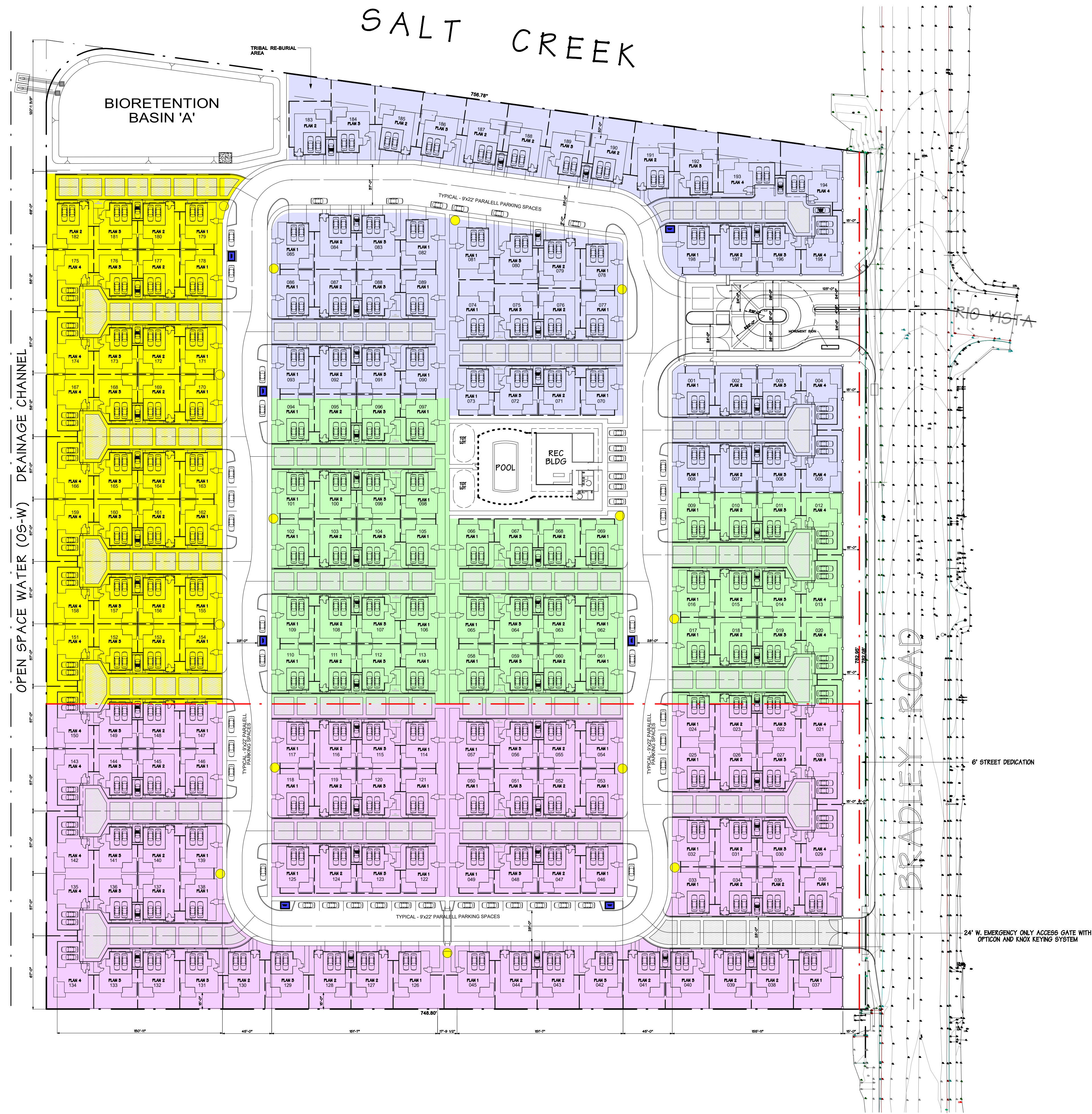
SITE PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET A-10



UNIT COUNT

PLAN #1	66	1,716 SF	113,356 SF
PLAN #2	59	1,775 SF	104,725 SF
PLAN #3	50	1,755 SF	87,750 SF
PLAN #4	23	1,864 SF	43,872 SF
	198		348,703 SF

- PHASING PLAN
- PHASE #1 - 48 UNITS + COMMON AREAS
 - PHASE #2 - 44 UNITS
 - PHASE #3 - 32 UNITS
 - PHASE #4 - 74 UNITS

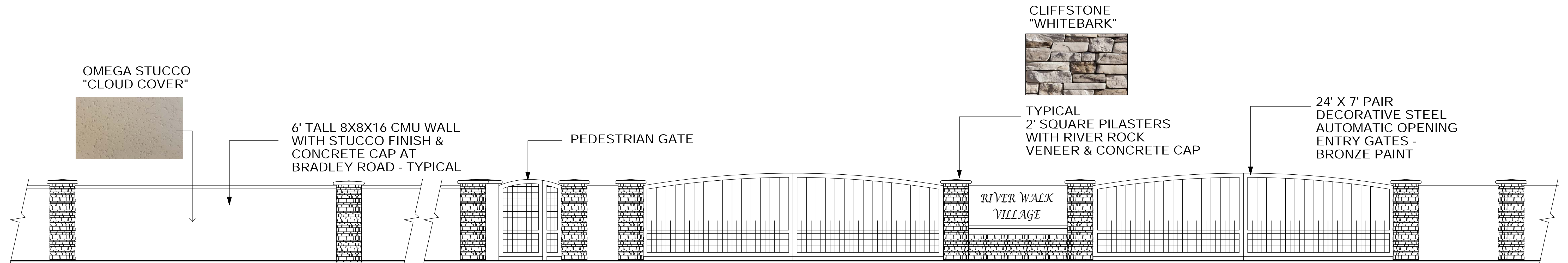
NORTH

SITE PLAN
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

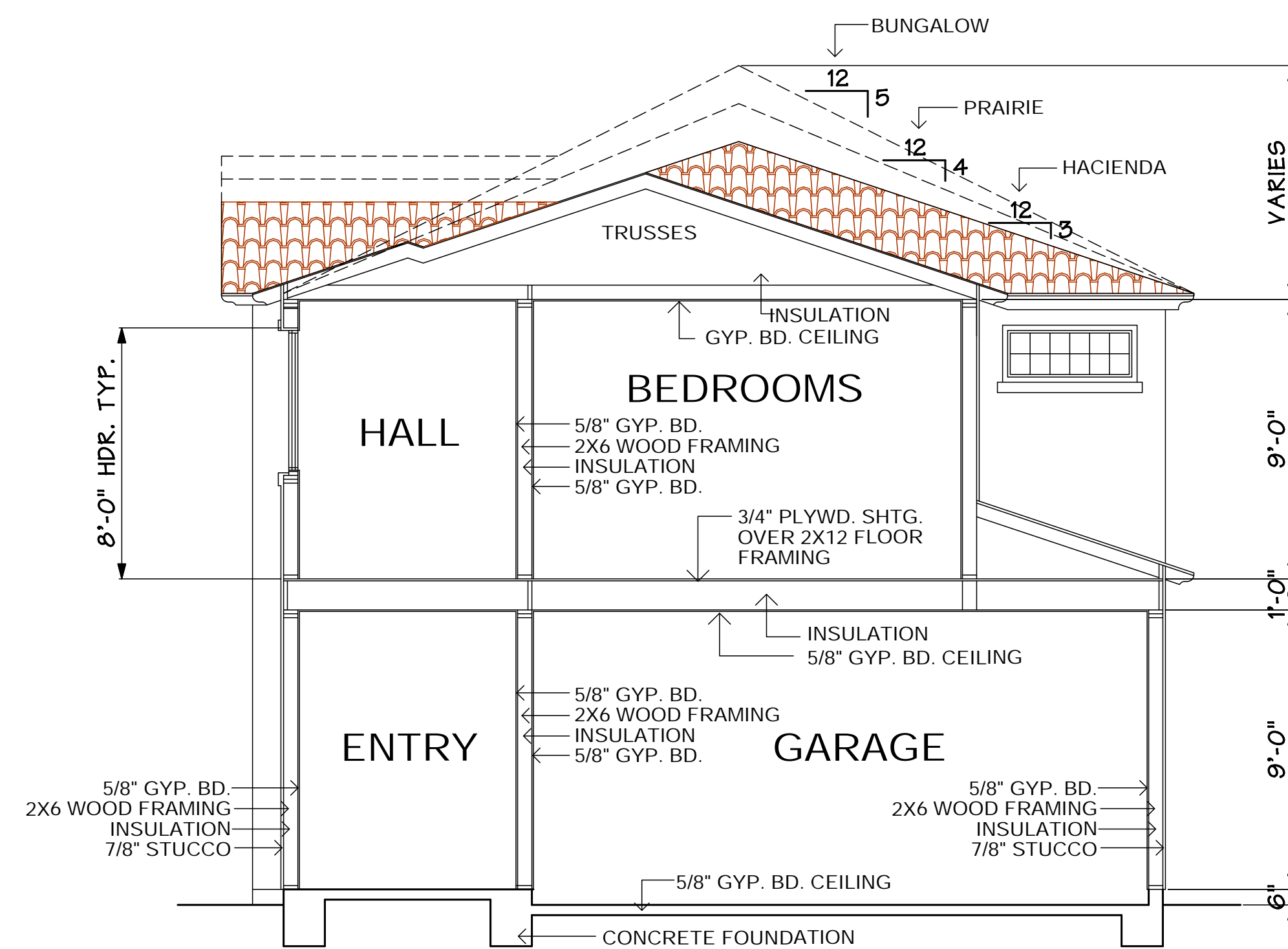
RANDY MORRIS ARCHITECT
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SCALE: 1/4" = 1'-0"
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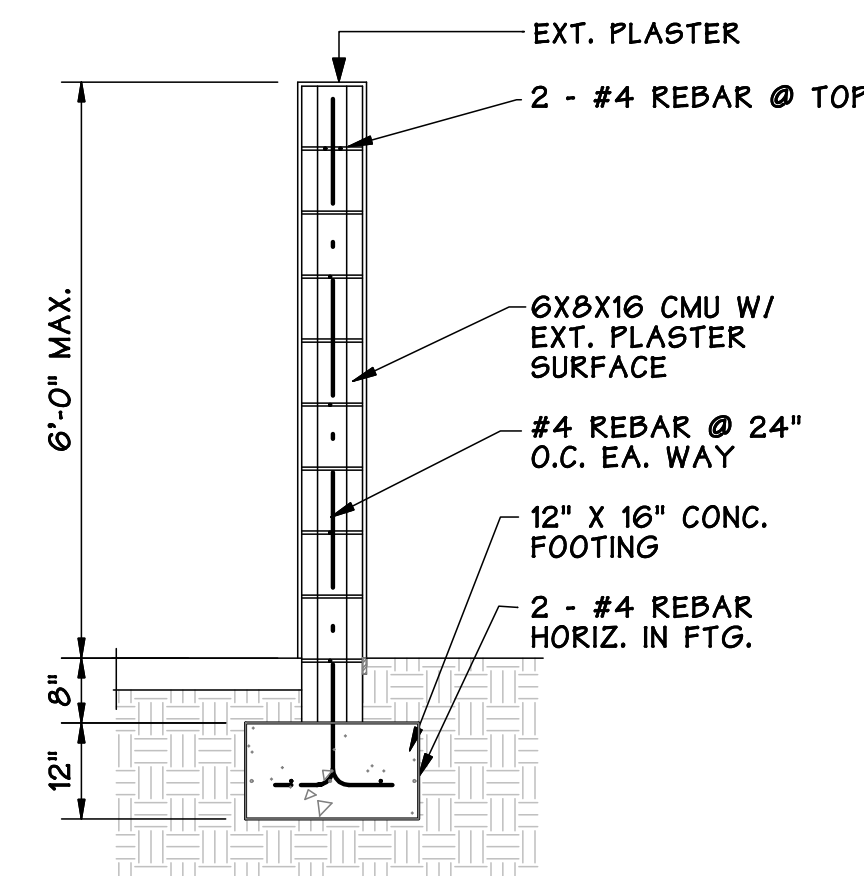
SHEET A-12



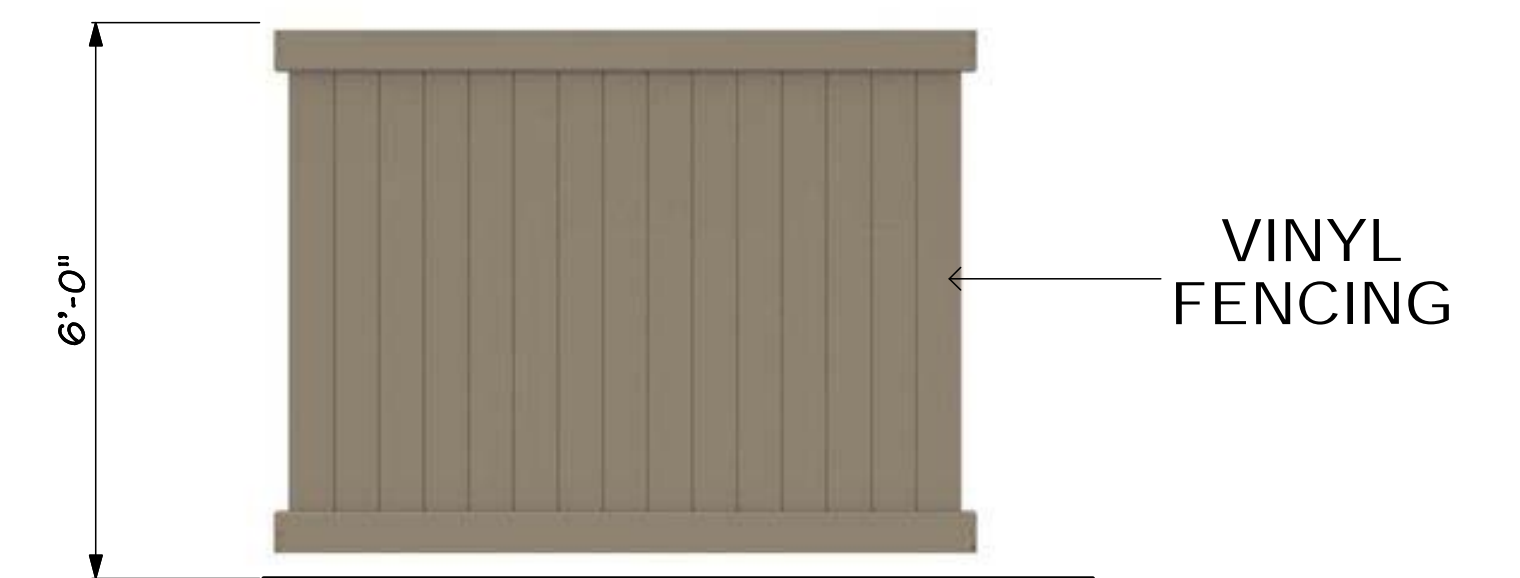
BRADLEY ROAD MAIN ENTRY



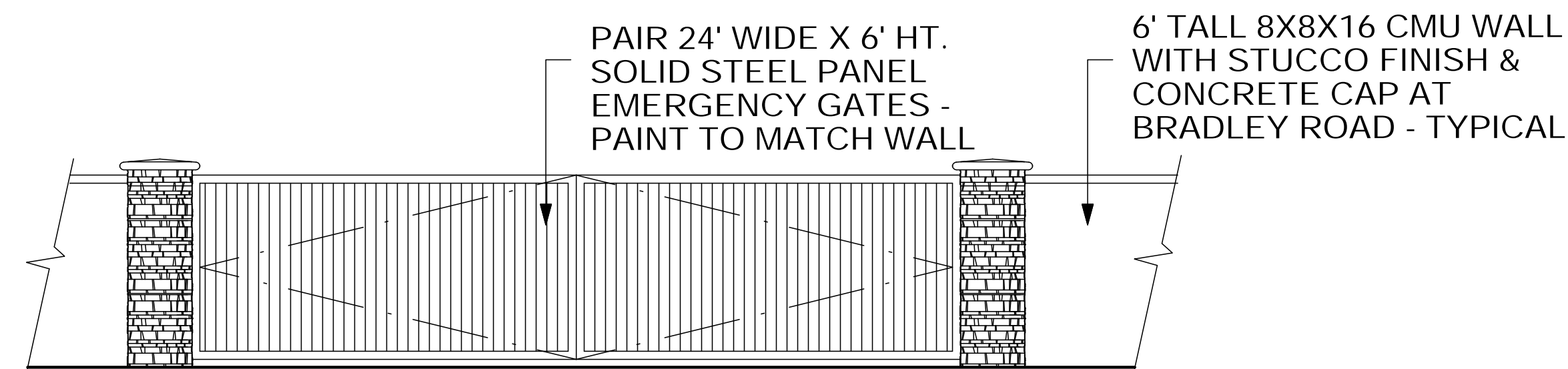
TYPICAL DWELLING SECTION



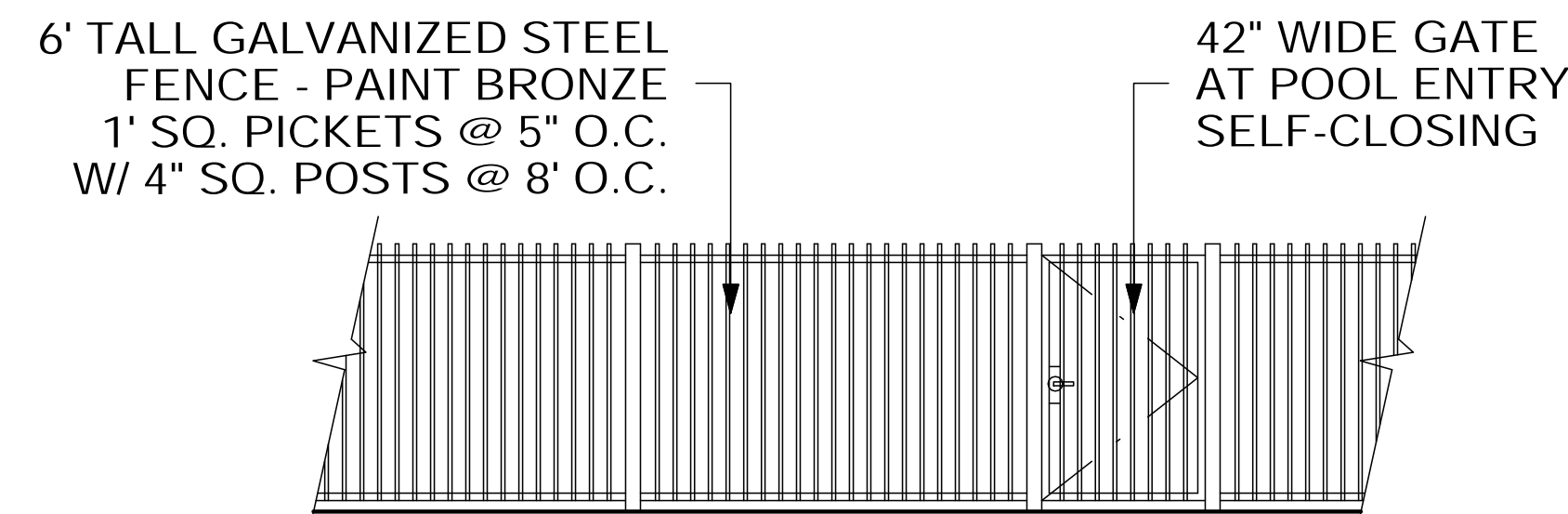
SOUTH, WEST & NORTH
PROPERTY LINE WALLS - TYPICAL



TYPICAL YARD FENCING



BRADLEY ROAD EMERGENCY GATE



POOL SECURITY FENCE & GATE

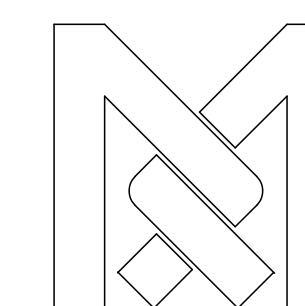
SITE DETAILS & BUILDING SECTION

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

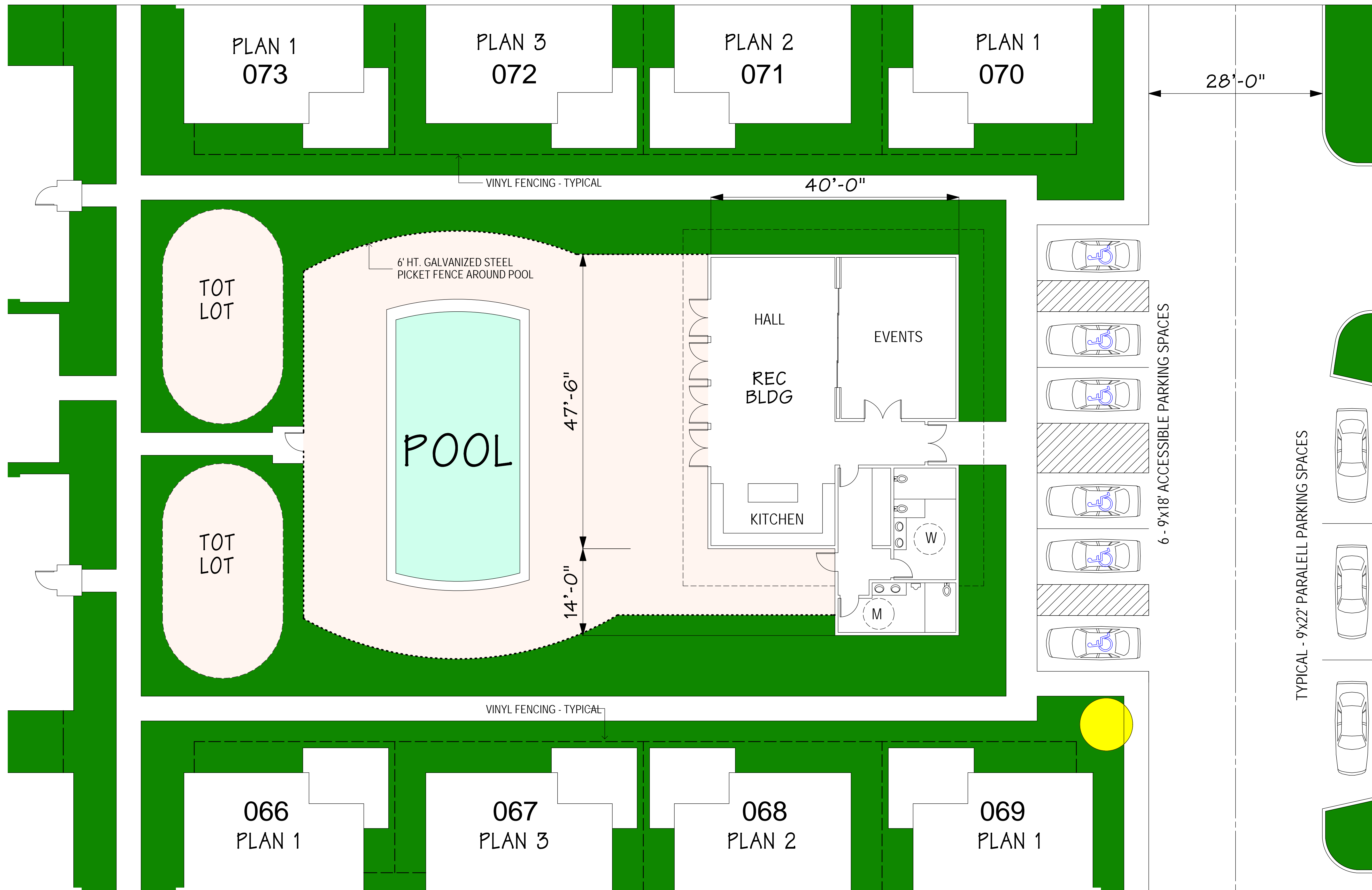
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/8" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET A-13



RANDY MORRIS ARCHITECT
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RECREATION BUILDING

2,800 SF

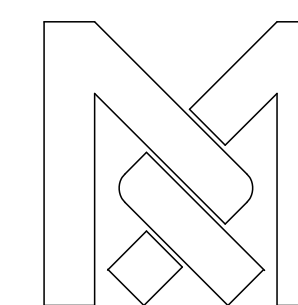
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC

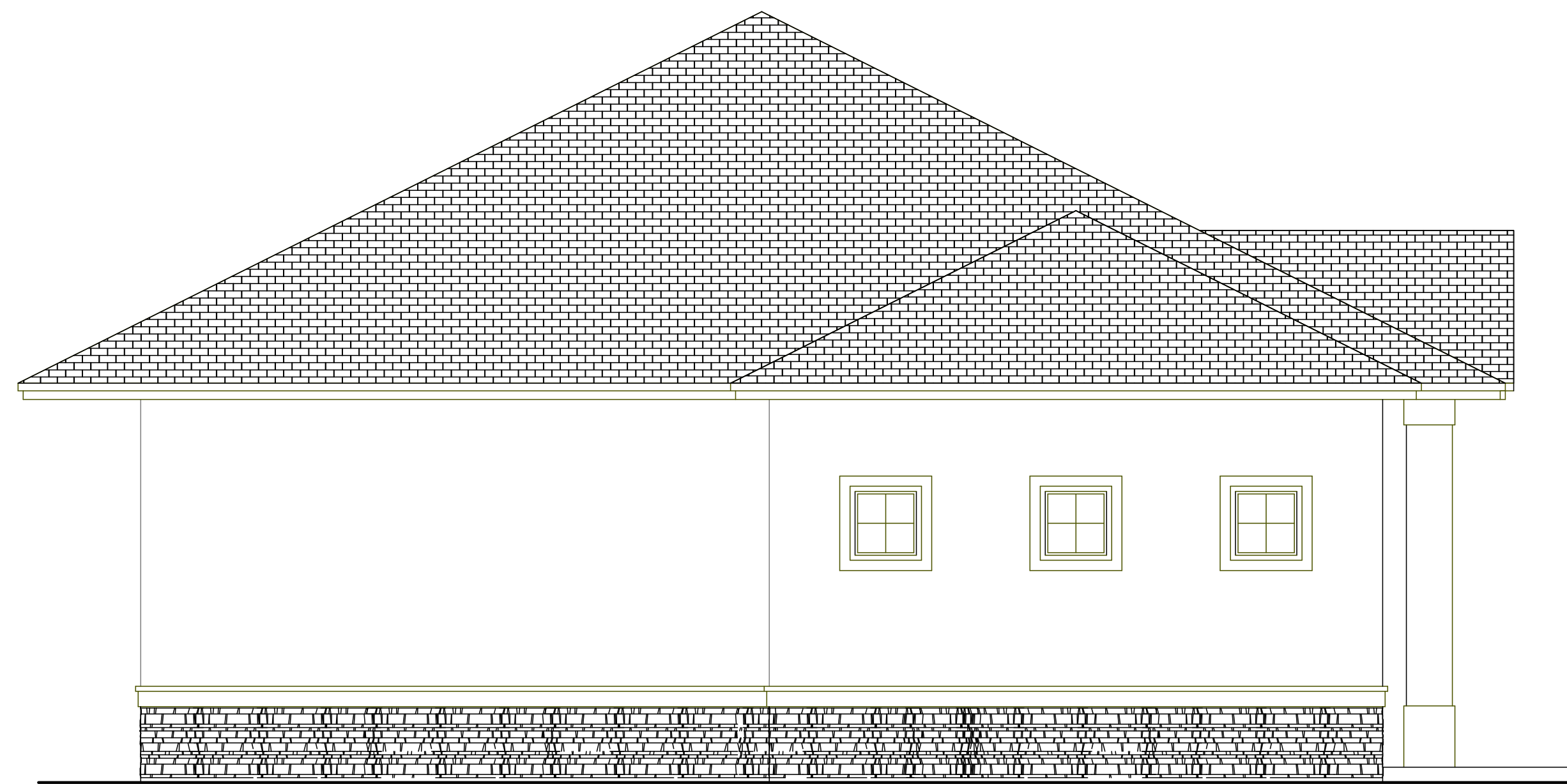
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET A-14



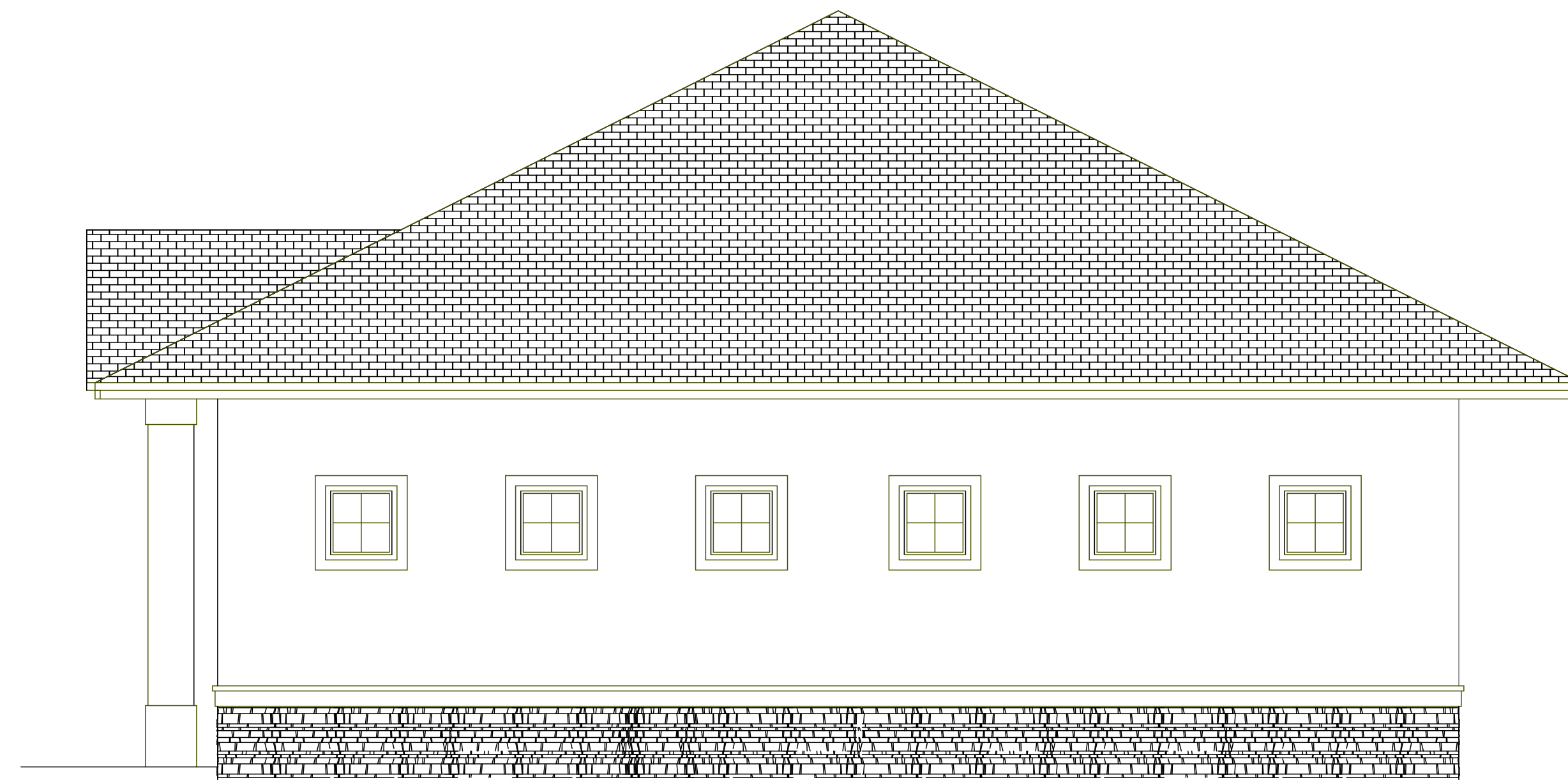
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INDIAN WELLS, CA 92210
T. (310) 809-6745
E-MAIL rj.morris3@verizon.net



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

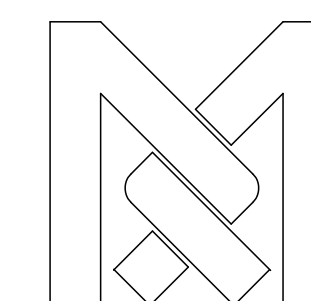
RECREATION BUILDING ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

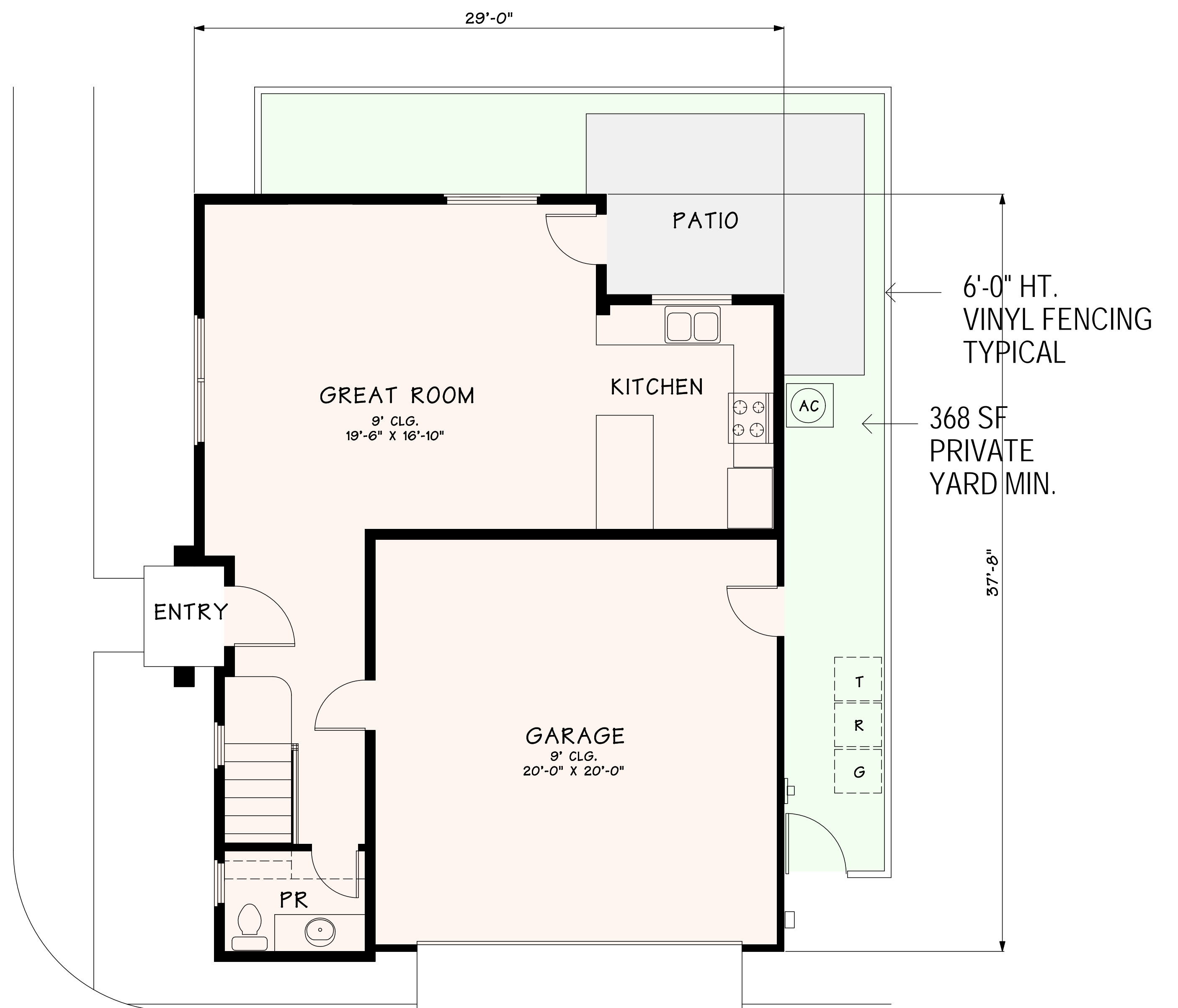
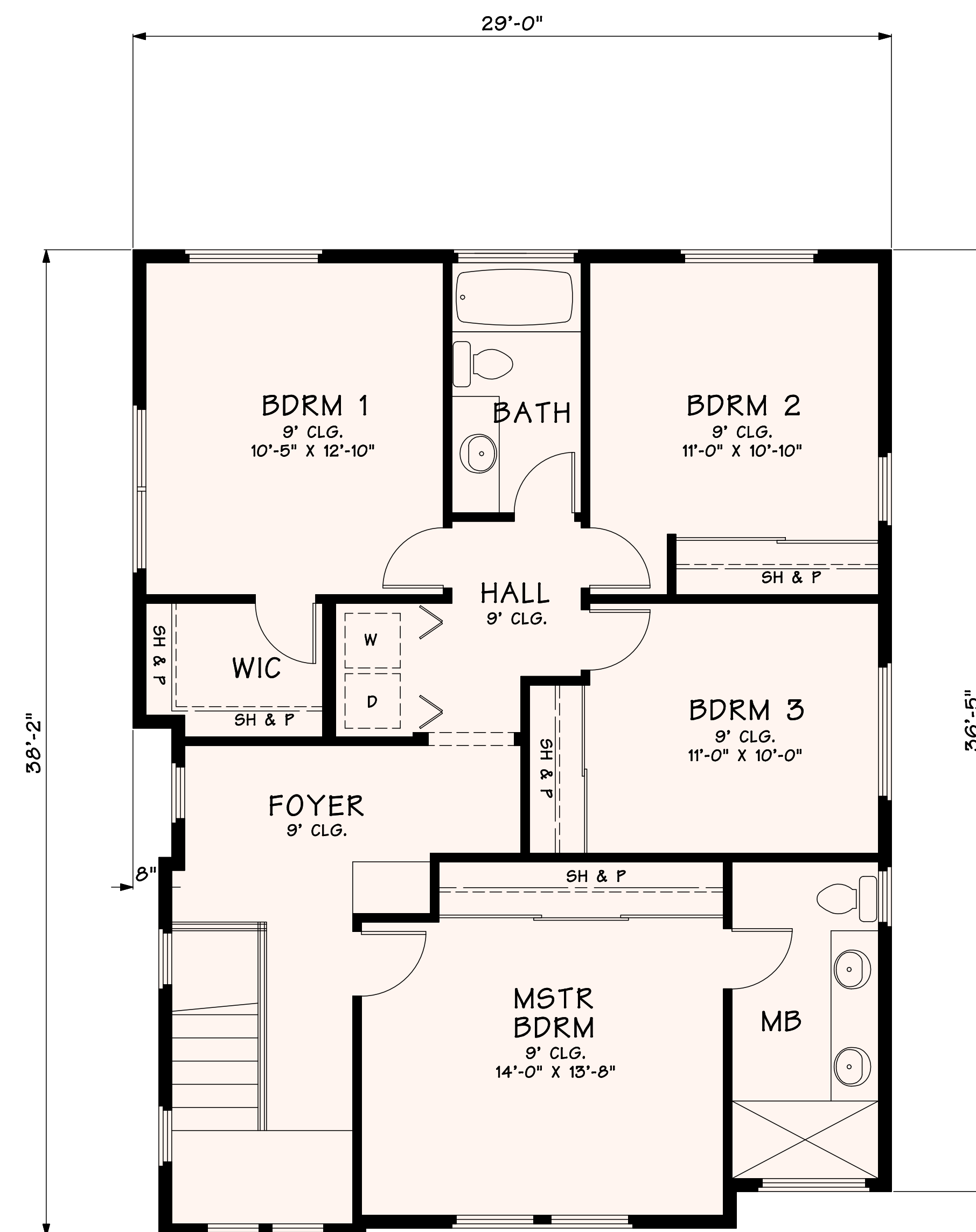
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET A-15



RANDY MORRIS ARCHITECT
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PLAN 1

1,716 SF
4 BDRM/2.5 BATH
2 BAY GARAGE

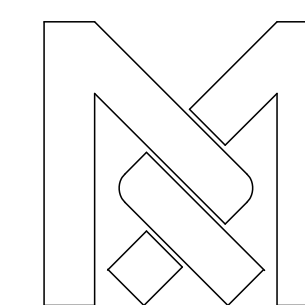
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC

P.O. BOX 3609
SEAL BEACH, CA 90740

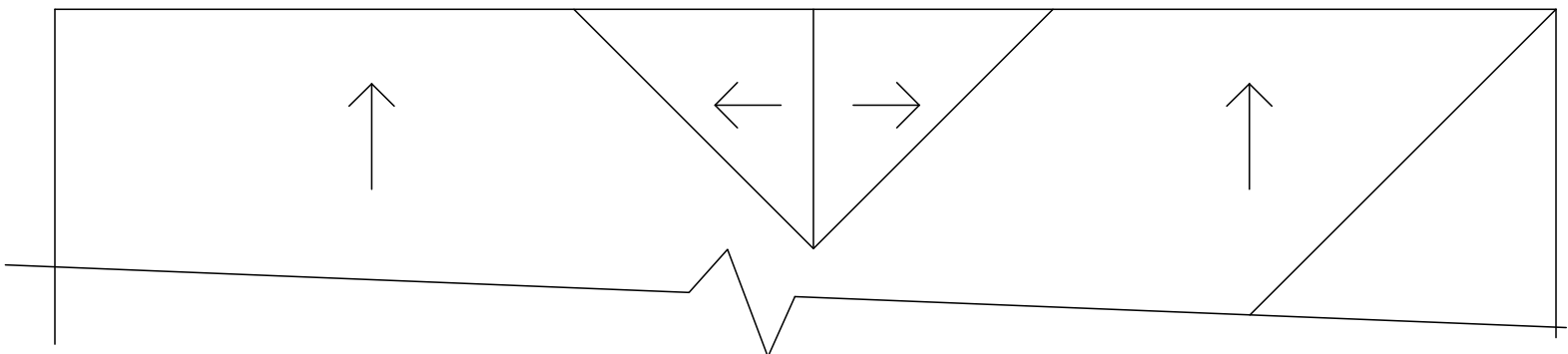
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 1(1)

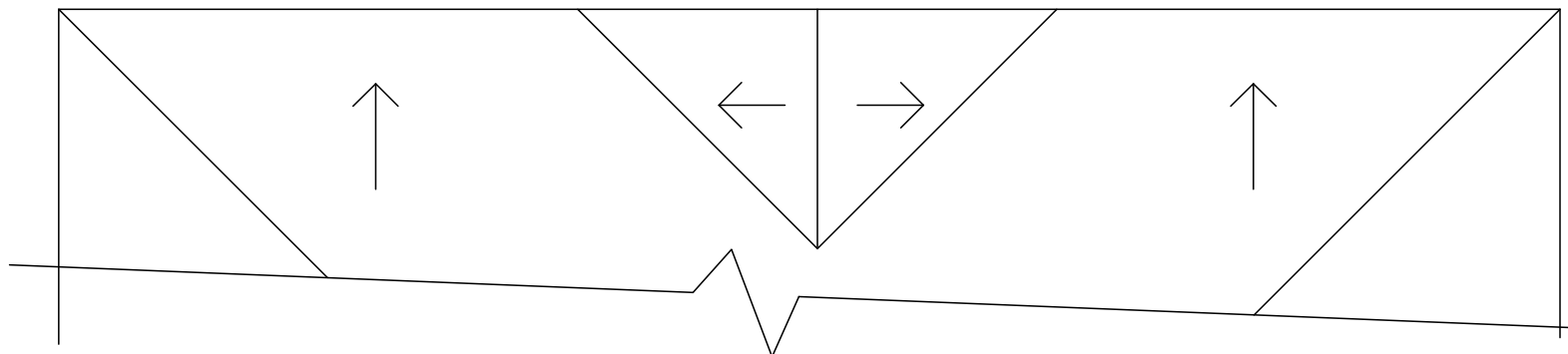


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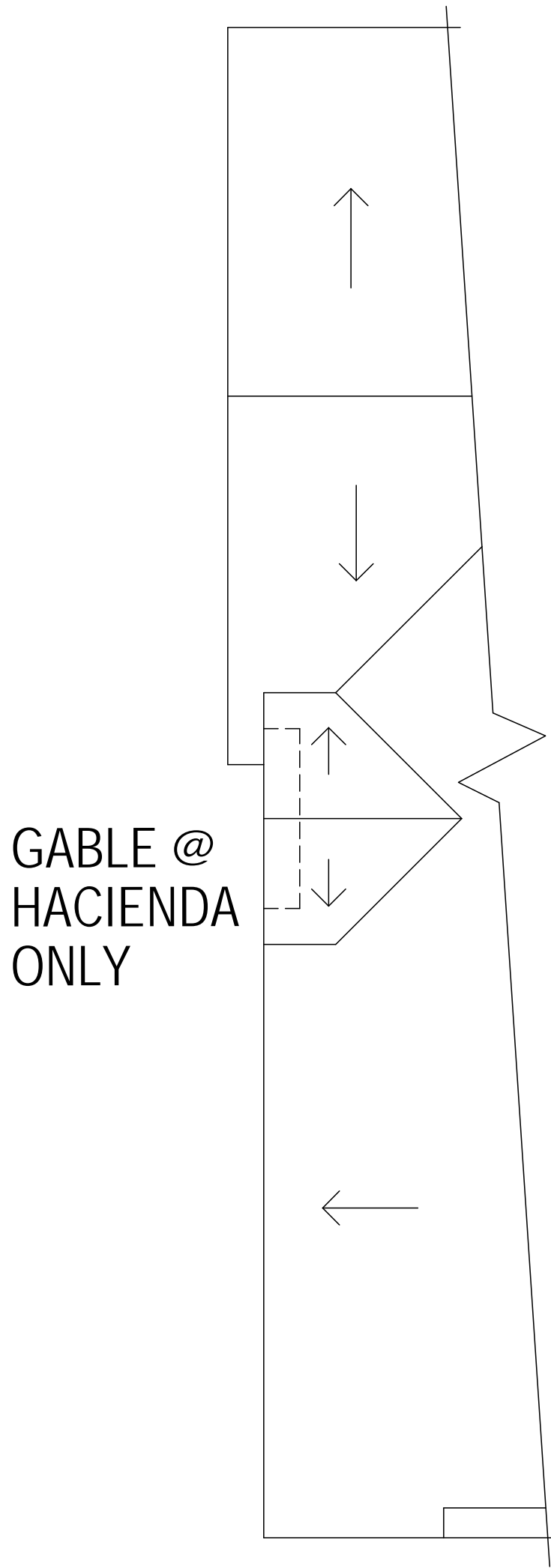
NOTE:
GABLE ENHANCEMENTS TO BE CONSTRUCTED ON ALL ODD NUMBERED HOUSES.



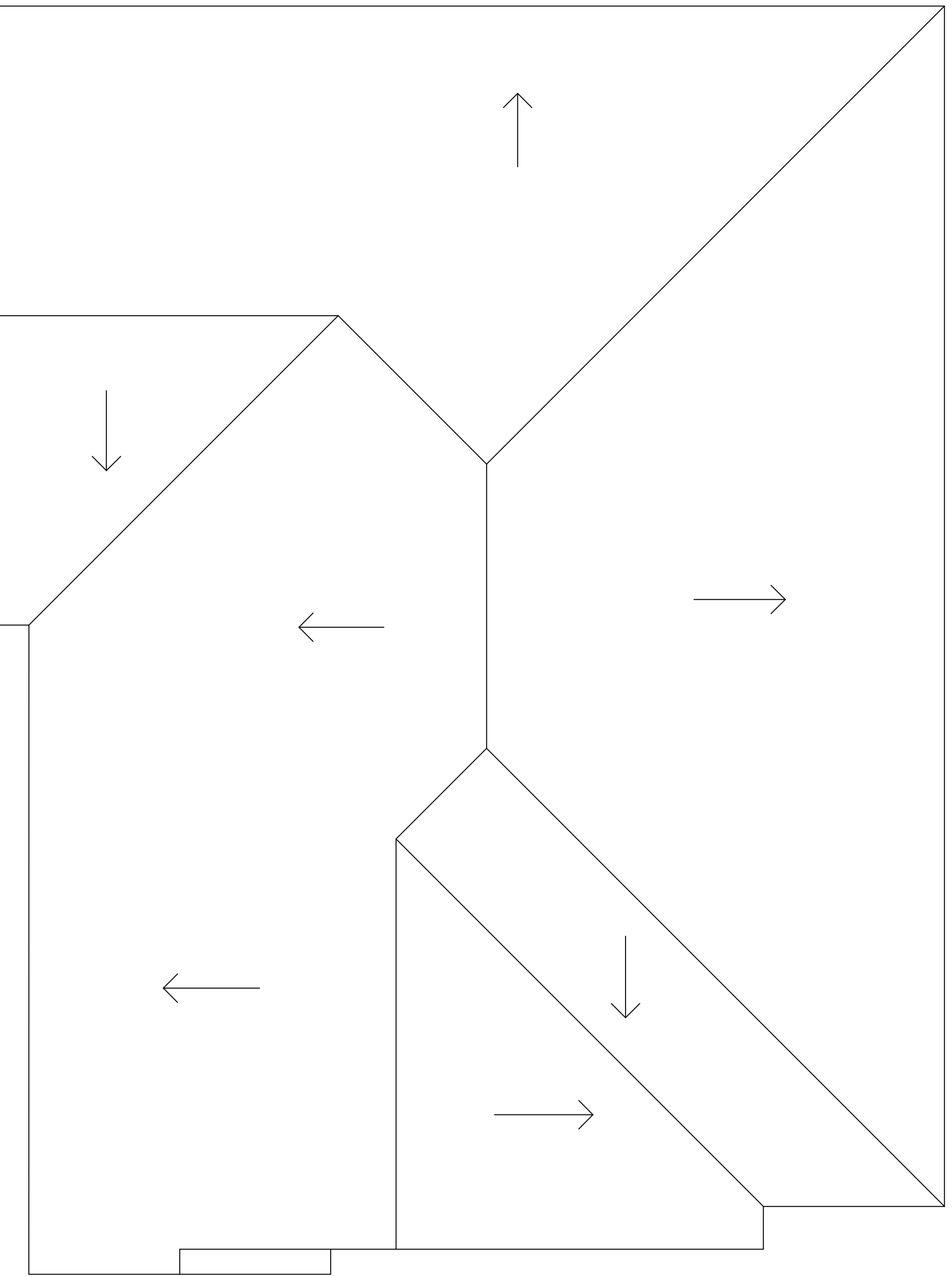
ROOF A WITH GABLE ENHANCEMENT



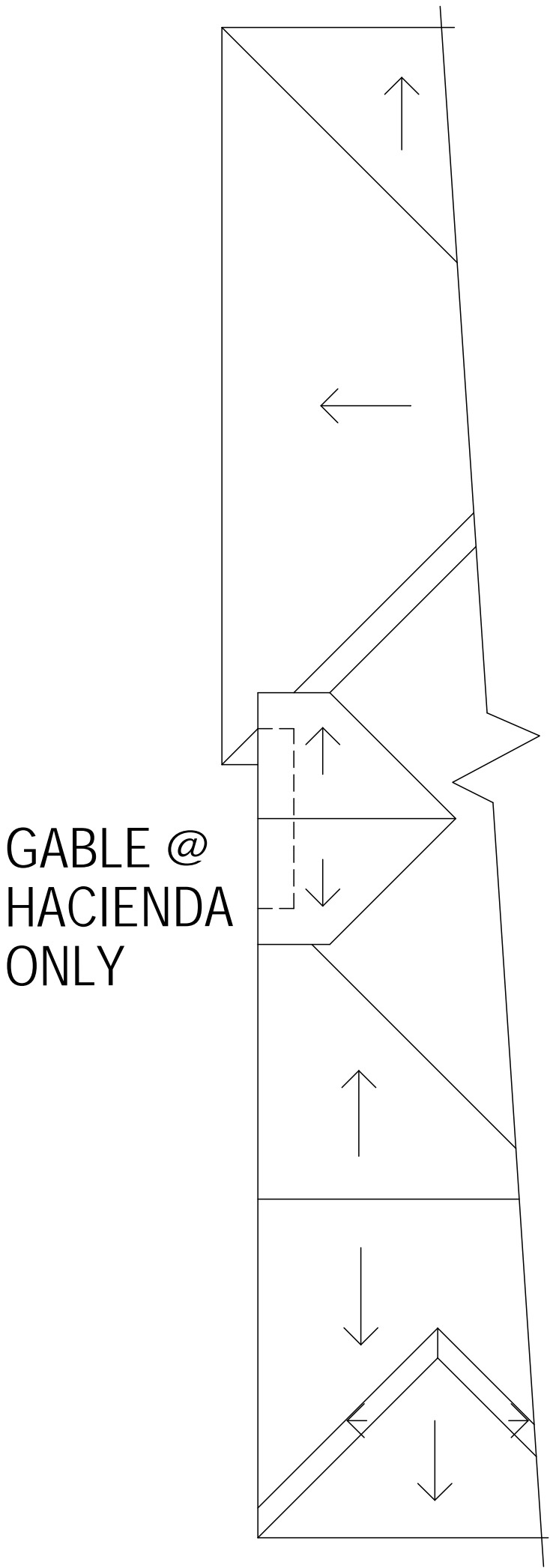
ROOF B WITH GABLE ENHANCEMENT



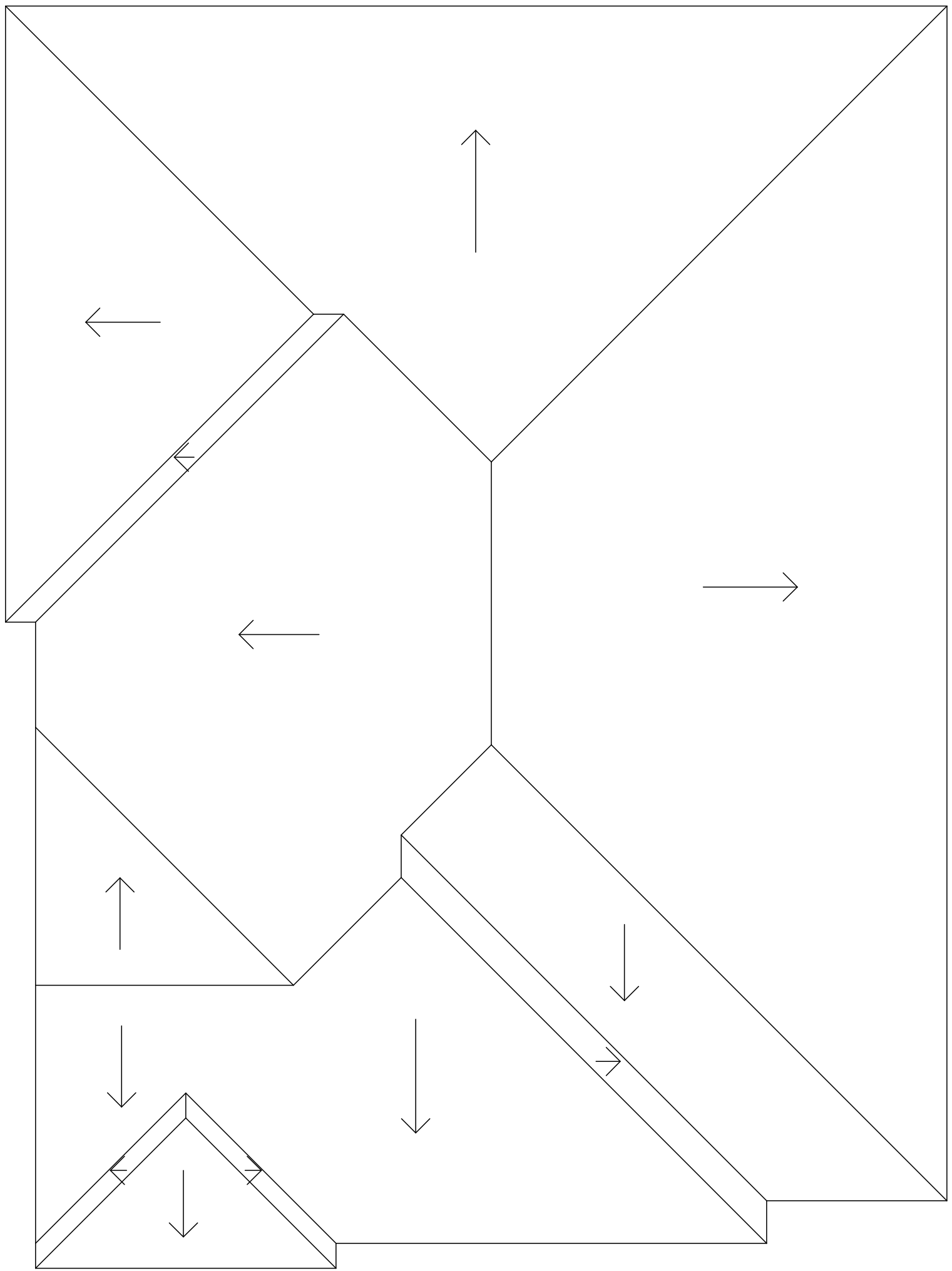
GABLE @
HACIENDA
ONLY



ROOF A
EAVE 12" / RAKE 12"
HACIENDA - CONCRETE 'S' TILE
BUNGALOW - CONCRETE FLAT SLATE
PRAIRIE - CONCRETE HEAVY SHAKE



GABLE @
HACIENDA
ONLY



ROOF B
EAVE 12" / RAKE 12"
HACIENDA - CONCRETE 'S' TILE
BUNGALOW - CONCRETE FLAT SLATE
PRAIRIE - CONCRETE HEAVY SHAKE

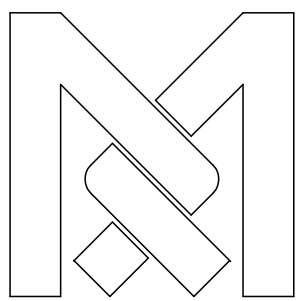
PLAN 1
ROOF PLANS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 2(1)



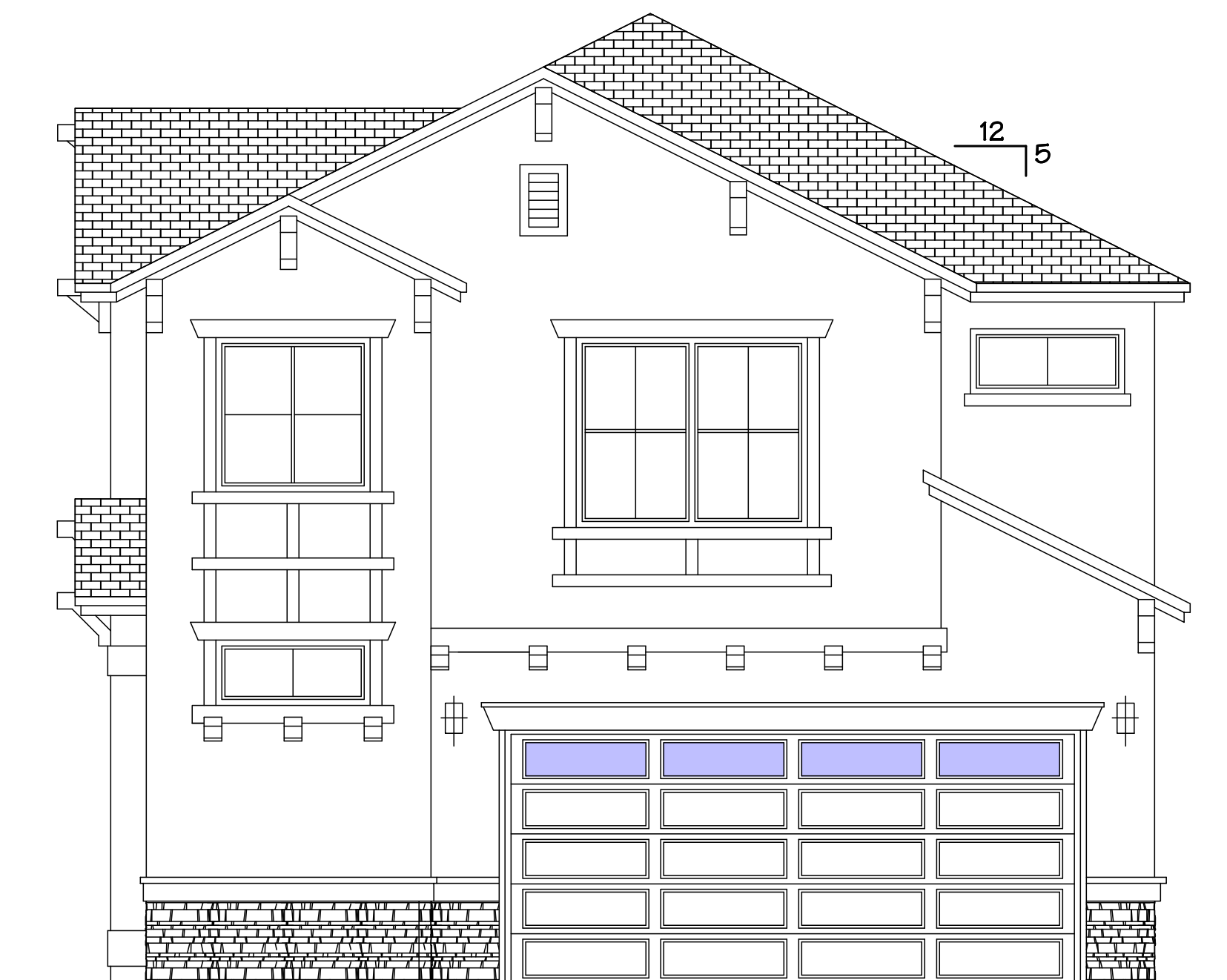
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HACIENDA / ROOF A / GARAGE SIDE



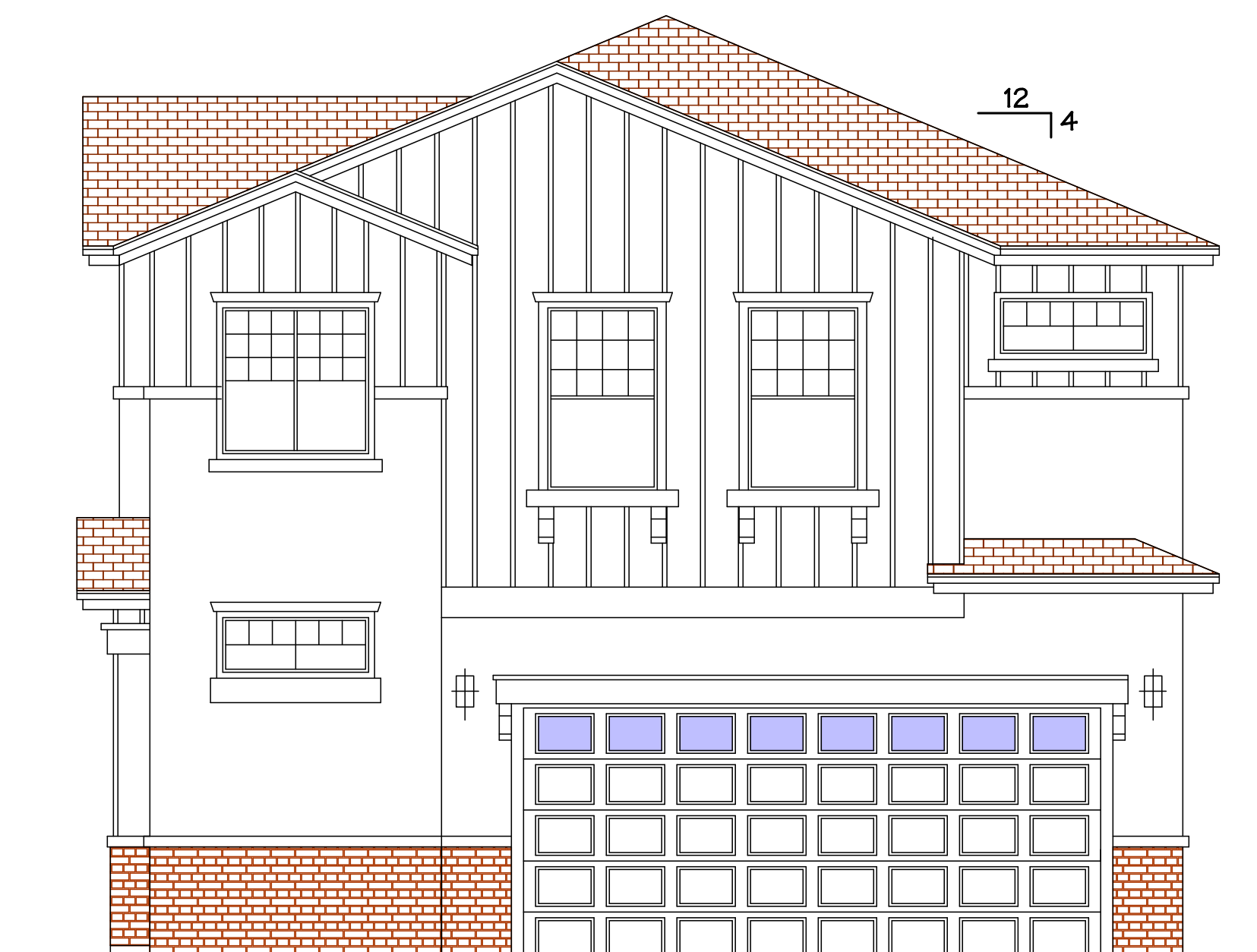
HACIENDA / ROOF A / FRONT



BUNGALOW / ROOF A / GARAGE SIDE



BUNGALOW / ROOF A / FRONT



PRAIRIE / ROOF A / GARAGE SIDE



PRAIRIE / ROOF A / FRONT

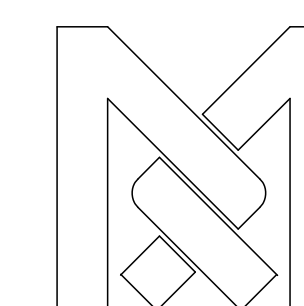
PLAN 1/ROOF A FRONT & GARAGE SIDE ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 3(1)



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HACIENDA / ROOF B / GARAGE SIDE



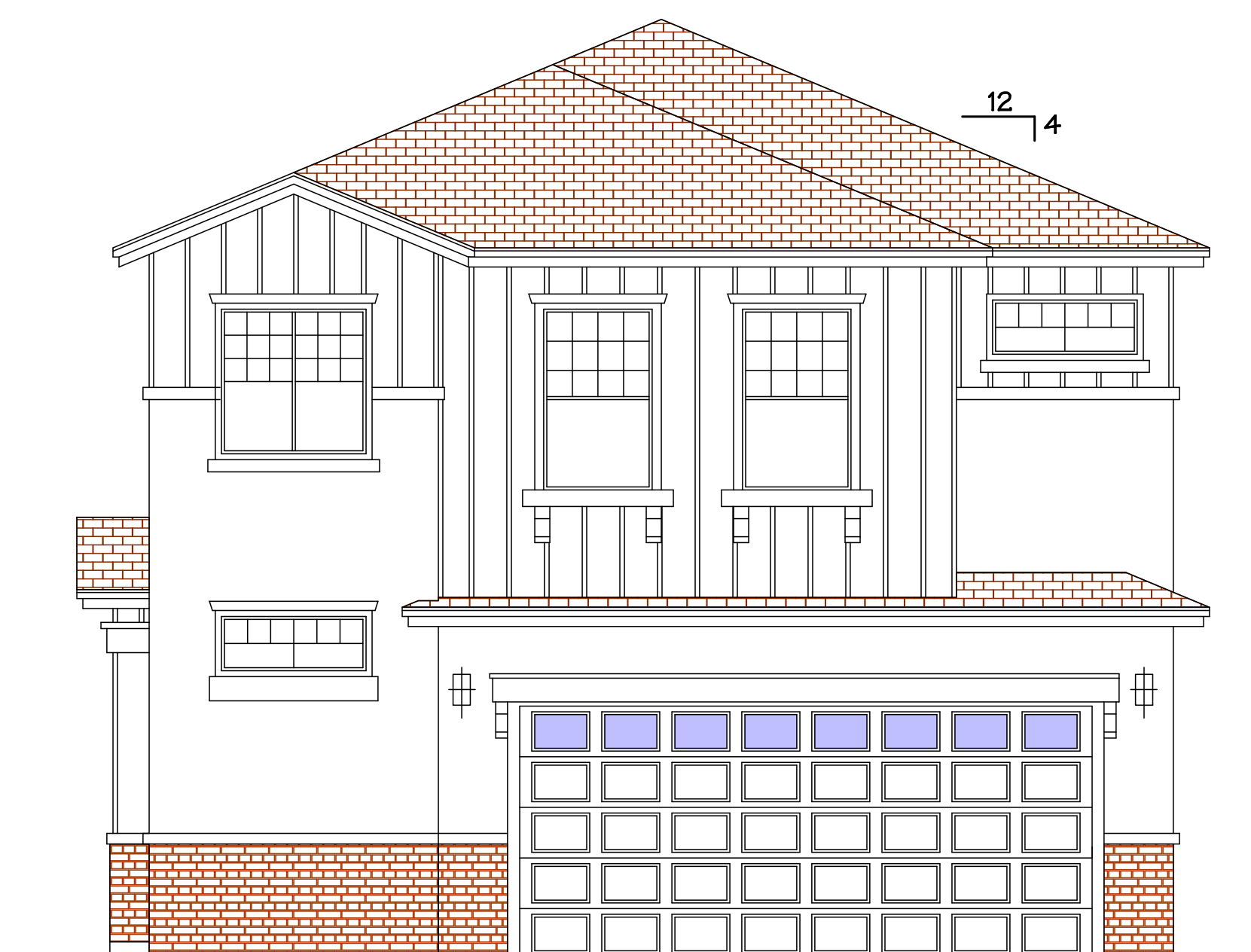
HACIENDA / ROOF B / FRONT



BUNGALOW / ROOF B / GARAGE SIDE



BUNGALOW / ROOF B / FRONT



PRAIRIE / ROOF B / GARAGE SIDE



PRAIRIE / ROOF B / FRONT

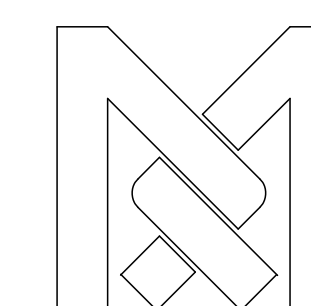
PLAN 1/ROOF B FRONT & GARAGE SIDE ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

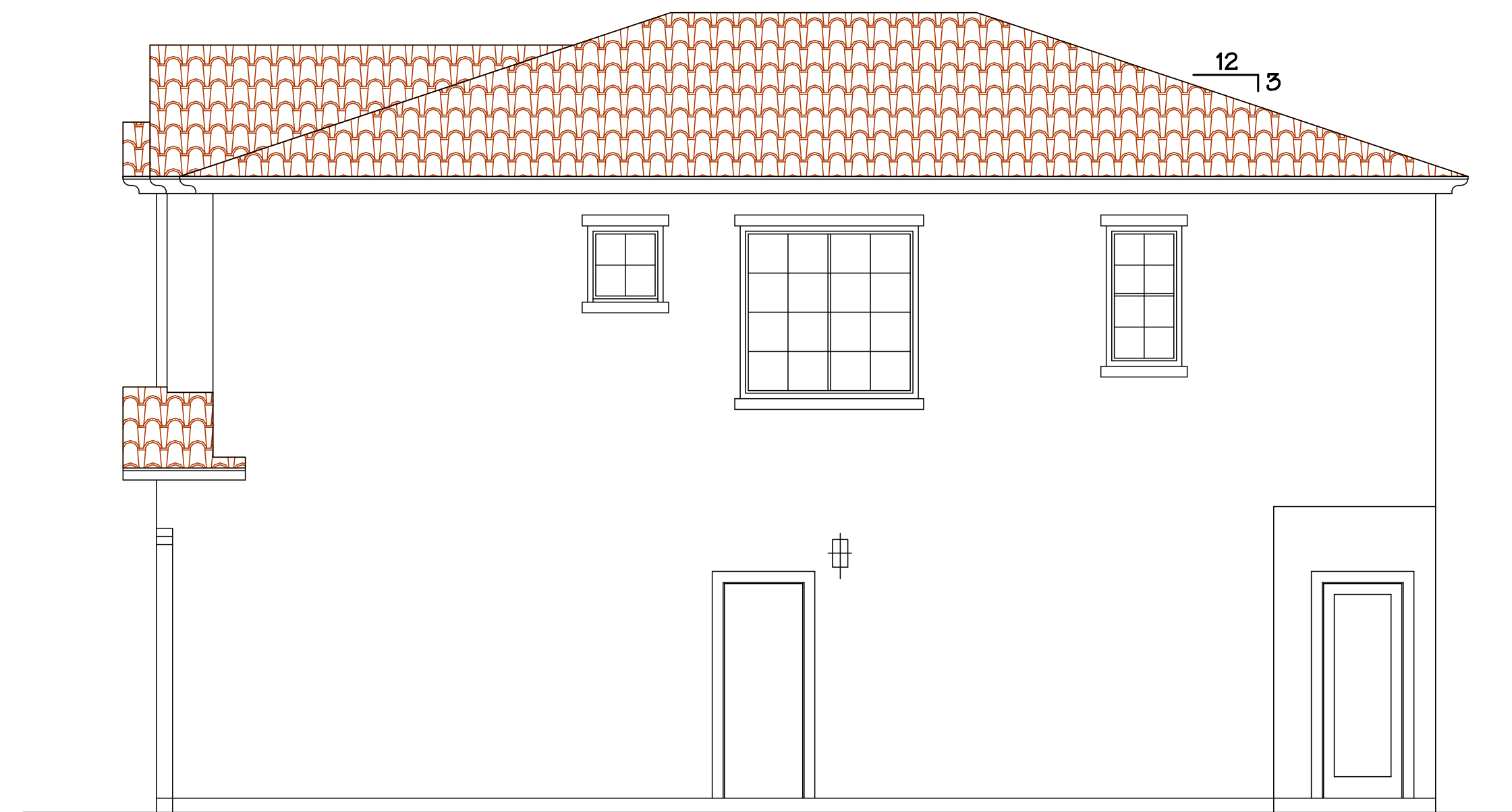
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 4(1)



RANDY MORRIS ARCHITECT
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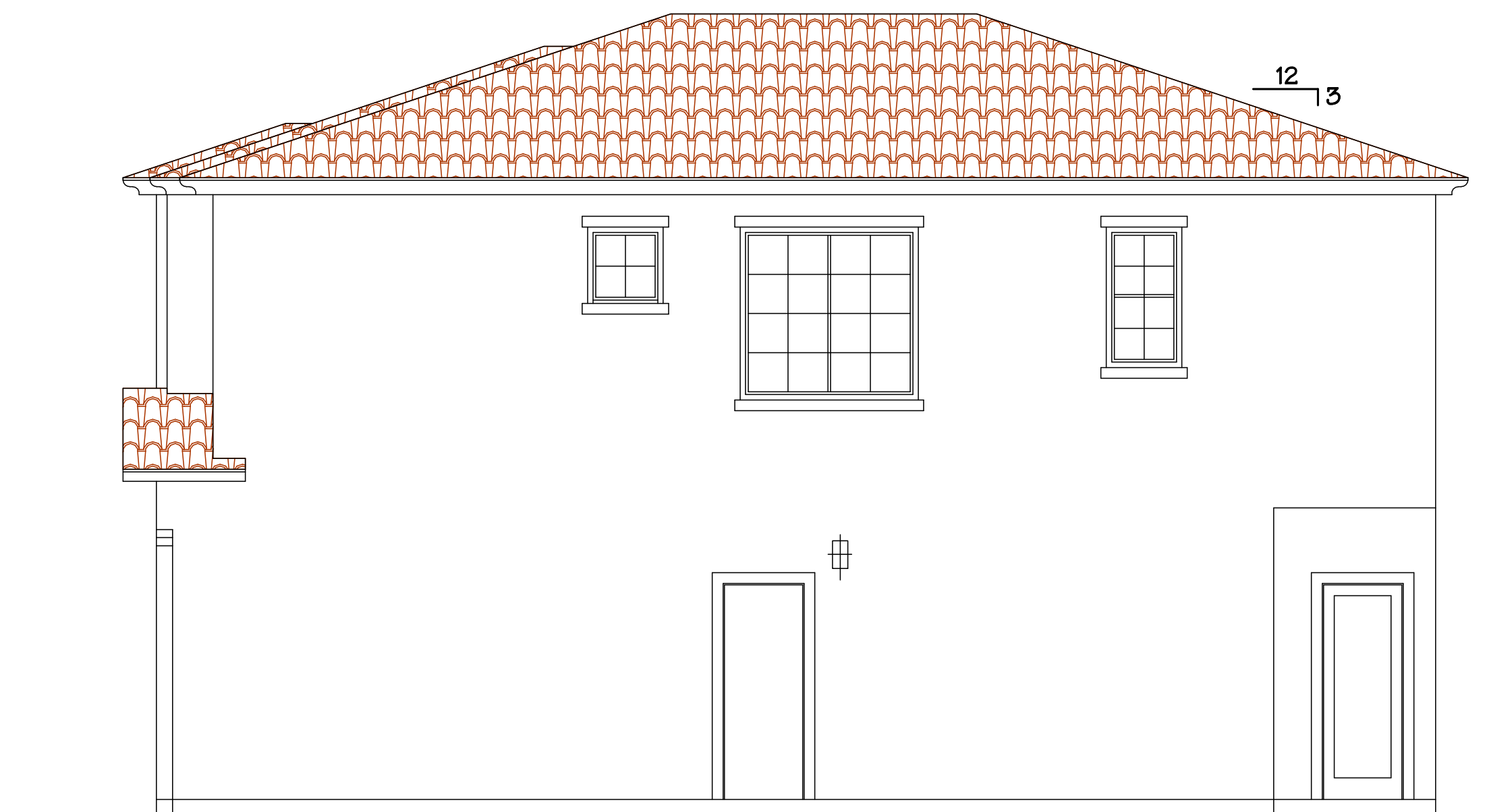
HACIENDA / ROOF A / SIDE YARD



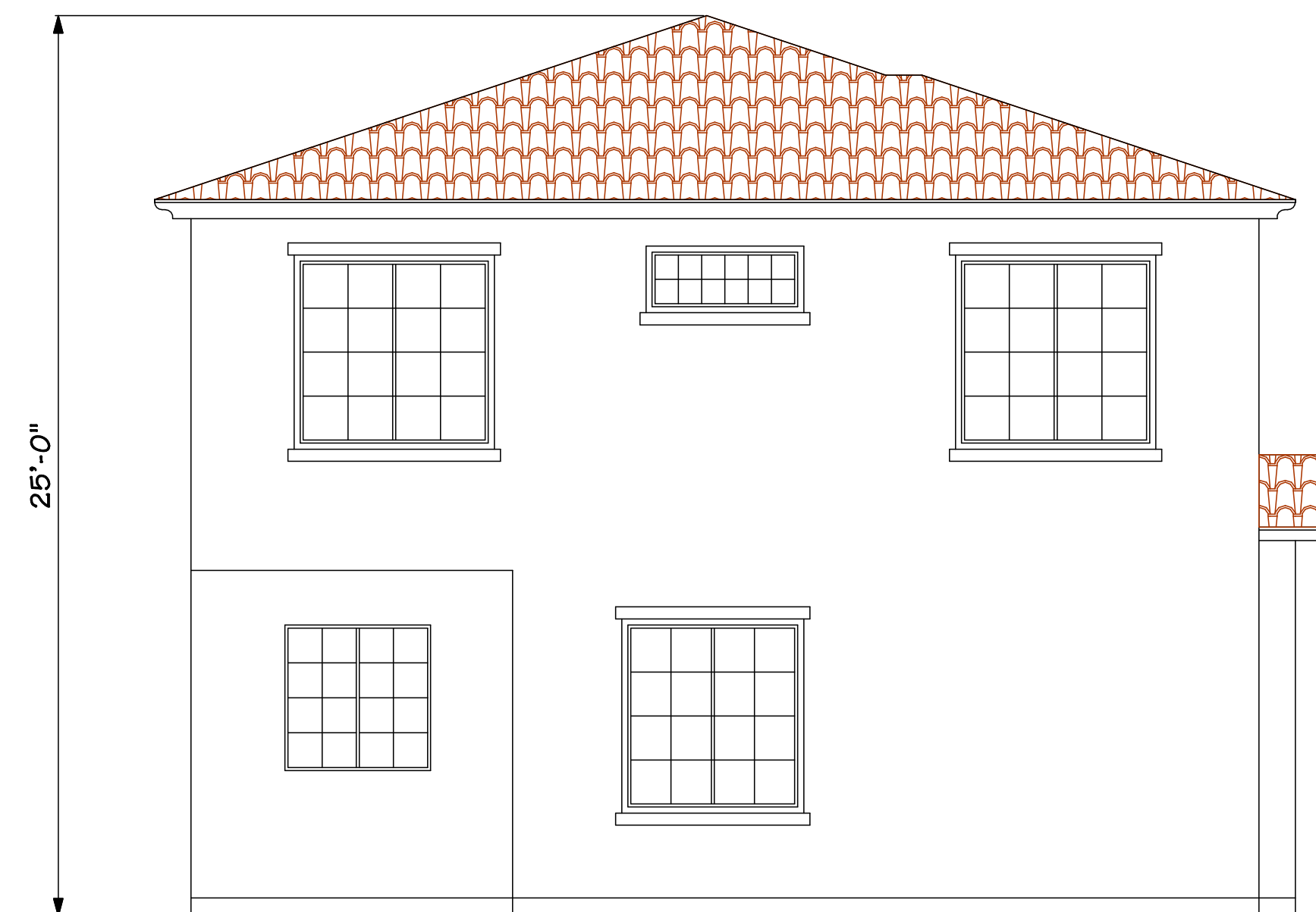
HACIENDA / ROOF A / REAR



HACIENDA / ROOF A / REAR W/ GABLE ENHANCEMENT



HACIENDA / ROOF B / SIDE YARD



HACIENDA / ROOF B / REAR



HACIENDA / ROOF B / REAR W/ GABLE ENHANCEMENT

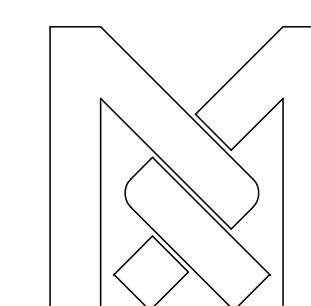
PLAN 1 HACIENDA - ROOF A & B SIDE YARD & REAR ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 5(1)



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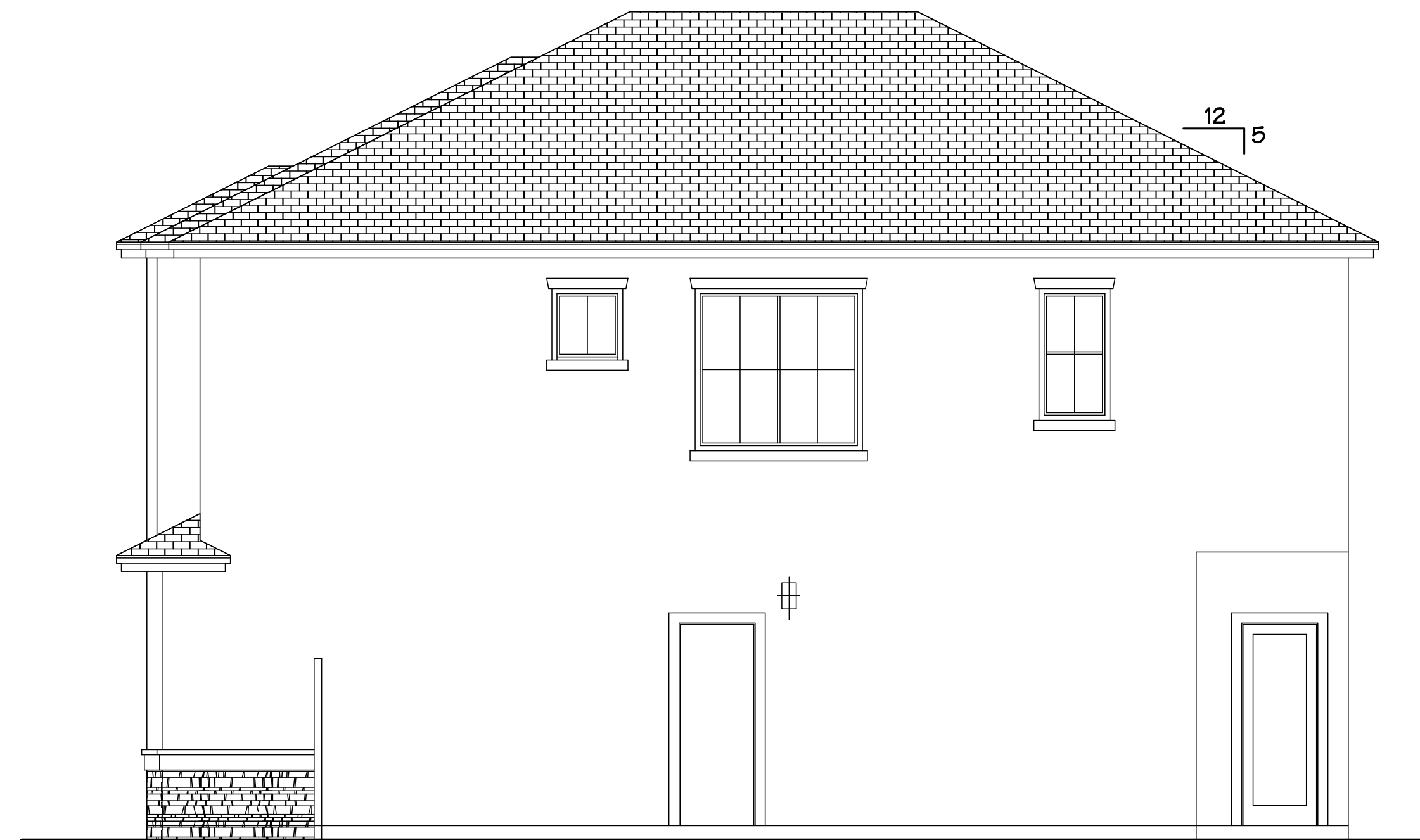
BUNGALOW / ROOF A / SIDE YARD



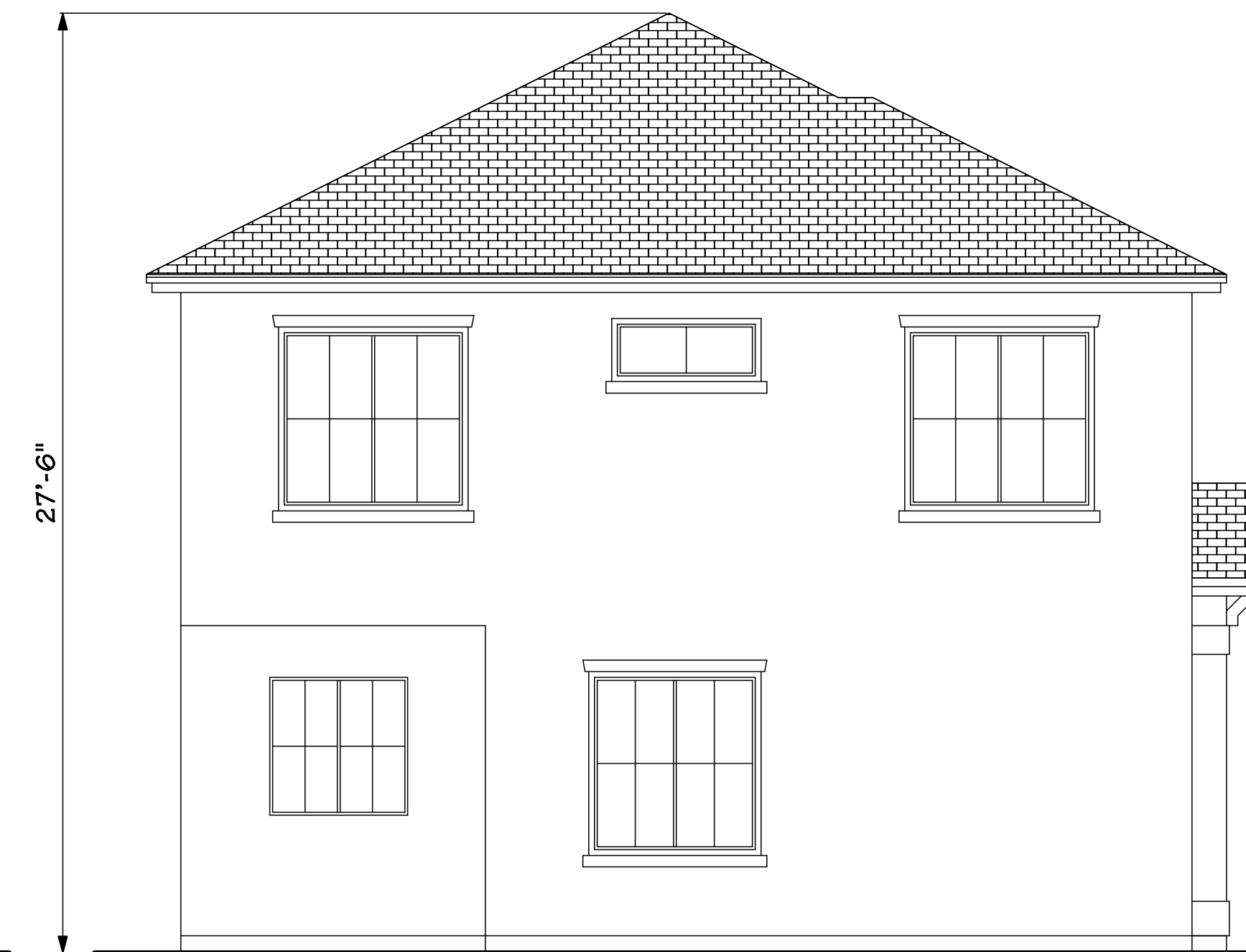
BUNGALOW / ROOF A / REAR



BUNGALOW / ROOF A / REAR W/ GABLE ENHANCEMENT



BUNGALOW / ROOF B / SIDE YARD



BUNGALOW / ROOF B / REAR



BUNGALOW / ROOF B / REAR W/ GABLE ENHANCEMENT

PLAN 1

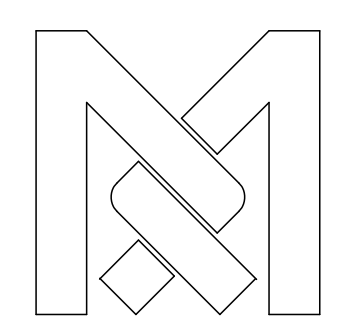
BUNGALOW - ROOF A & B
SIDE YARD & REAR
ELEVATIONS

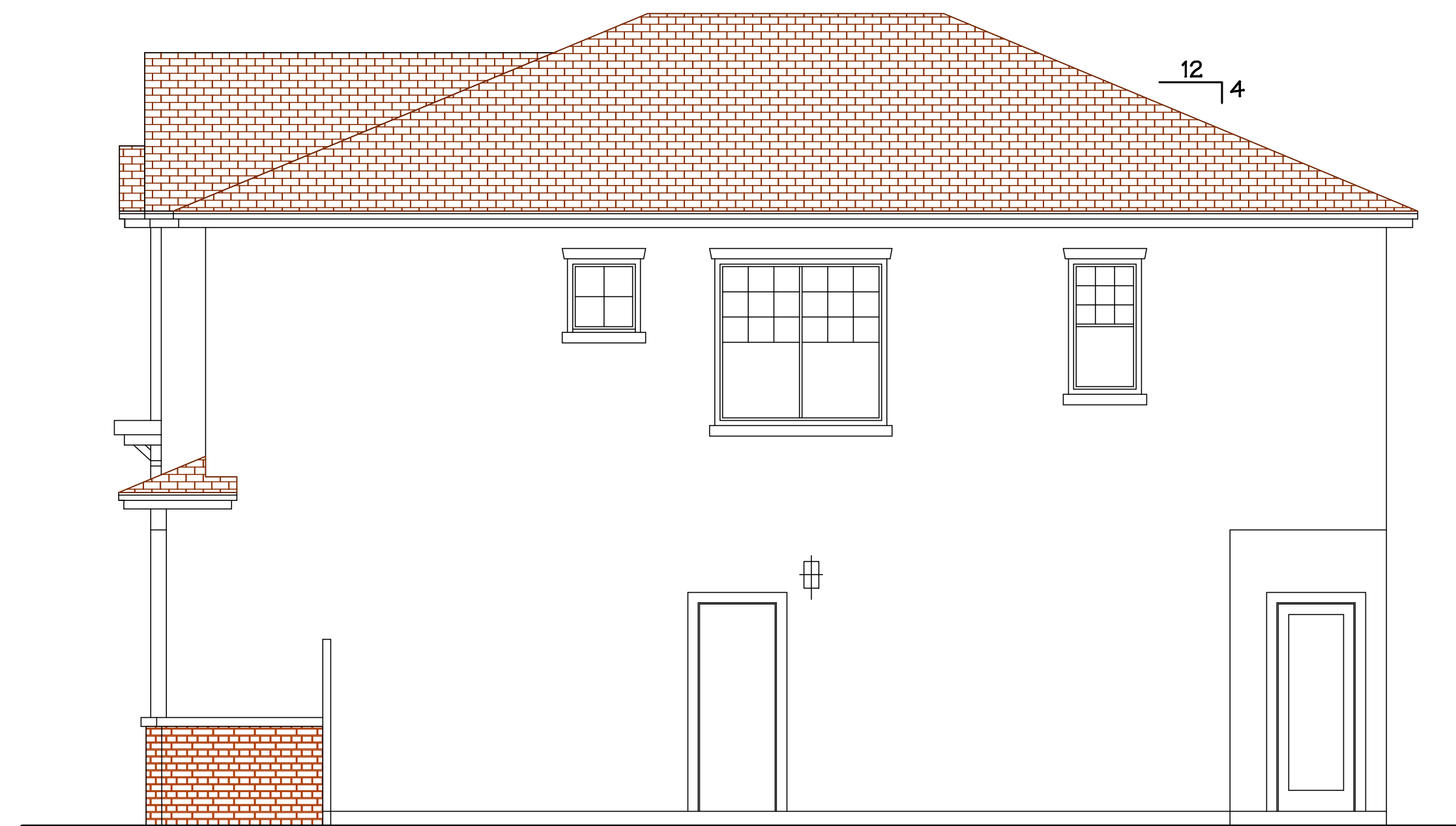
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 6(1)


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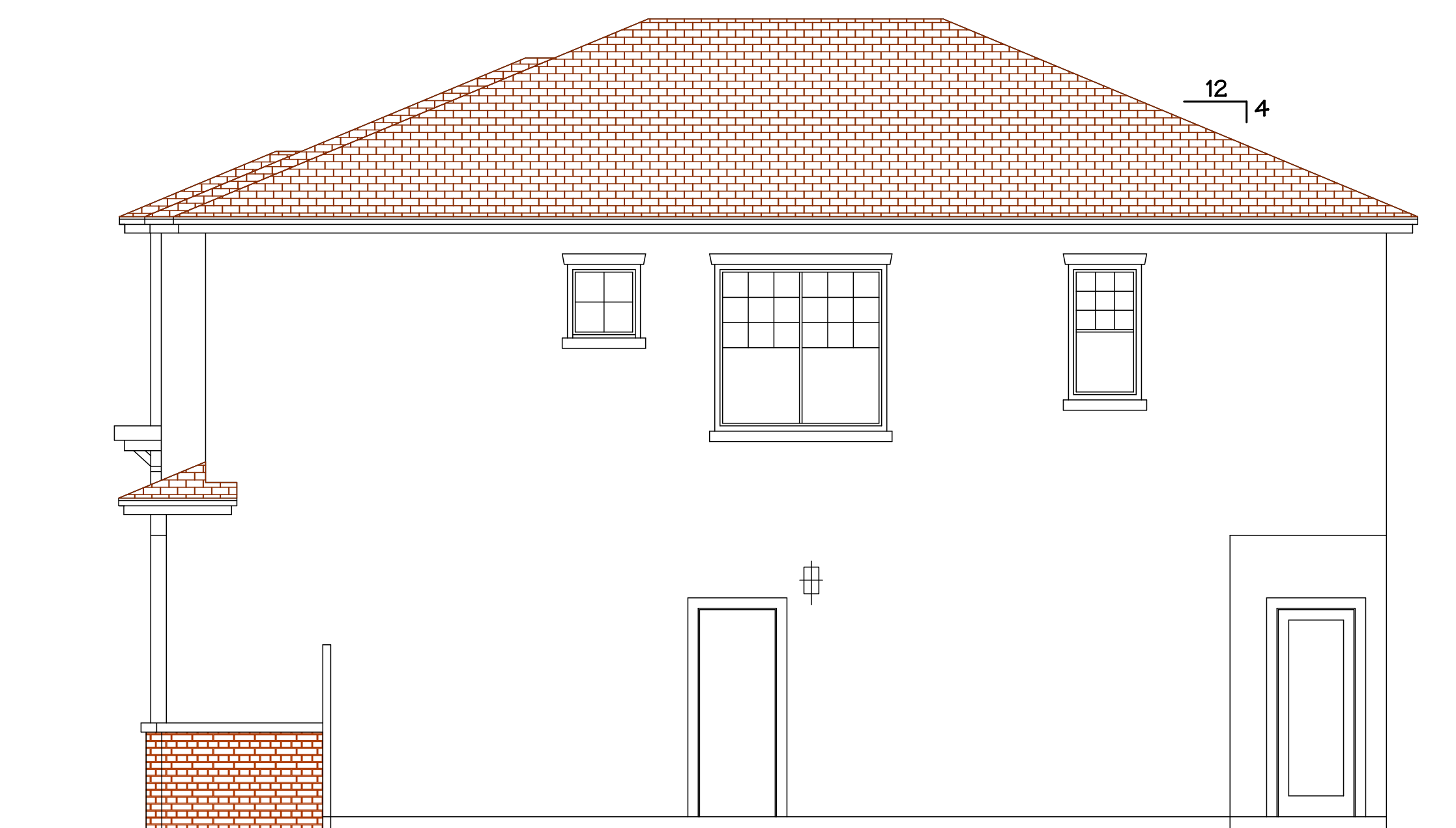
PRAIRIE / ROOF A / SIDE YARD



PRAIRIE / ROOF A / REAR



PRAIRIE / ROOF A / REAR W/ GABLE ENHANCEMENT



PRAIRIE / ROOF B / SIDE YARD



PRAIRIE / ROOF B / REAR



PRAIRIE / ROOF B / REAR W/ GABLE ENHANCEMENT

PLAN 1

PRAIRIE - ROOF A & B
SIDE YARDS & REAR
ELEVATIONS

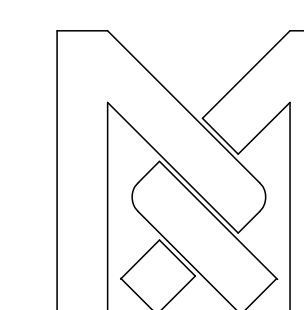
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC

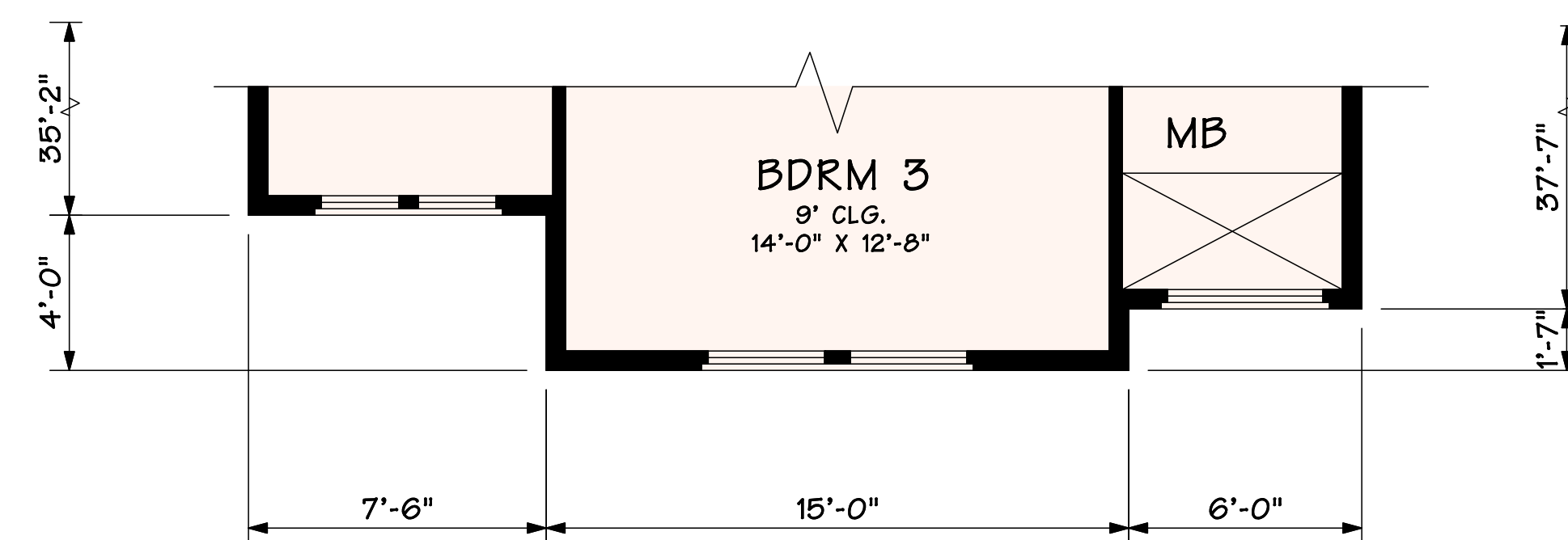
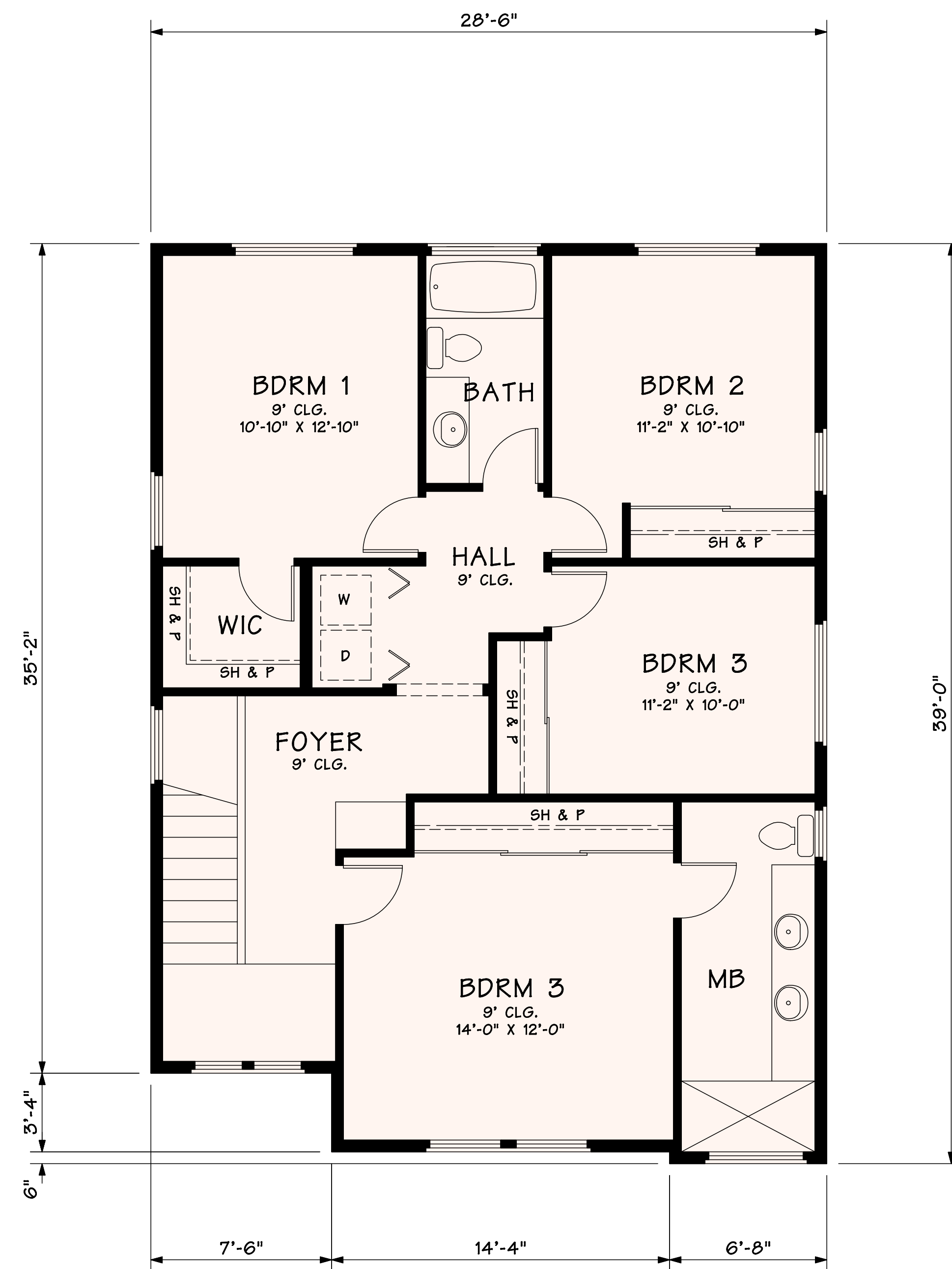
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 7(1)

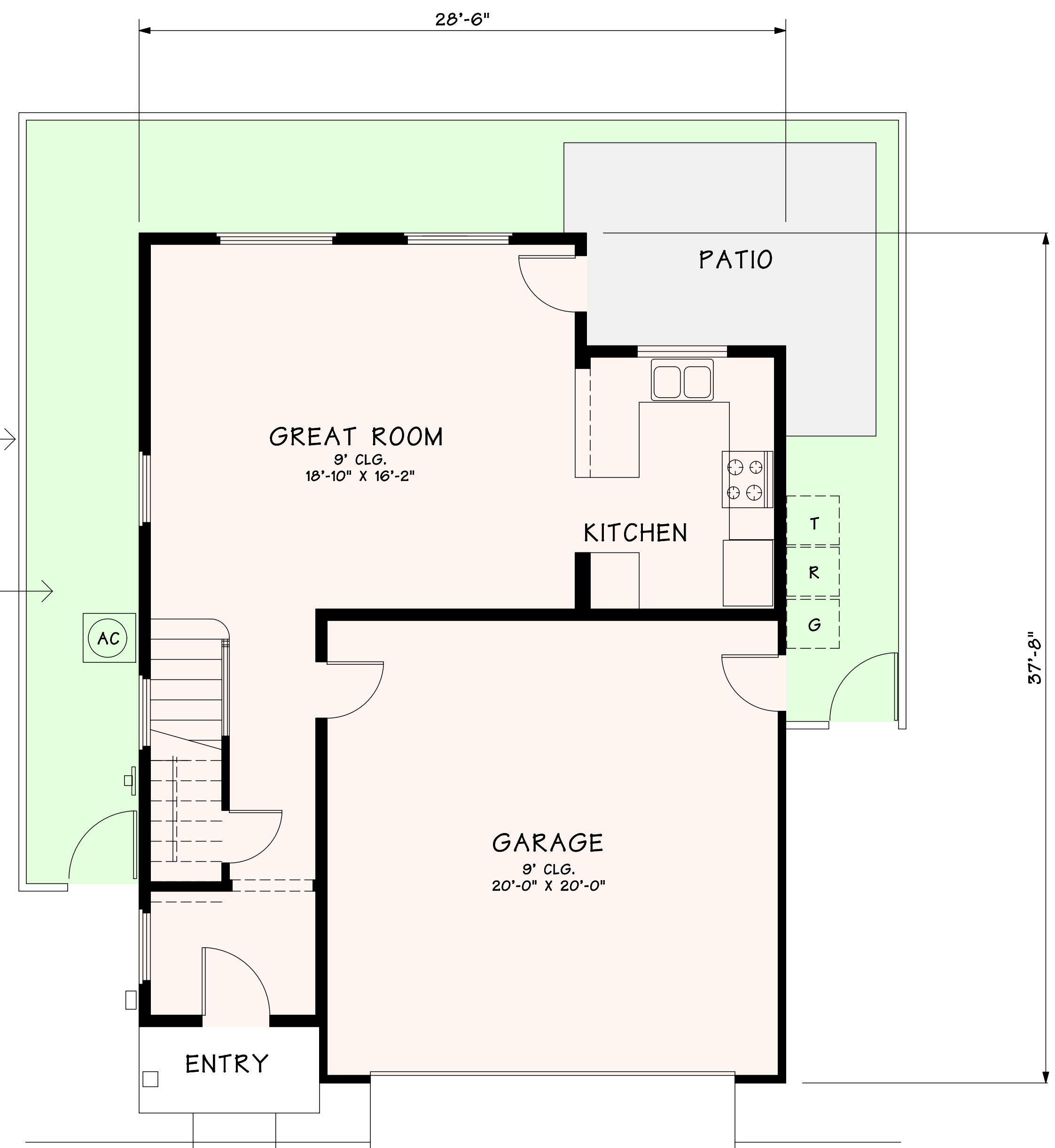


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5'-6" HT.
VINYL FENCING
TYPICAL

490 SF
PRIVATE
YARD MIN.



PLANS 2.0 & 2.1

PLAN 2.0	PLAN 2.1
1,774 SF	1,776 SF
4 BDRM/2.0 BATH	4 BDRM/2.0 BATH
2 BAY GARAGE	2 BAY GARAGE

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

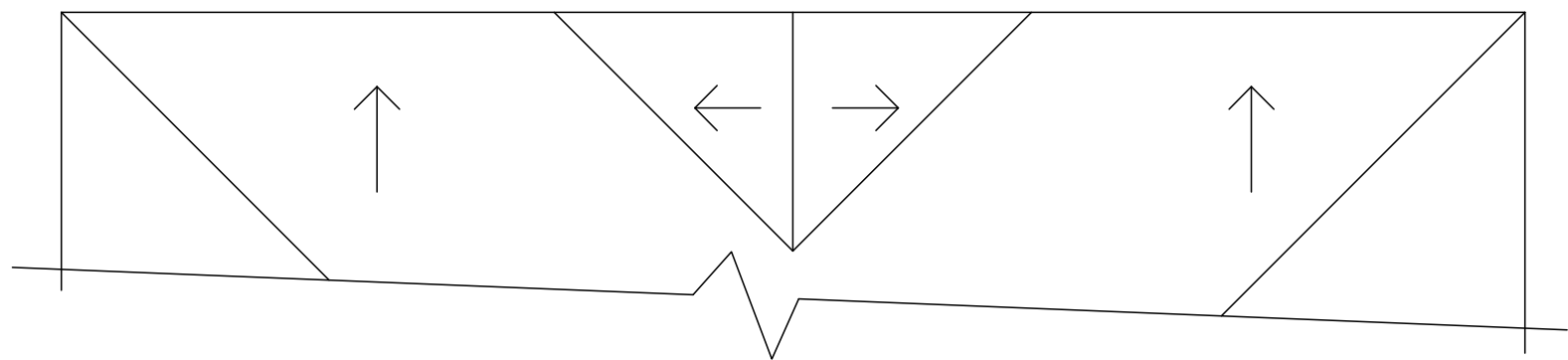
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

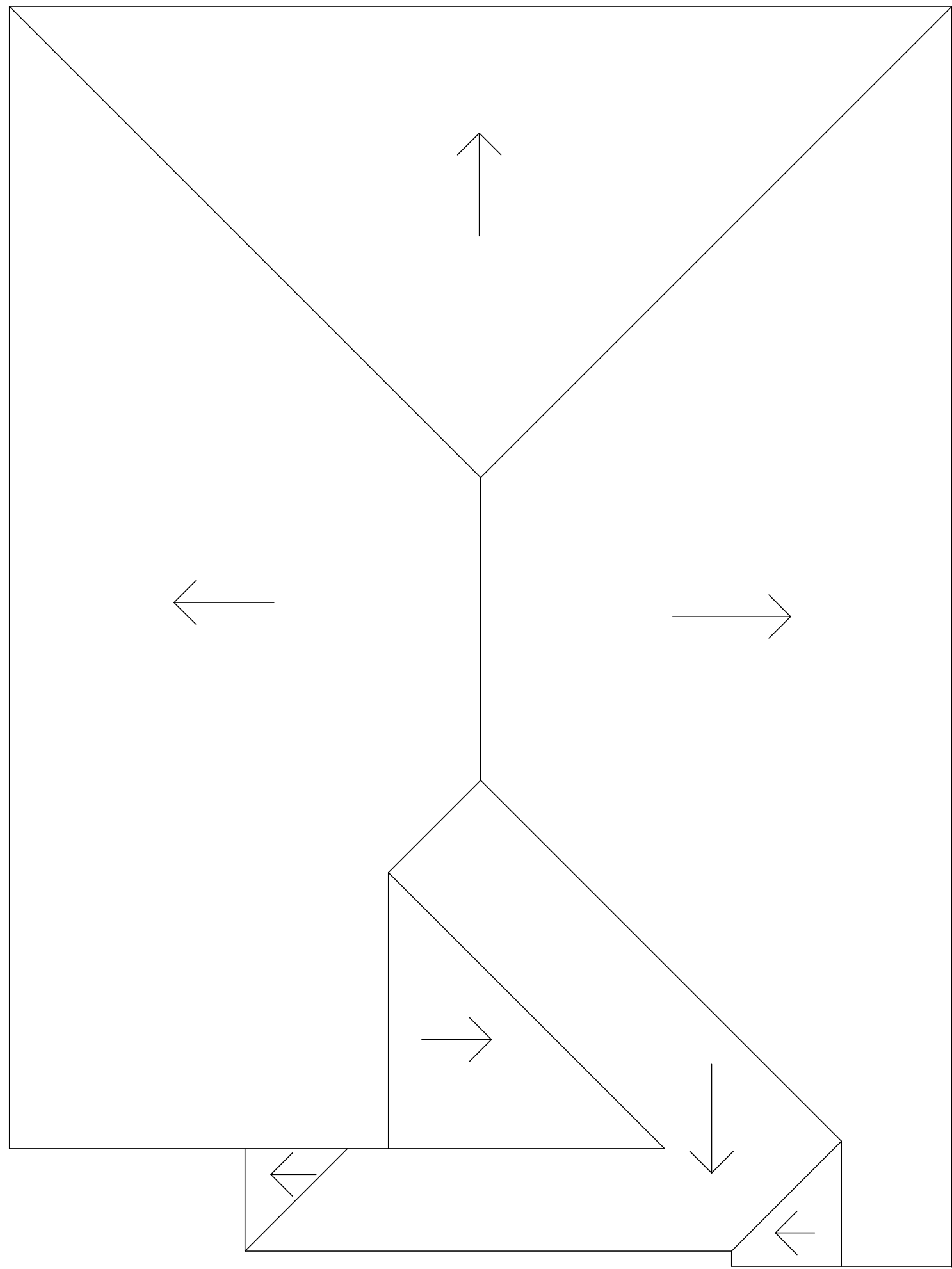
SHEET 1(2)

RANDY MORRIS ARCHITECT
45120 VIA CARINA
INDIAN WELLS, CA 92210
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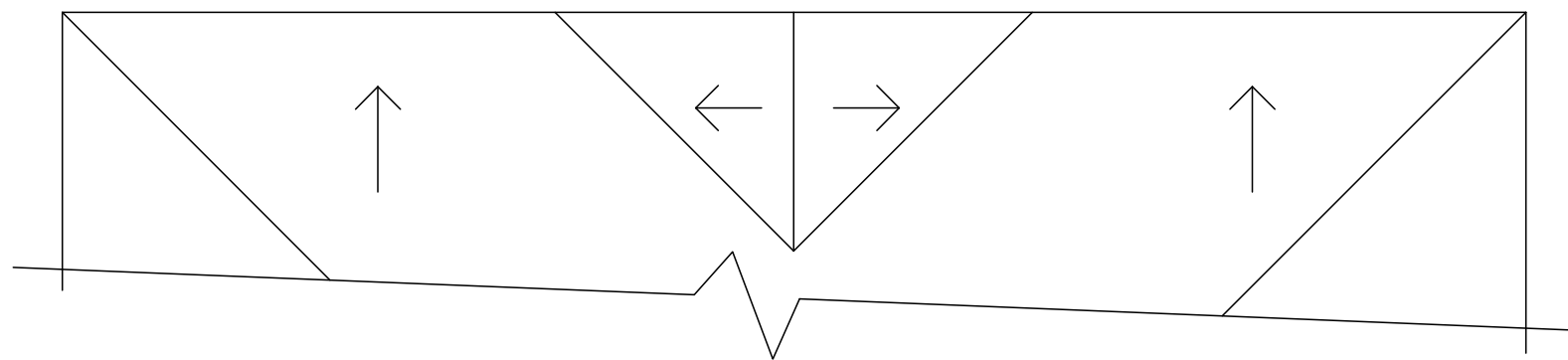
NOTE:
GABLE ENHANCEMENTS TO BE CONSTRUCTED ON ALL ODD NUMBERED HOUSES.



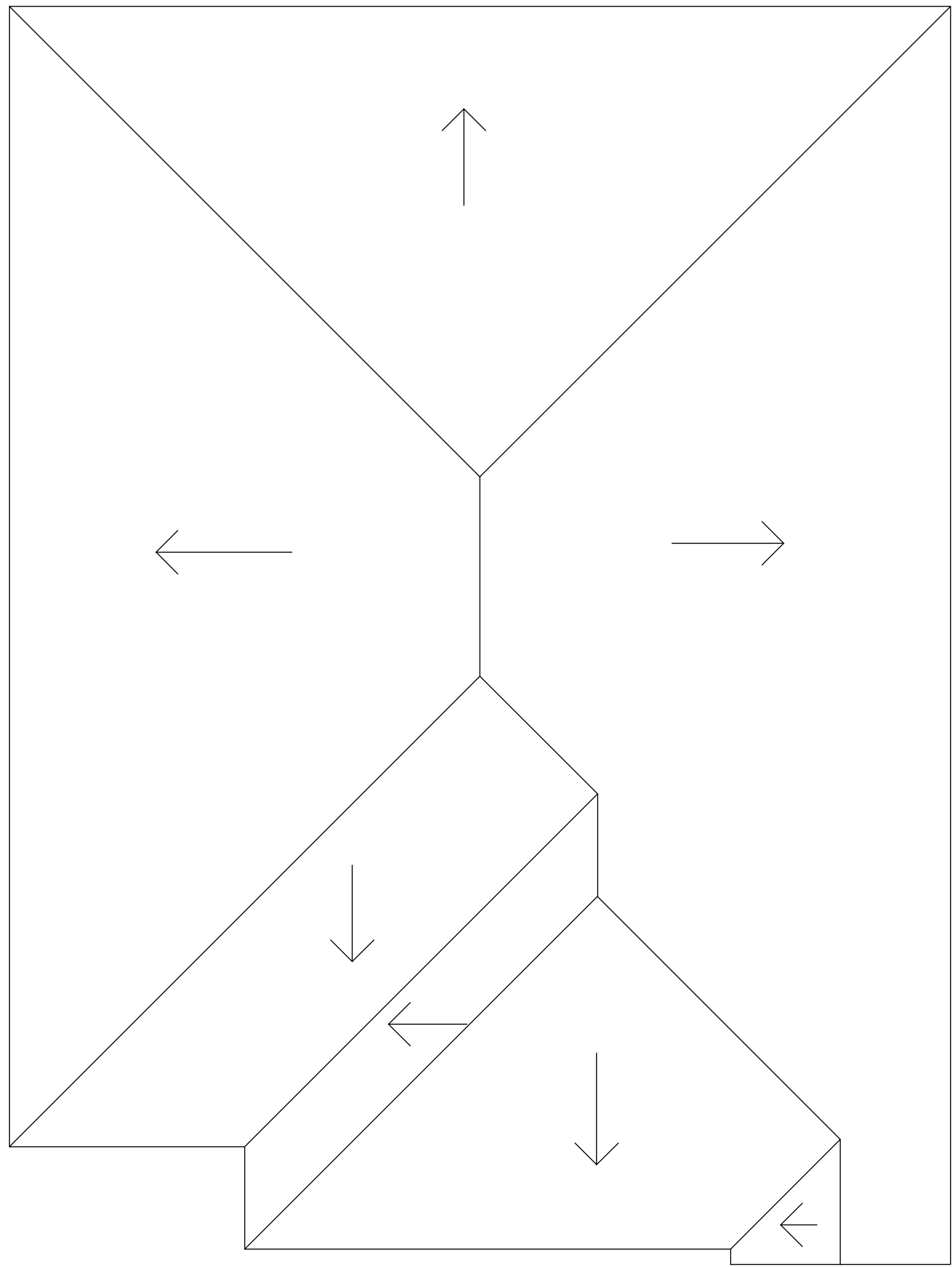
ROOF A WITH GABLE ENHANCEMENT



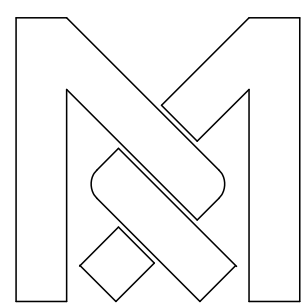
ROOF A
EAVE 12" / RAKE 12"
PRAIRIE 2.0 - CONCRETE HEAVY SHAKE



ROOF B WITH GABLE ENHANCEMENT



ROOF B
EAVE 12" / RAKE 12"
HACIENDA 2.0 - CONCRETE 'S' TILE
BUNGALOW 2.0 - CONCRETE FLAT SLATE



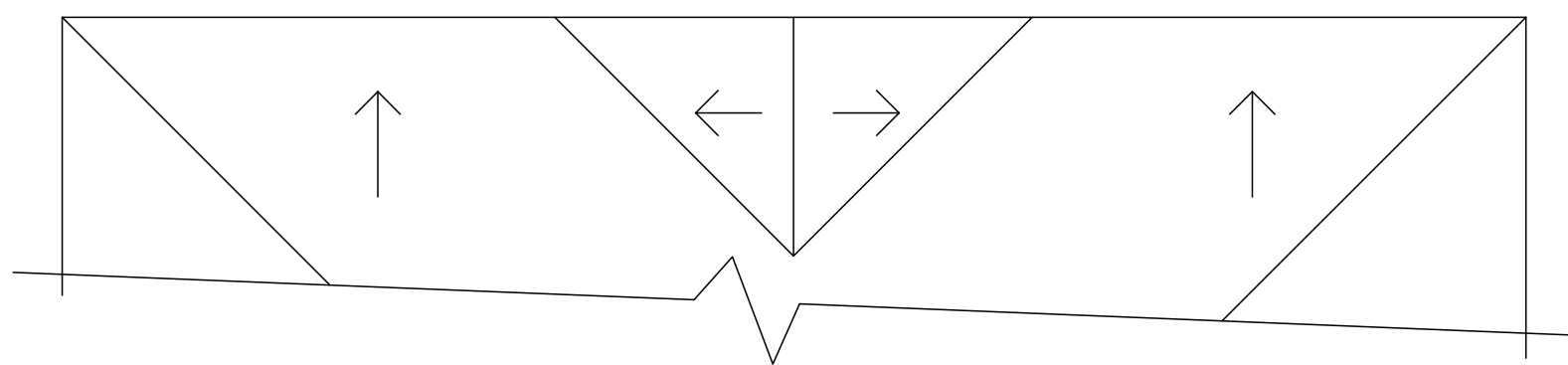
RANDY MORRIS ARCHITECT
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INDIAN WELLS, CA 92210
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PLAN 2.0
ROOF PLANS A & B

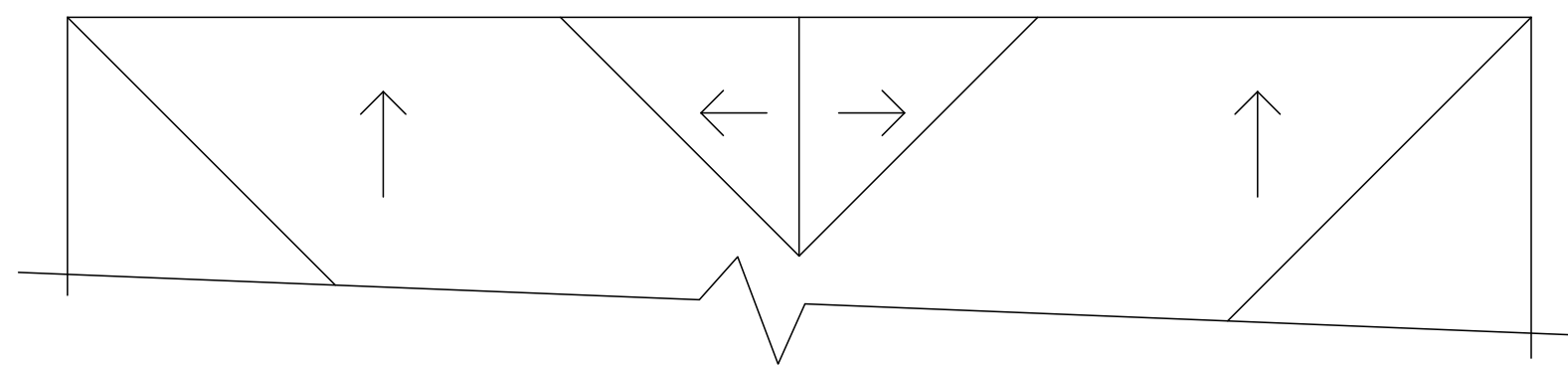
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

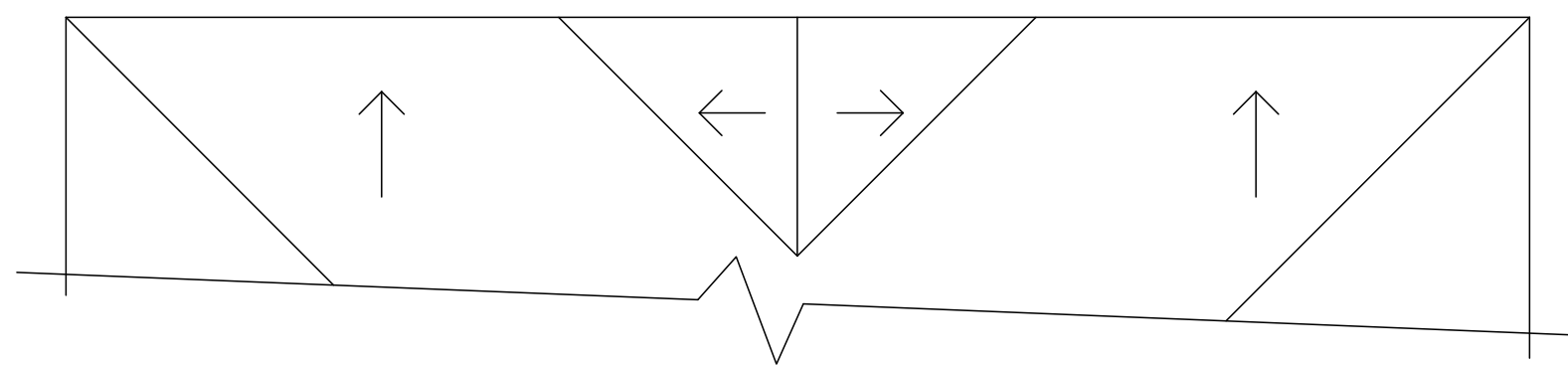
NOTE:
GABLE ENHANCEMENTS TO BE CONSTRUCTED ON ALL ODD NUMBERED HOUES.



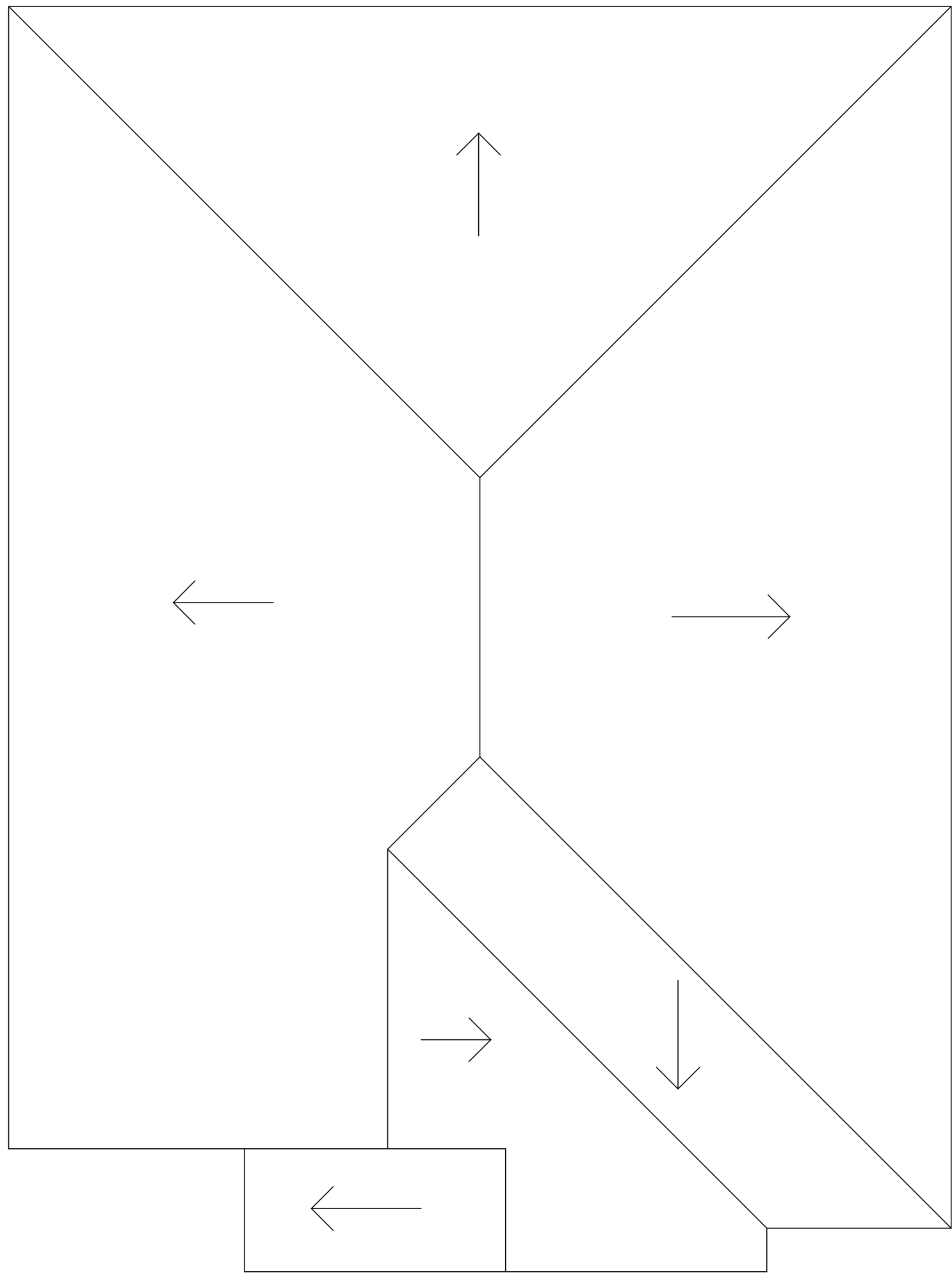
ROOF A WITH GABLE ENHANCEMENT



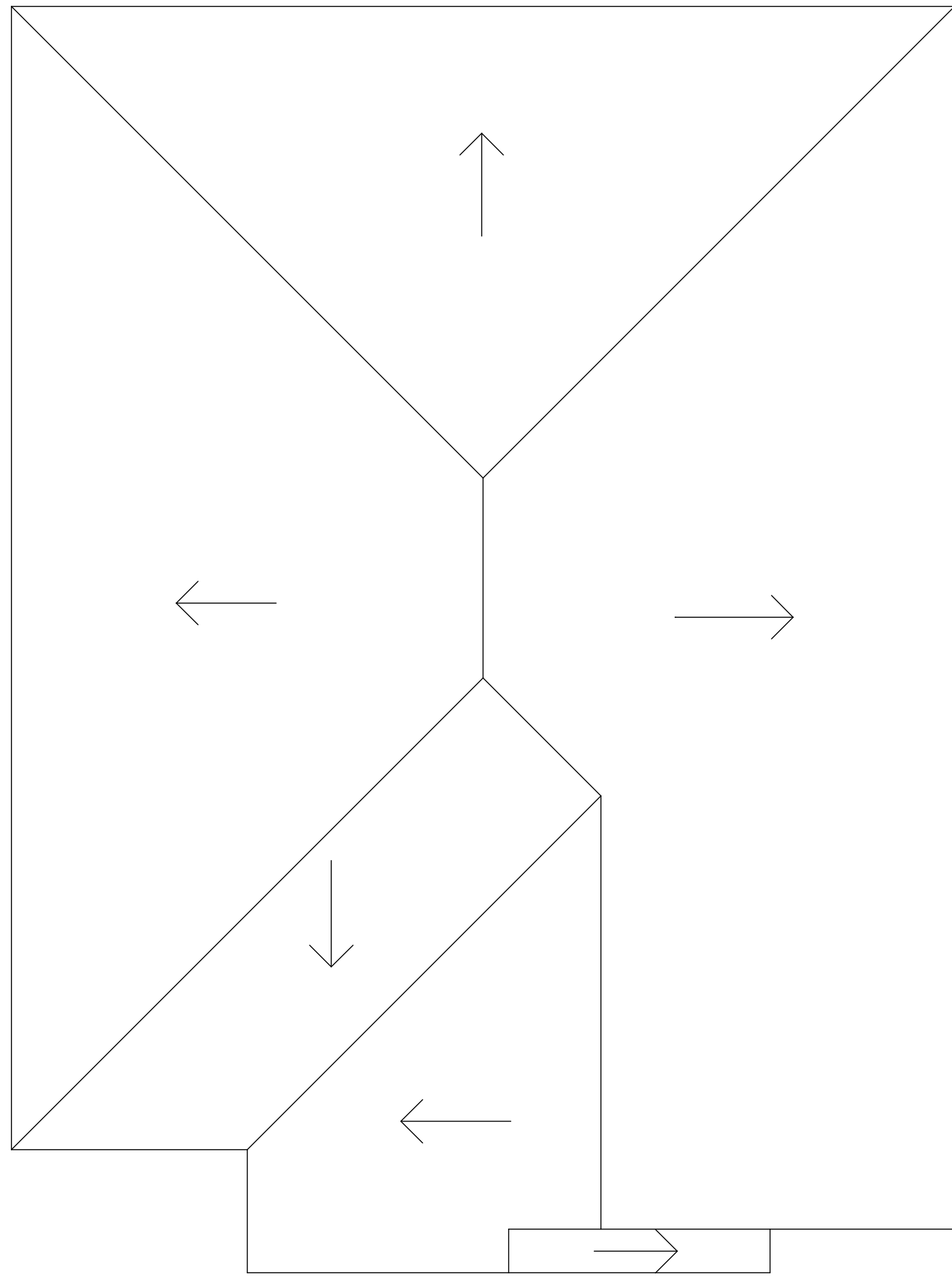
ROOF A WITH GABLE ENHANCEMENT



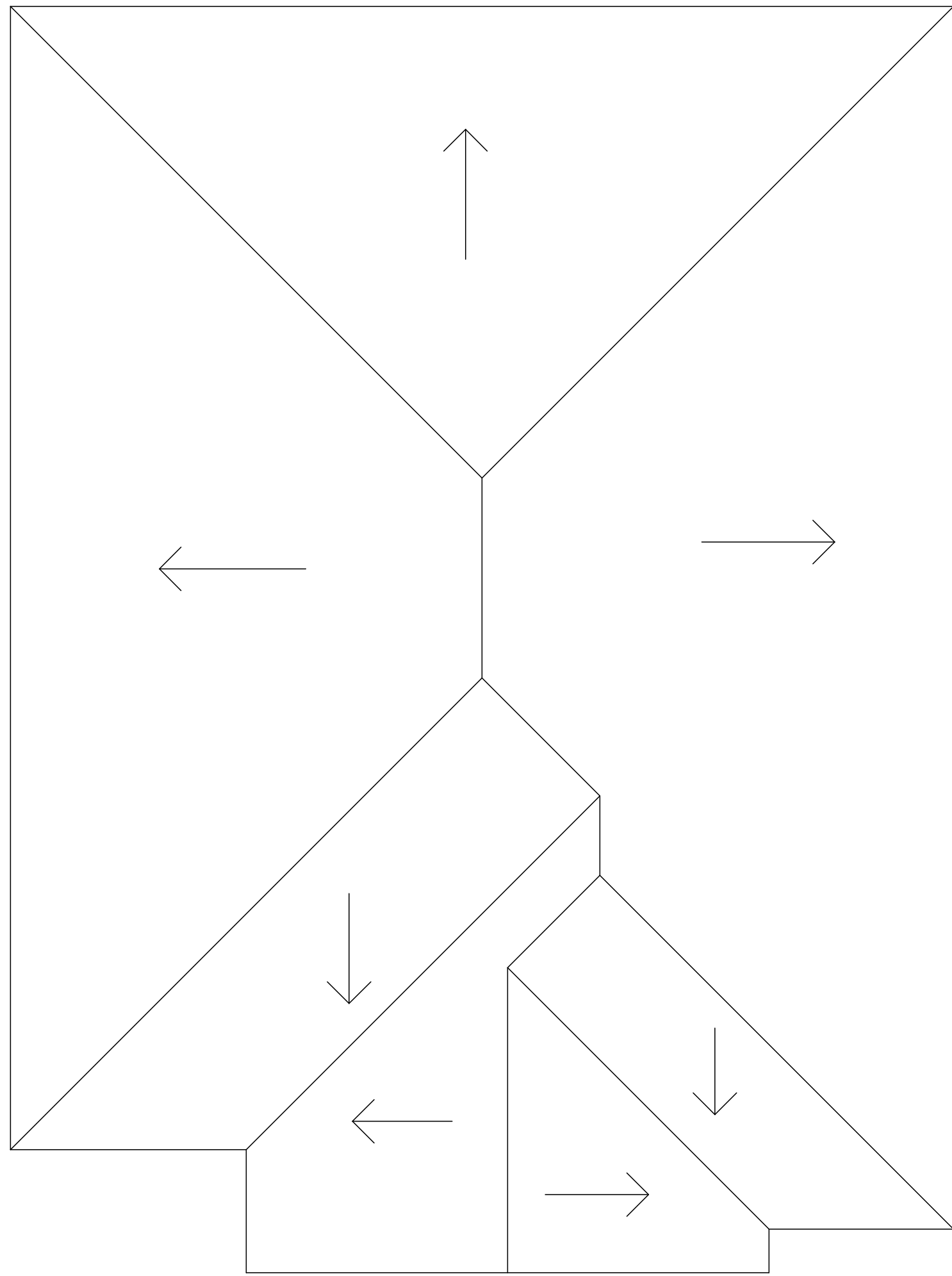
ROOF A WITH GABLE ENHANCEMENT



ROOF A
EAVE 12" / RAKE 12"
PRAIRIE 2.1 - CONCRETE HEAVY SHAKE



ROOF B
EAVE 12" / RAKE 12"
BUNGALOW 2.1 - CONCRETE FLAT SLATE



ROOF C
EAVE 12" / RAKE 12"
HACIENDA 2.1 - CONCRETE 'S' TILE

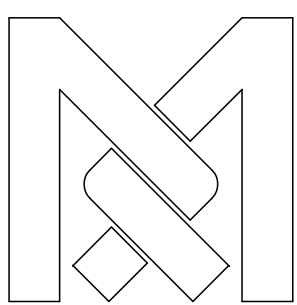
PLAN 2.1

ROOF PLANS A, B & C

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 3(2)

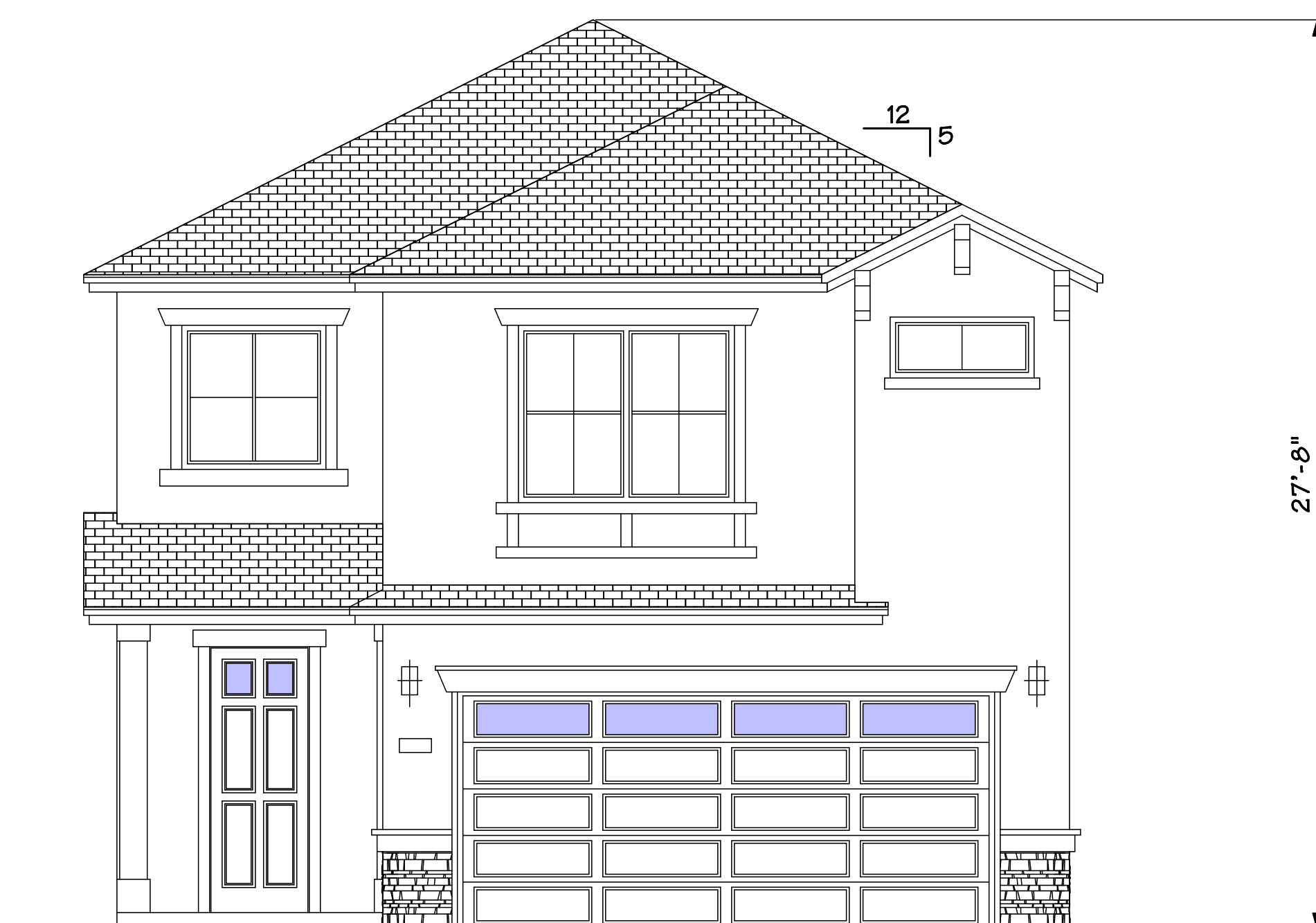

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T. (310) 809-6745
E-MAIL rj.morris3@verizon.net



PRAIRIE 2.0 / ROOF A / FRONT



PRAIRIE 2.1 / ROOF A / FRONT



BUNGALOW 2.0 / ROOF B / FRONT



BUNGALOW 2.1 / ROOF B / FRONT



HACIENDA 2.0 / ROOF A / FRONT



HACIENDA 2.1 / ROOF C / FRONT

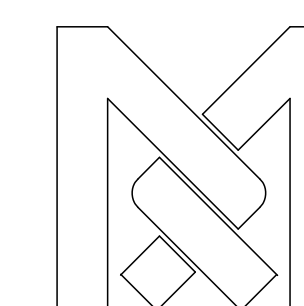
PLAN 2.0 & 2.1 FRONT (GARAGE SIDE) ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

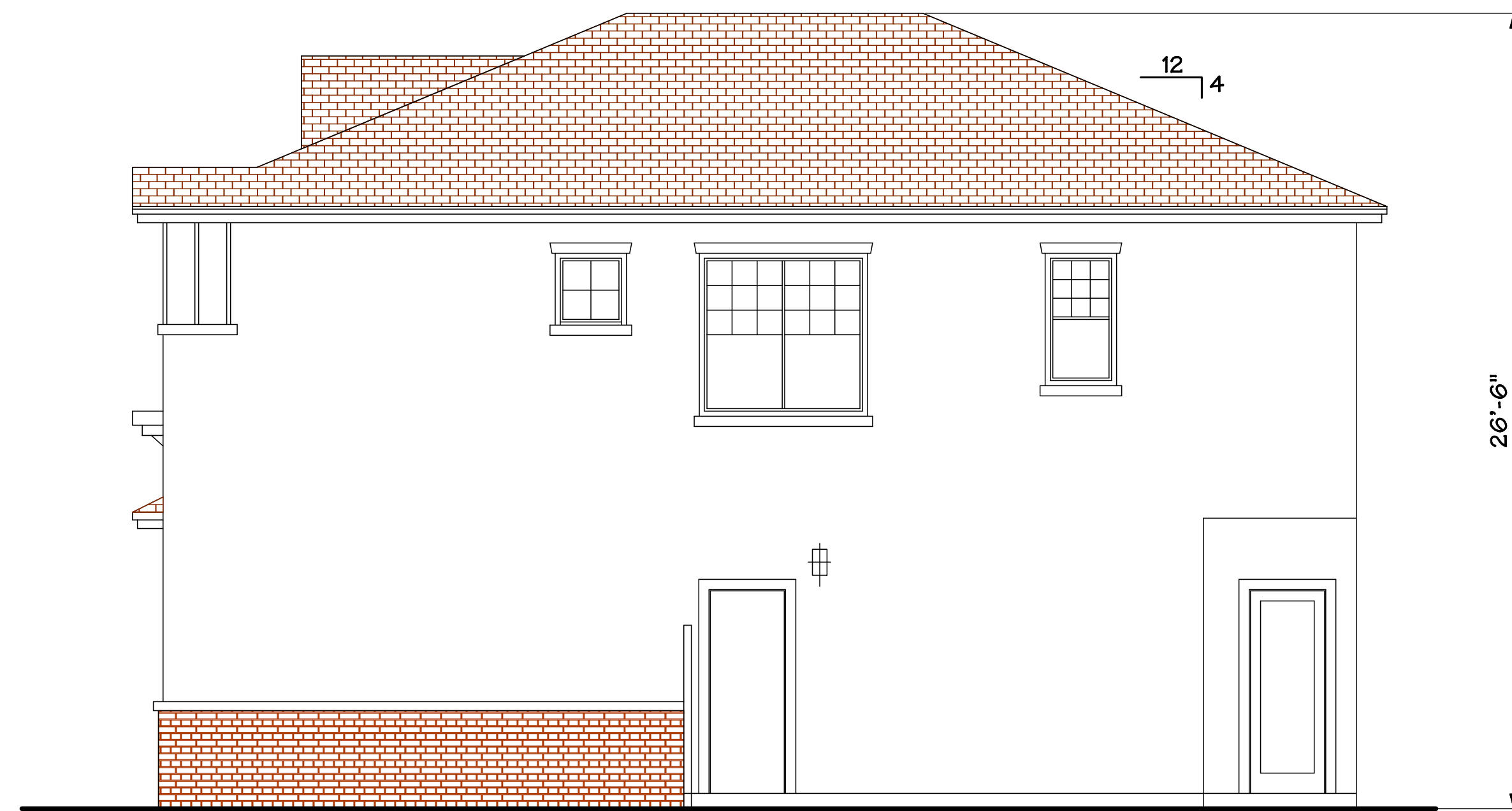
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 4(2)



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PRAIRIE 2.0/ ROOF A / SIDE YARD



PRAIRIE 2.0/ ROOF A / REAR



PRAIRIE 2.0 / ROOF A / REAR
W/ GABLE ENHANCEMENT



PRAIRIE 2.0/ ROOF A / SIDE YARD

PLAN 2.0

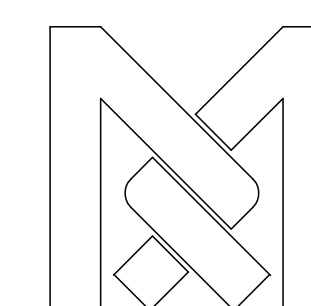
PRAIRIE 2.0
SIDE YARDS & REAR
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 5(2)



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INDIAN WELLS, CA 92210
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BUNGALOW 2.0/ ROOF B / SIDE YARD



BUNGALOW 2.0 / ROOF B / REAR



BUNGALOW2.0 / ROOF B / REAR
W/ GABLE ENHANCEMENT



BUNGALOW 2.0/ ROOF B / SIDE YARD

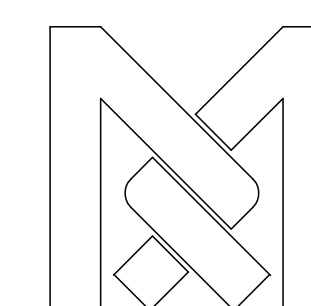
PLAN 2.0 BUNGALOW 2.0 SIDE YARDS & REAR ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

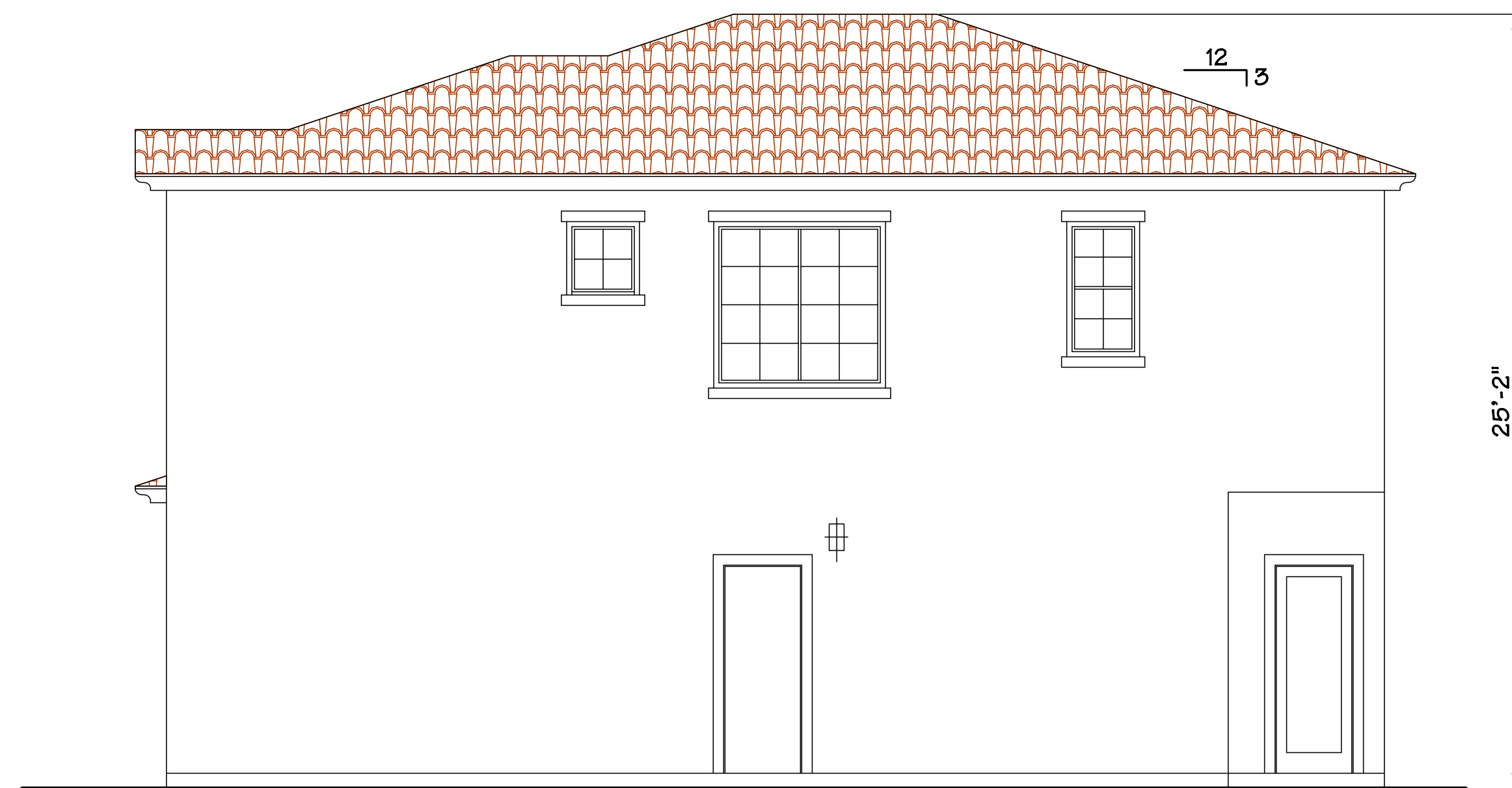
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 6(2)



RANDY MORRIS ARCHITECT
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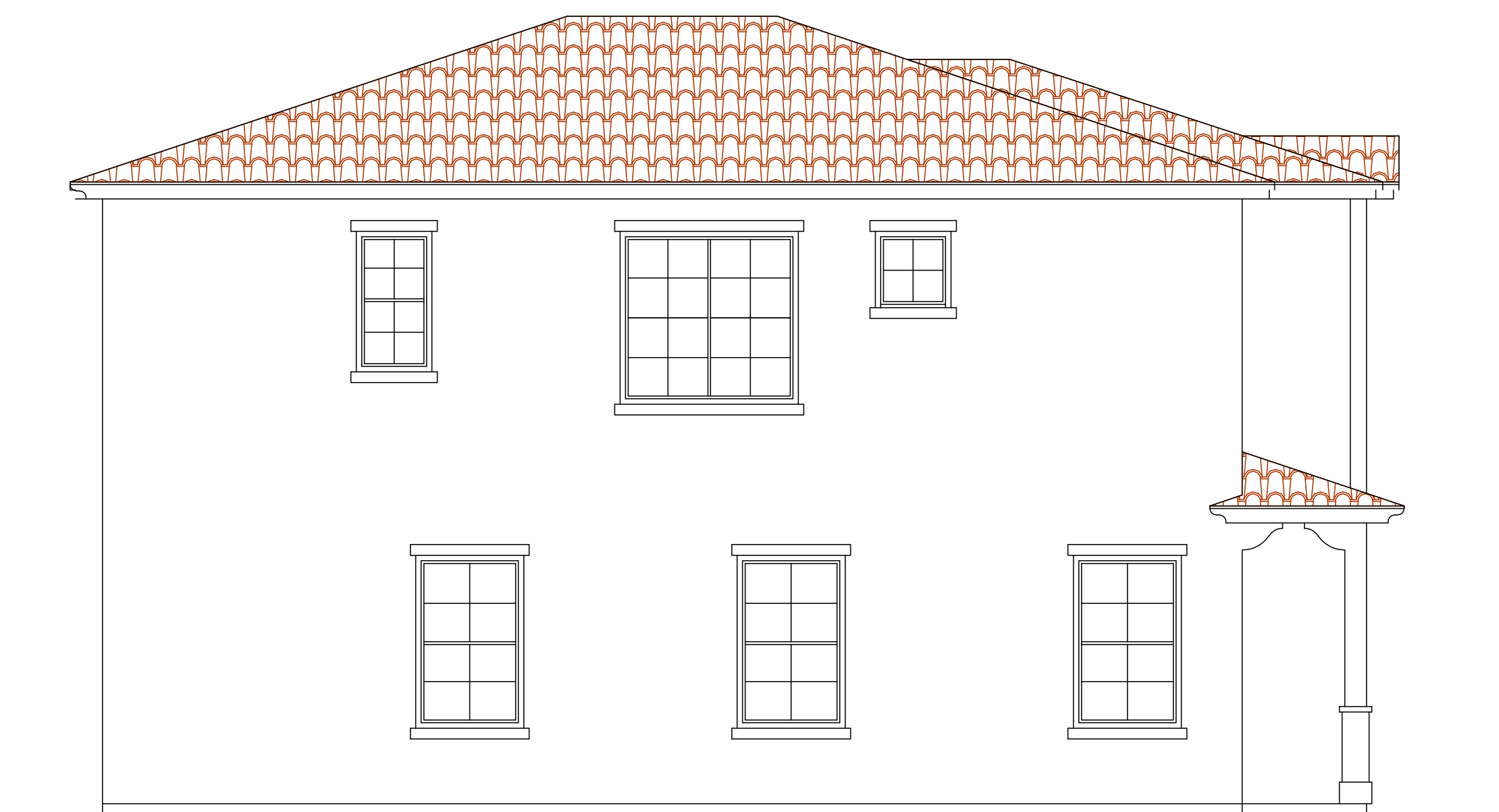
HACIENDA 2.0/ ROOF B / SIDE YARD



HACIENDA 2.0 / ROOF B / REAR



HACIENDA 2.0 / ROOF B / REAR
W/ GABLE ENHANCEMENT



BUNGALOW 2.0/ ROOF B / SIDE YARD

PLAN 2.0

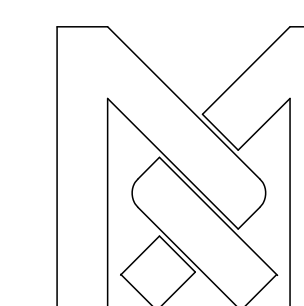
HACIENDA 2.0
SIDE YARDS & REAR
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

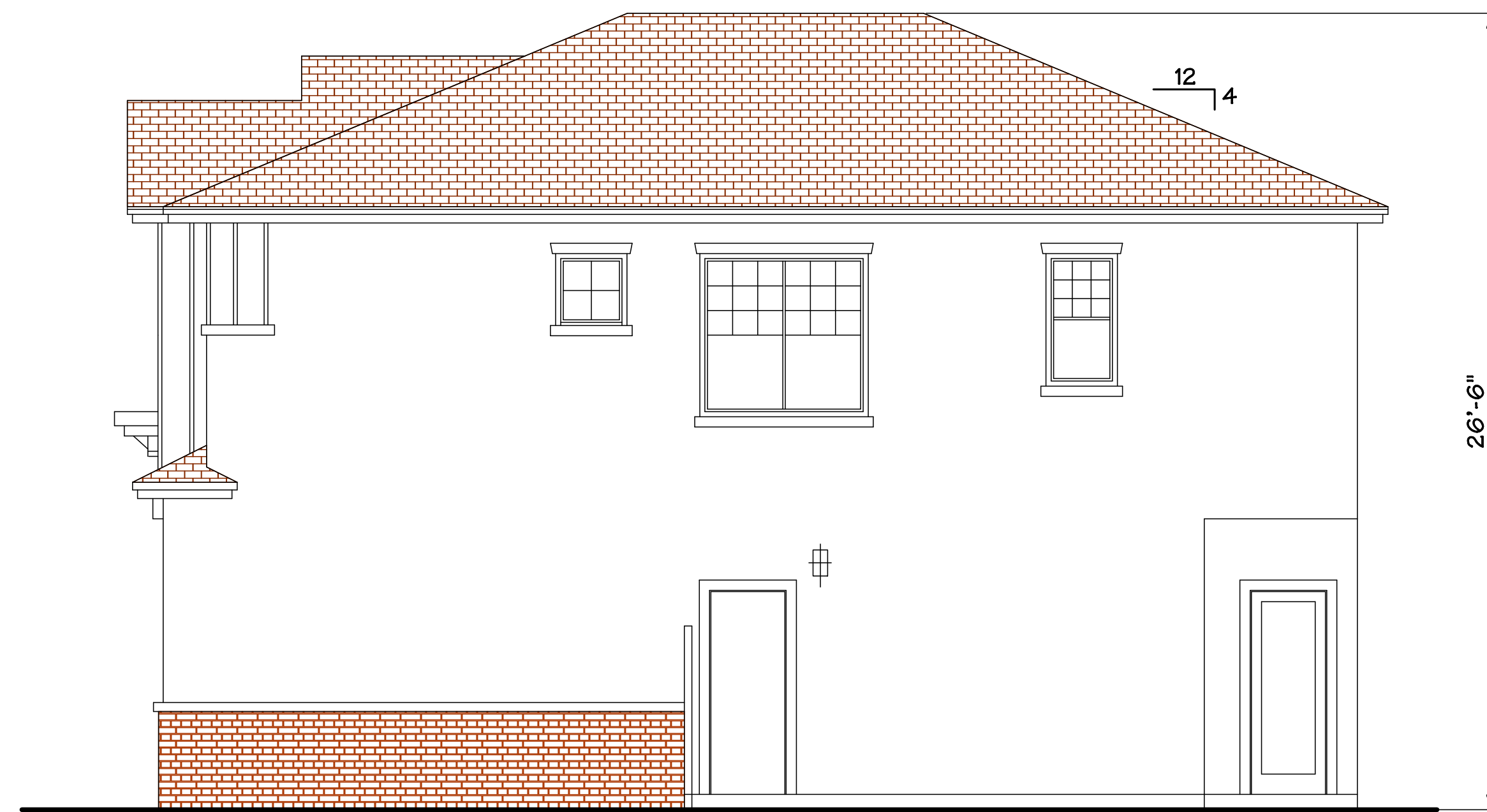
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: JULY 6, 2021

SHEET 7(2)



RANDY MORRIS ARCHITECT
45120 VIA CARINA
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PRAIRIE 2.1 / ROOF A / SIDE YARD



PRAIRIE 2.1 / ROOF A / REAR



PRAIRIE 2.1 / ROOF A / REAR
W/ GABLE ENHANCEMENT



PRAIRIE 2.1 / ROOF A / SIDE YARD

PLAN 2.1

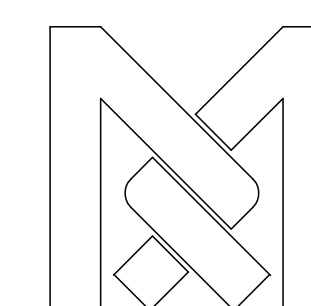
PRAIRIE 2.1
SIDE YARDS & REAR
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 8(2)



RANDY MORRIS ARCHITECT
45120 VIA CARINA
INDIAN WELLS, CA 92210
T. (310) 809-6745
E-MAIL rj.morris3@verizon.net



BUNGALOW 2.1 / ROOF B / SIDE YARD



BUNGALOW 2.1 / ROOF B / REAR



BUNGALOW 2.1 / ROOF B / REAR
W/ GABLE ENHANCEMENT



BUNGALOW 2.1 / ROOF B / SIDE YARD

PLAN 2.1

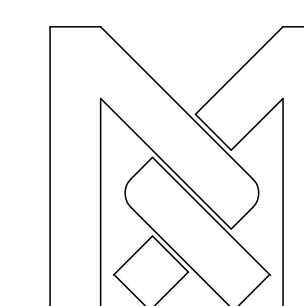
BUNGALOW 2.1 ROOF B
SIDE YARDS & REAR
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

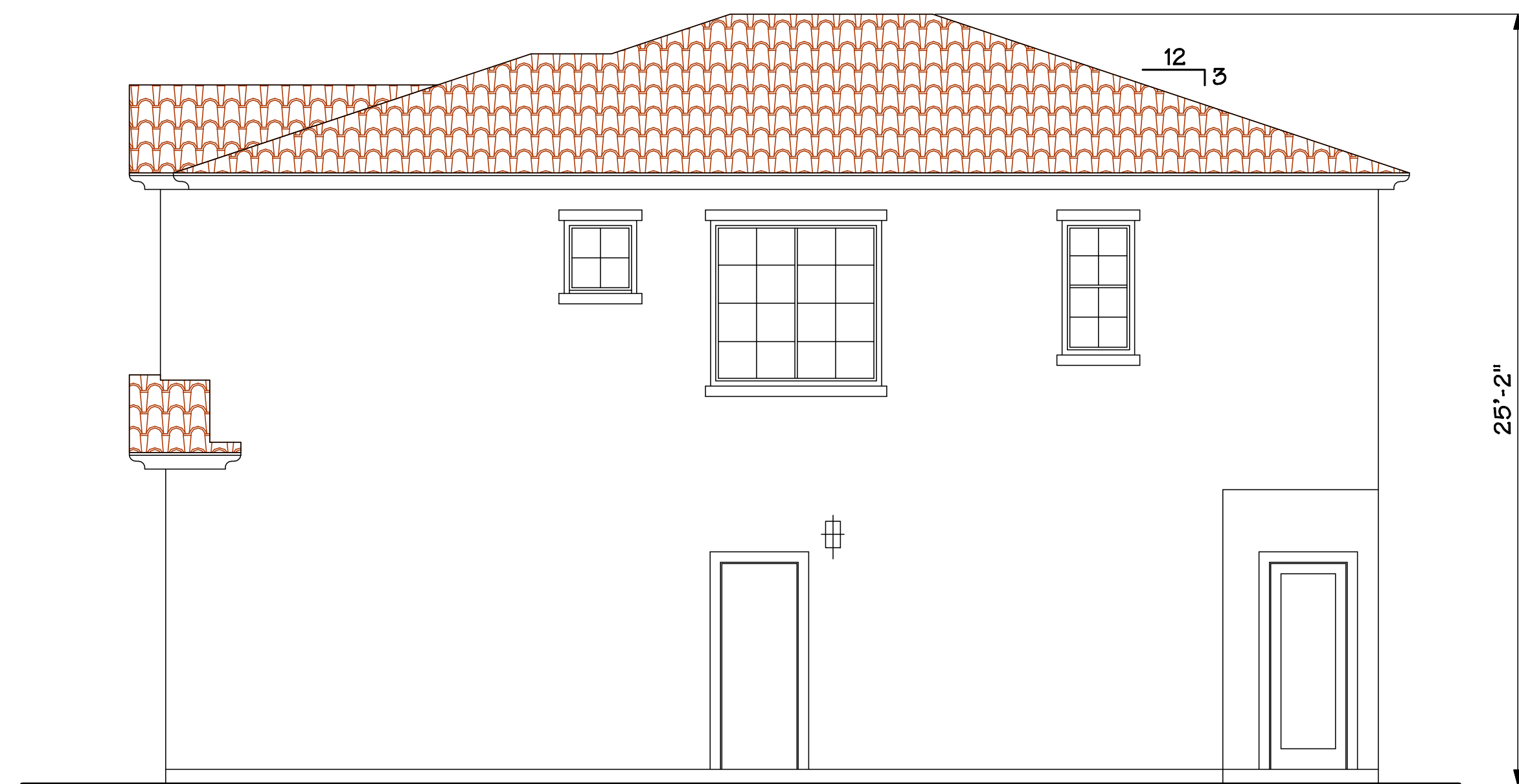
Washington Murrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 9(2)



RANDY MORRIS ARCHITECT
45120 VIA CARINA
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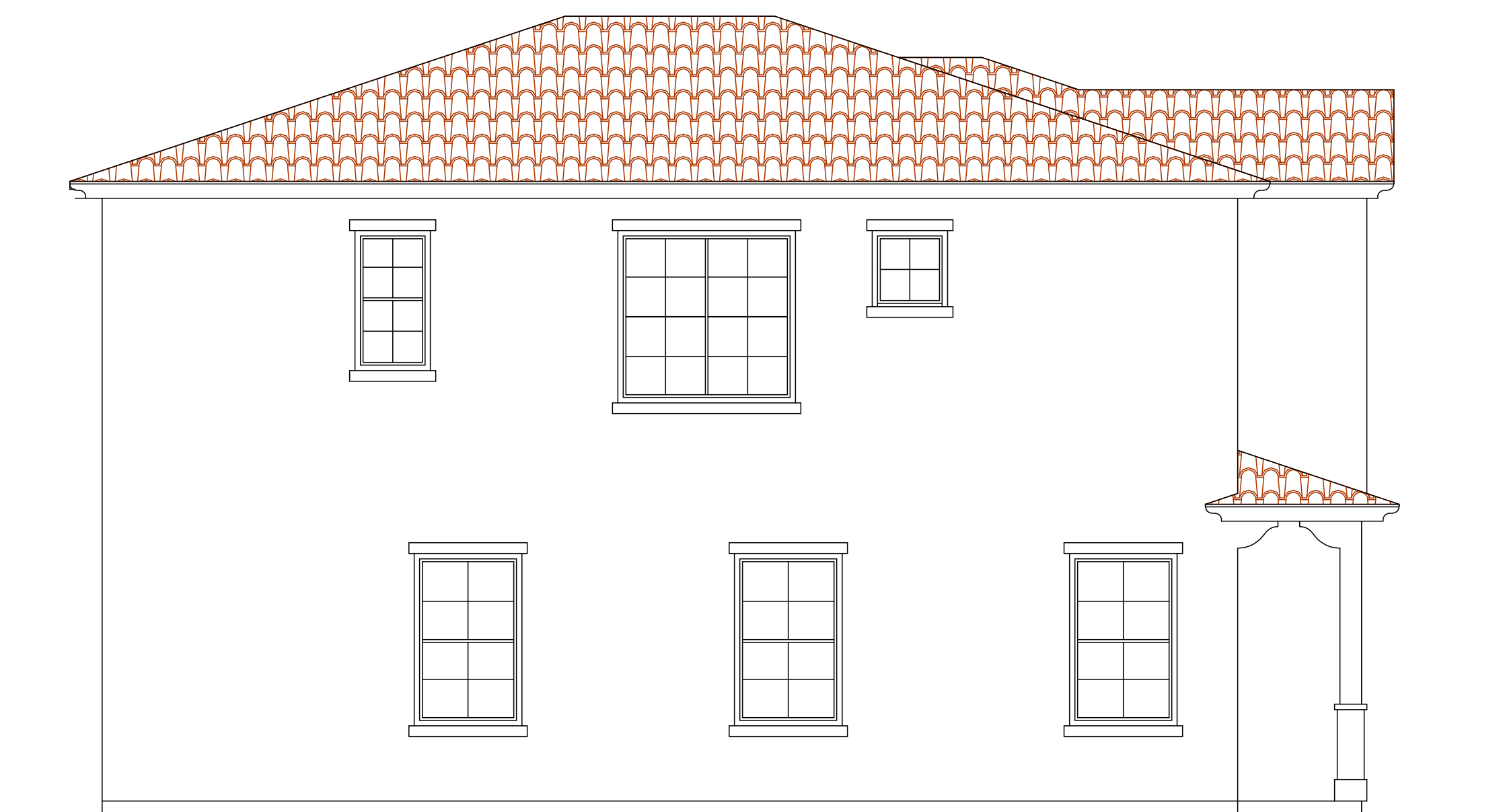
HACIENDA 2.1 / ROOF C / SIDE YARD



HACIENDA 2.1 / ROOF C / REAR



HACIENDA 2.1 / ROOF C / REAR
W/ GABLE ENHANCEMENT



HACIENDA 2.1 / ROOF C / SIDE YARD

PLAN 2.1

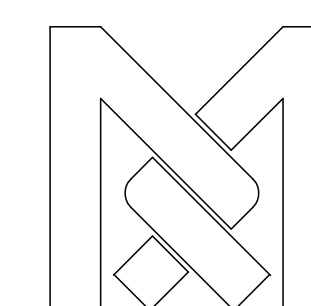
HACIENDA 2.1 ROOF C
SIDE YARDS & REAR
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

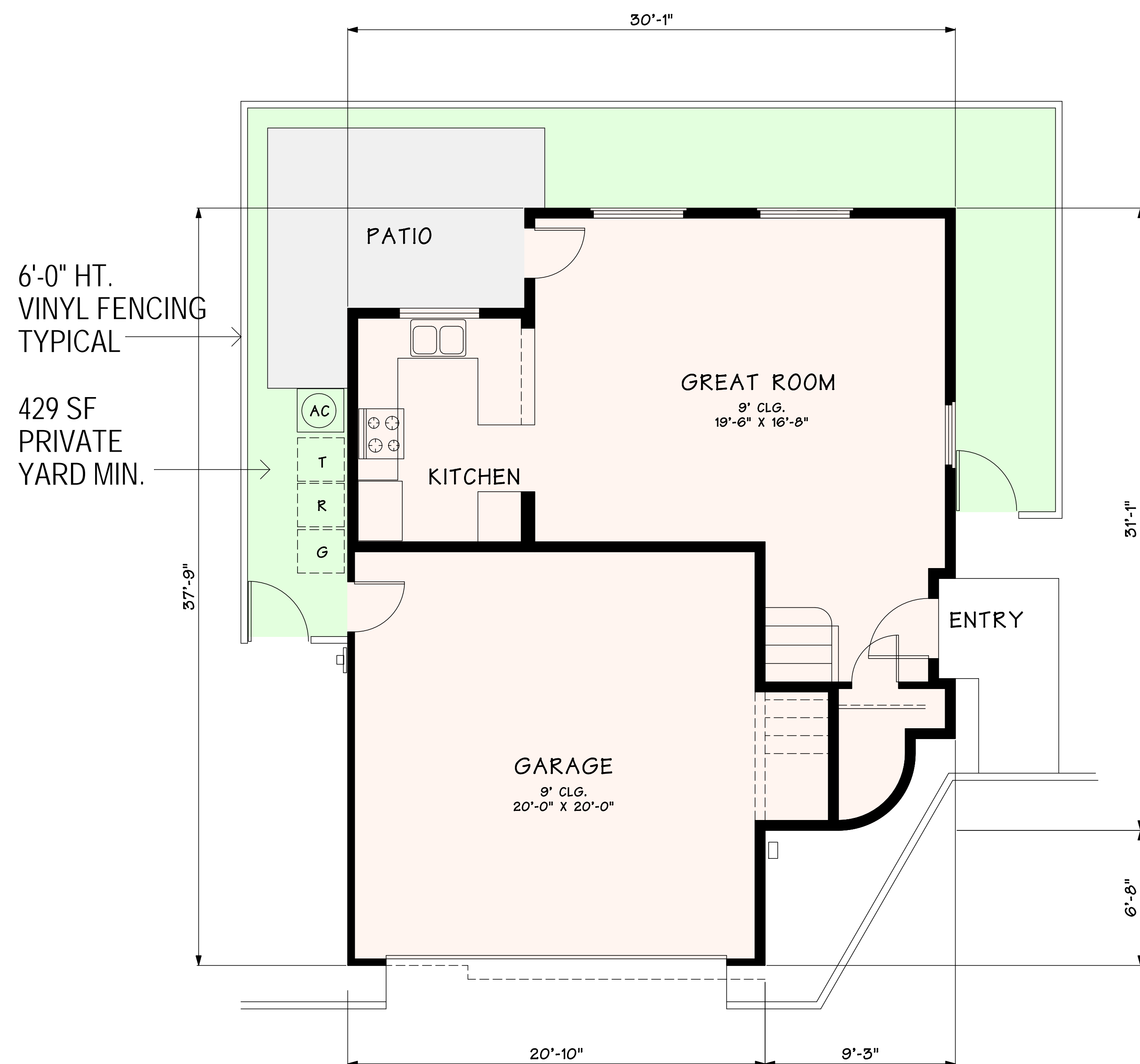
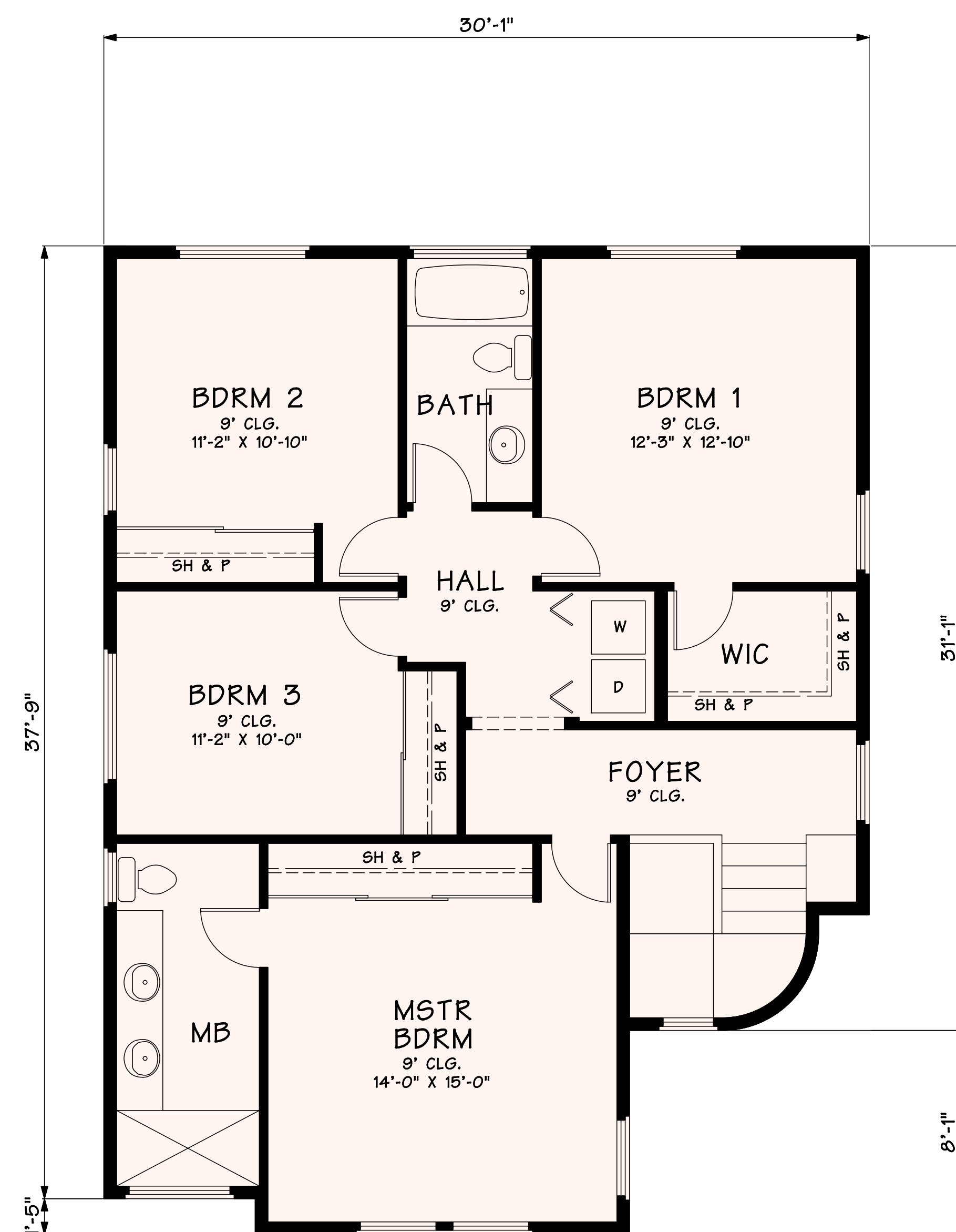
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 10(2)



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6'-0" HT.
VINYL FENCING
TYPICAL

429 SF
PRIVATE
YARD MIN.

PLAN 3

1,755 SF
4 BDRM/2.0 BATH
2 BAY GARAGE

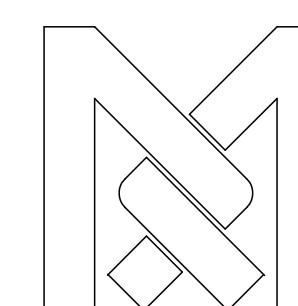
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC

P.O. BOX 3609
SEAL BEACH, CA 90740

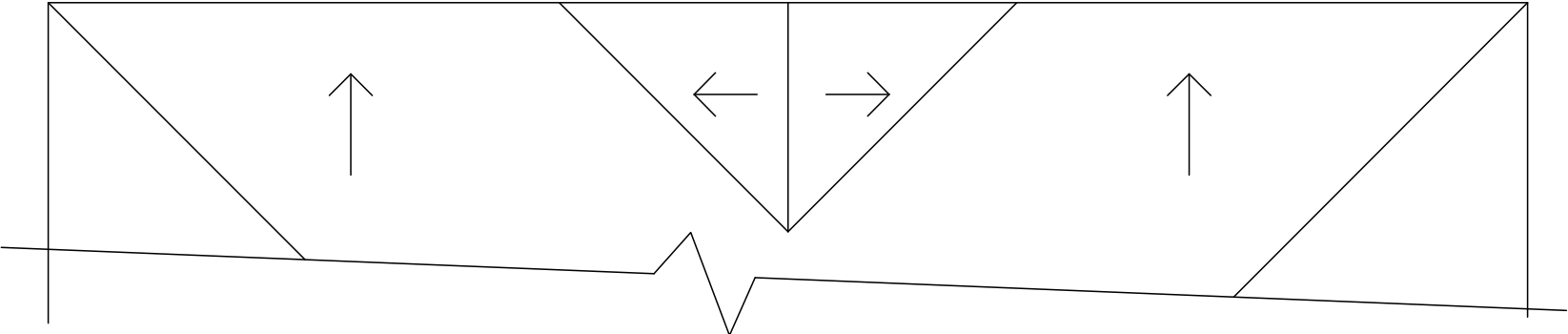
SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 1(3)

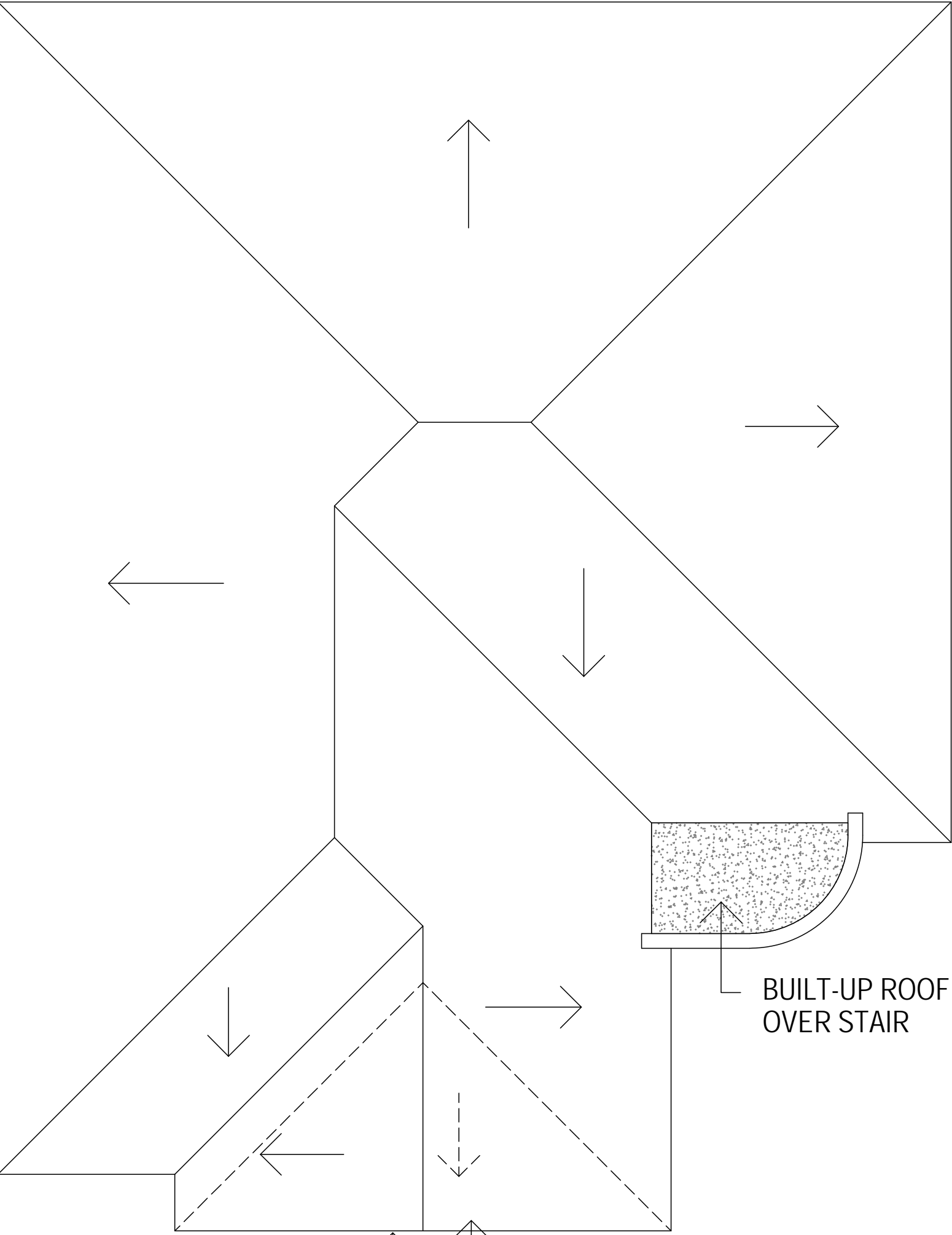


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E-MAIL rj.morris3@verizon.net

NOTE:
GABLE ENHANCEMENTS TO BE CONSTRUCTED ON ALL ODD NUMBERED HOUSES.

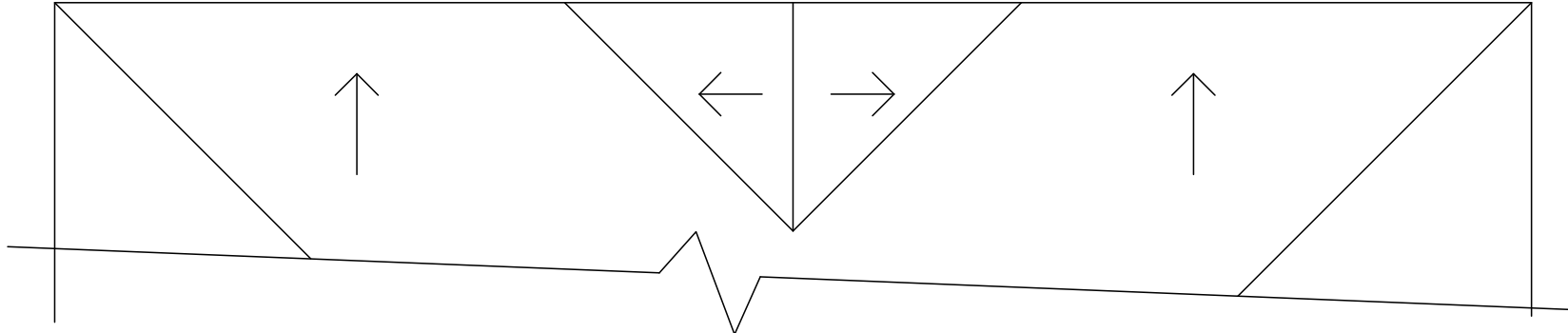


ROOF AG & AH WITH GABLE ENHANCEMENT

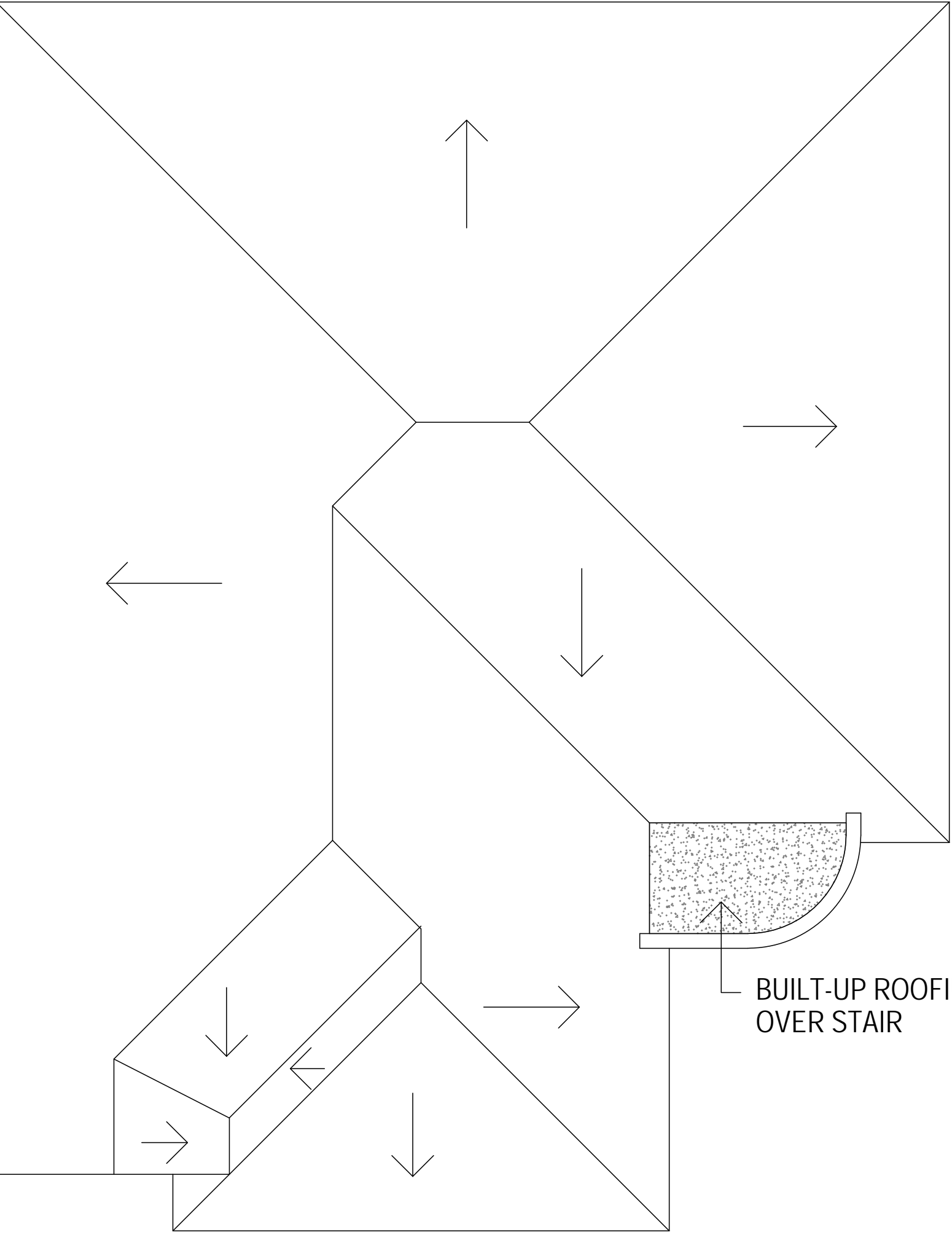


HIP ROOF @
ROOF AH
GABLE ROOF @
ROOF AG

ROOF AG (ROOF AH SIMILAR)
EAVE 12" / RAKE 12"
HACIENDA - CONCRETE 'S' TILE
PRAIRIE - CONCRETE HEAVY SHAKE

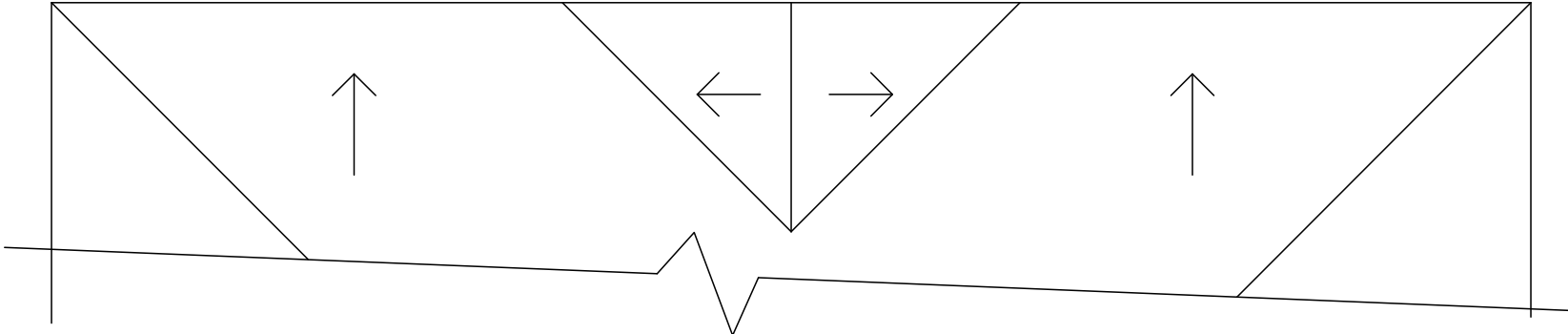


ROOF B WITH GABLE ENHANCEMENT

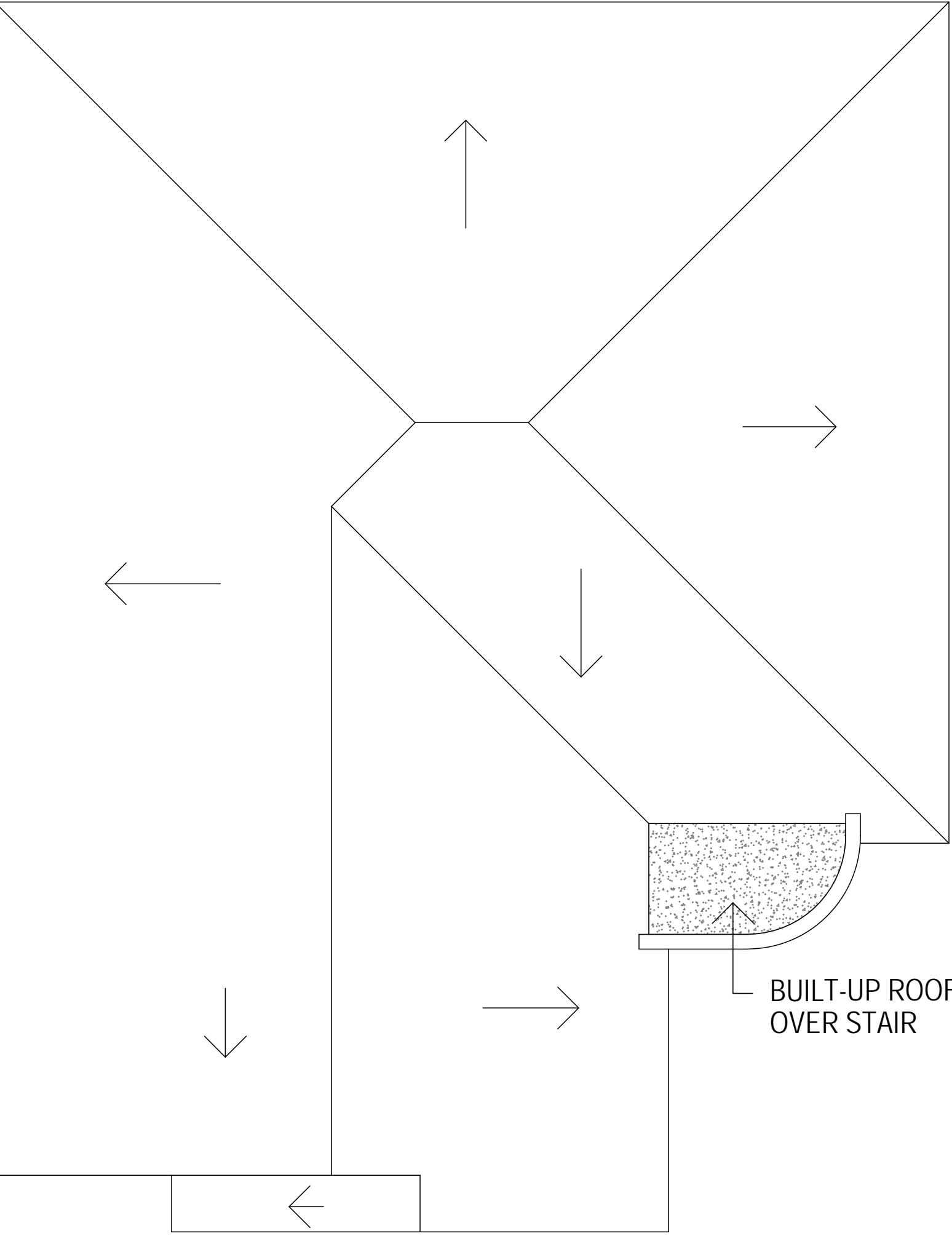


BUILT-UP ROOFING
OVER STAIR

ROOF B
EAVE 12" / RAKE 12"
BUNGALOW - CONCRETE FLAT SLATE
PRAIRIE - CONCRETE HEAVY SHAKE



ROOF B WITH GABLE ENHANCEMENT



BUILT-UP ROOFING
OVER STAIR

ROOF C
EAVE 12" / RAKE 12"
BUNGALOW - CONCRETE FLAT SLATE

PLAN 3

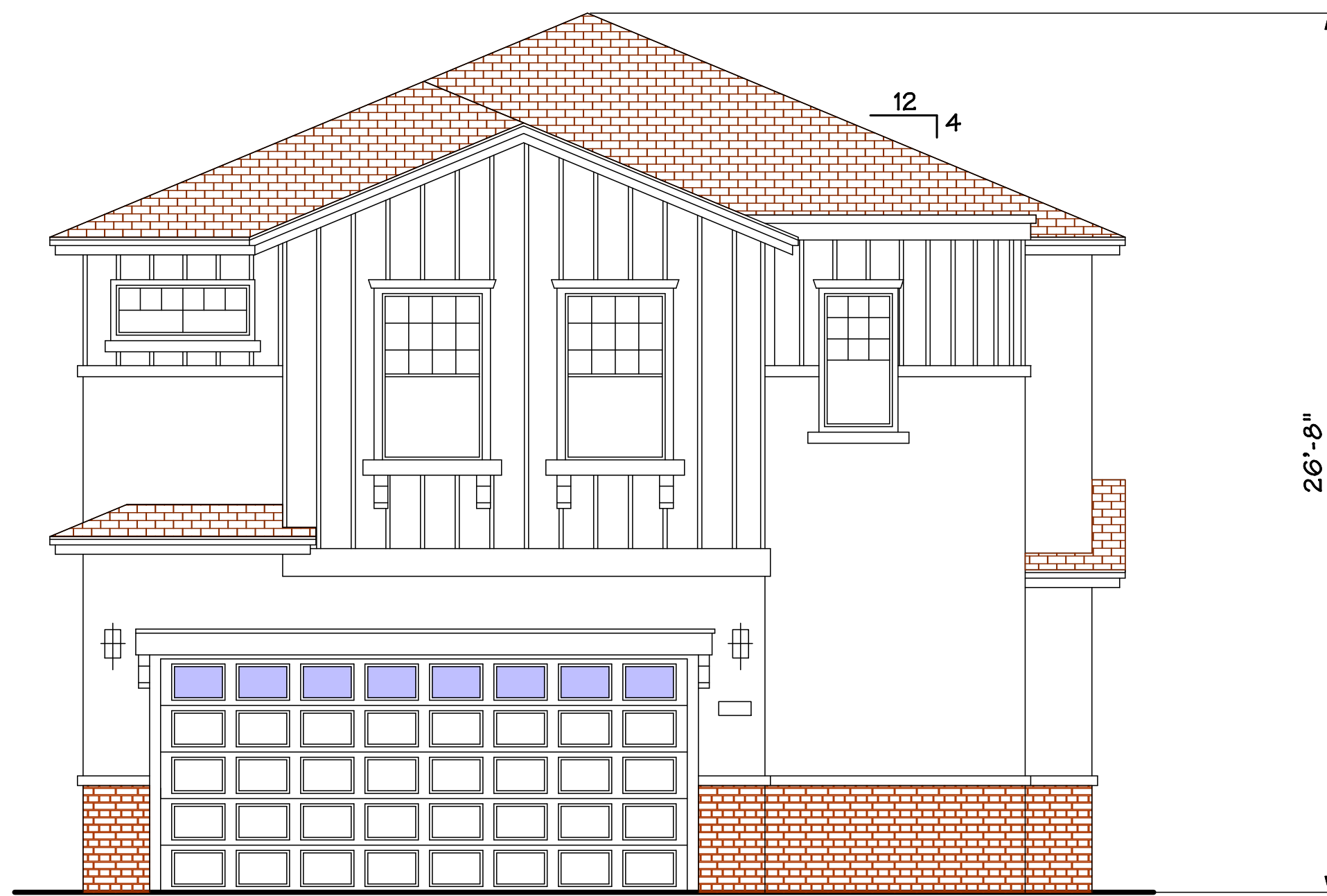
ROOF PLANS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 2(3)

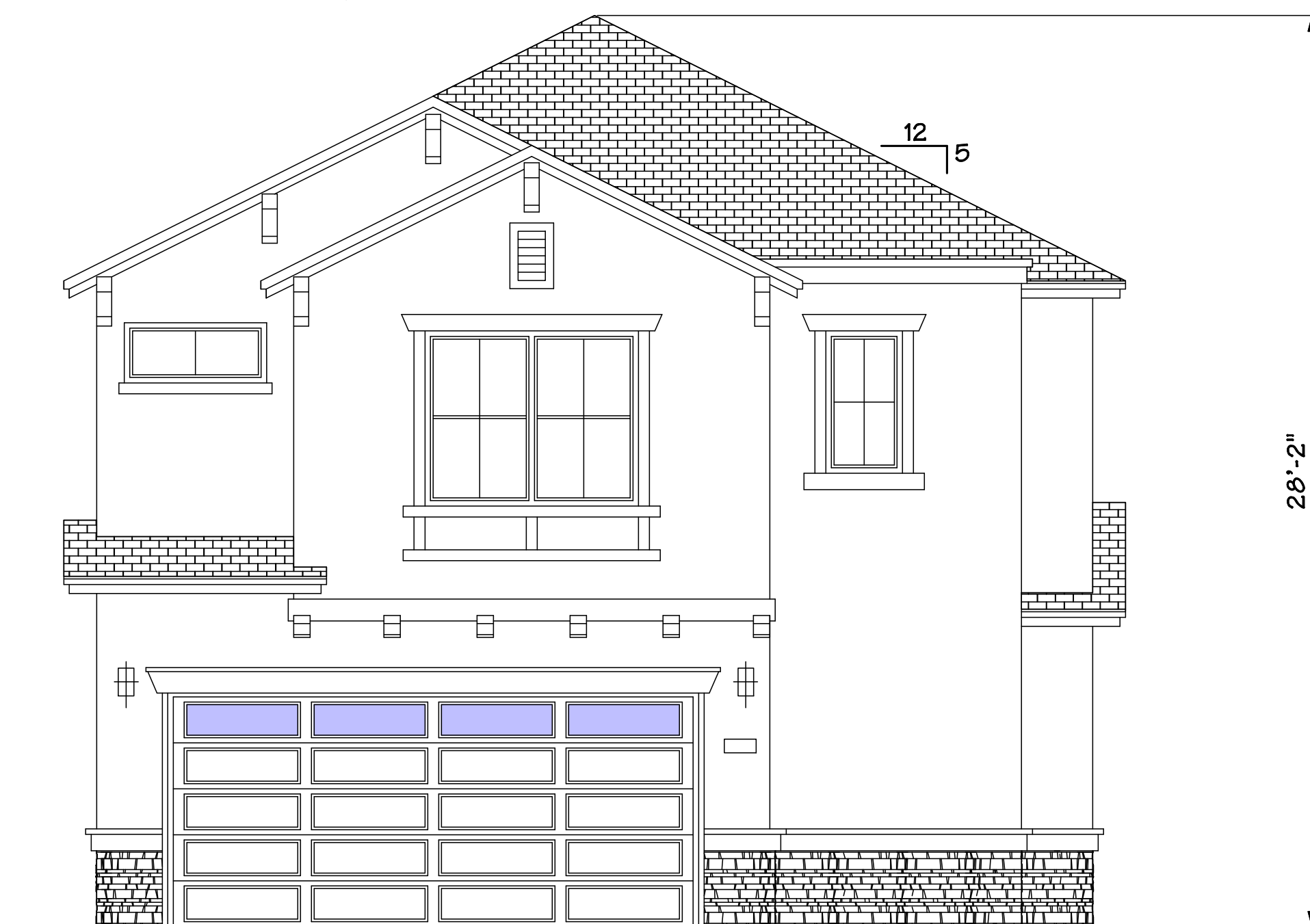

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PRAIRIE 3 / ROOF AG / FRONT



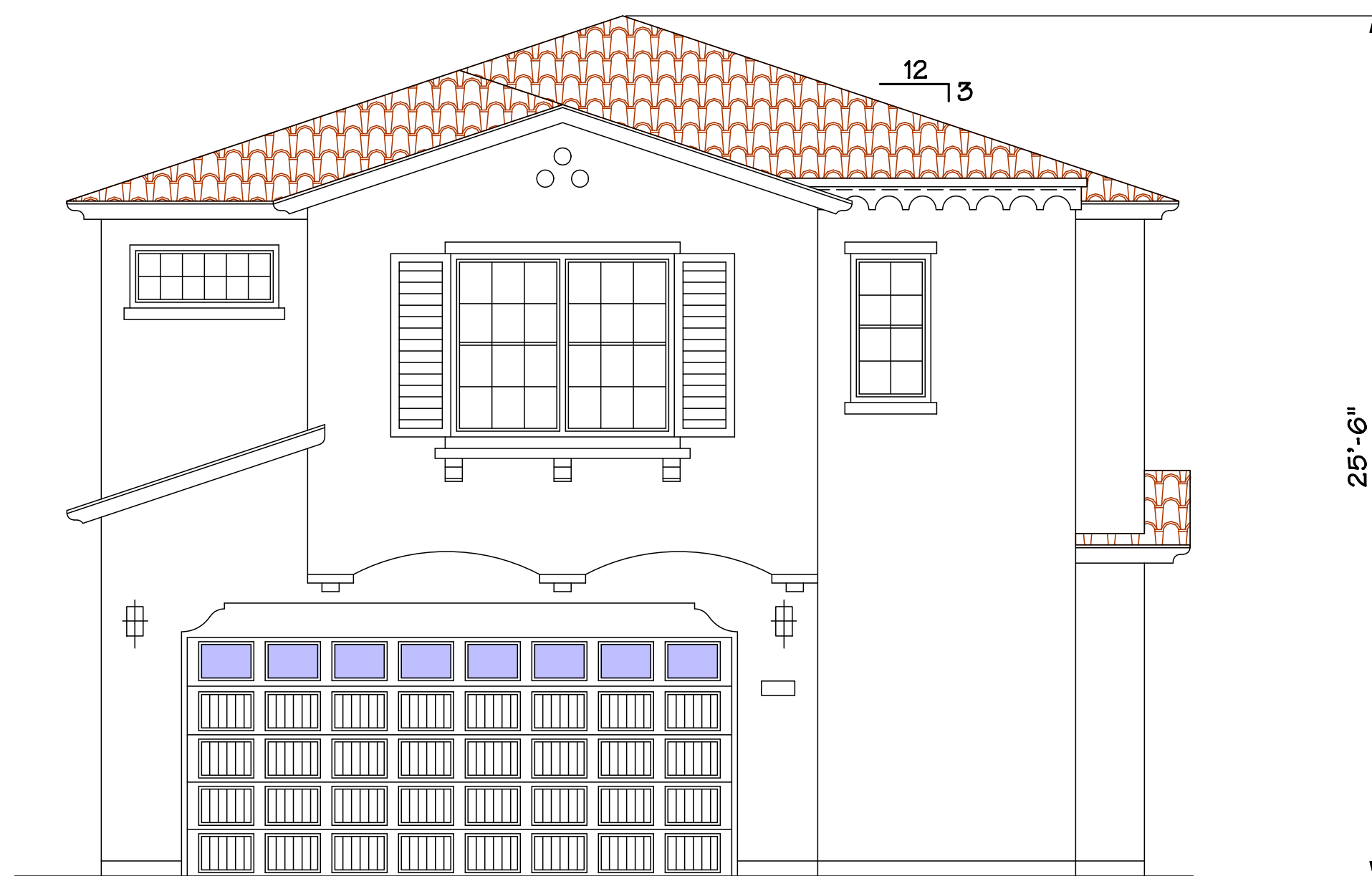
PRAIRIE 3 / ROOF B / FRONT



BUNGALOW 3 / ROOF C / FRONT



BUNGALOW 3 / ROOF B / FRONT



HACIENDA 3 / ROOF AG / FRONT



HACIENDA 3 / ROOF AH / FRONT

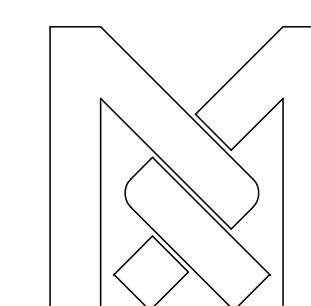
PLAN 3 FRONT (GARAGE SIDE) ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

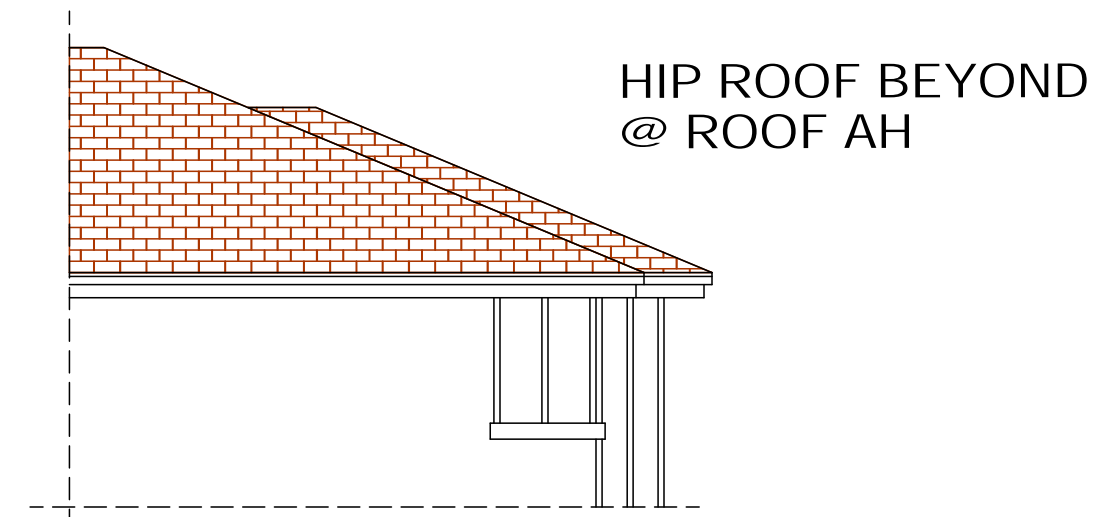
WashingtonMurrieta 5, LLC
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SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

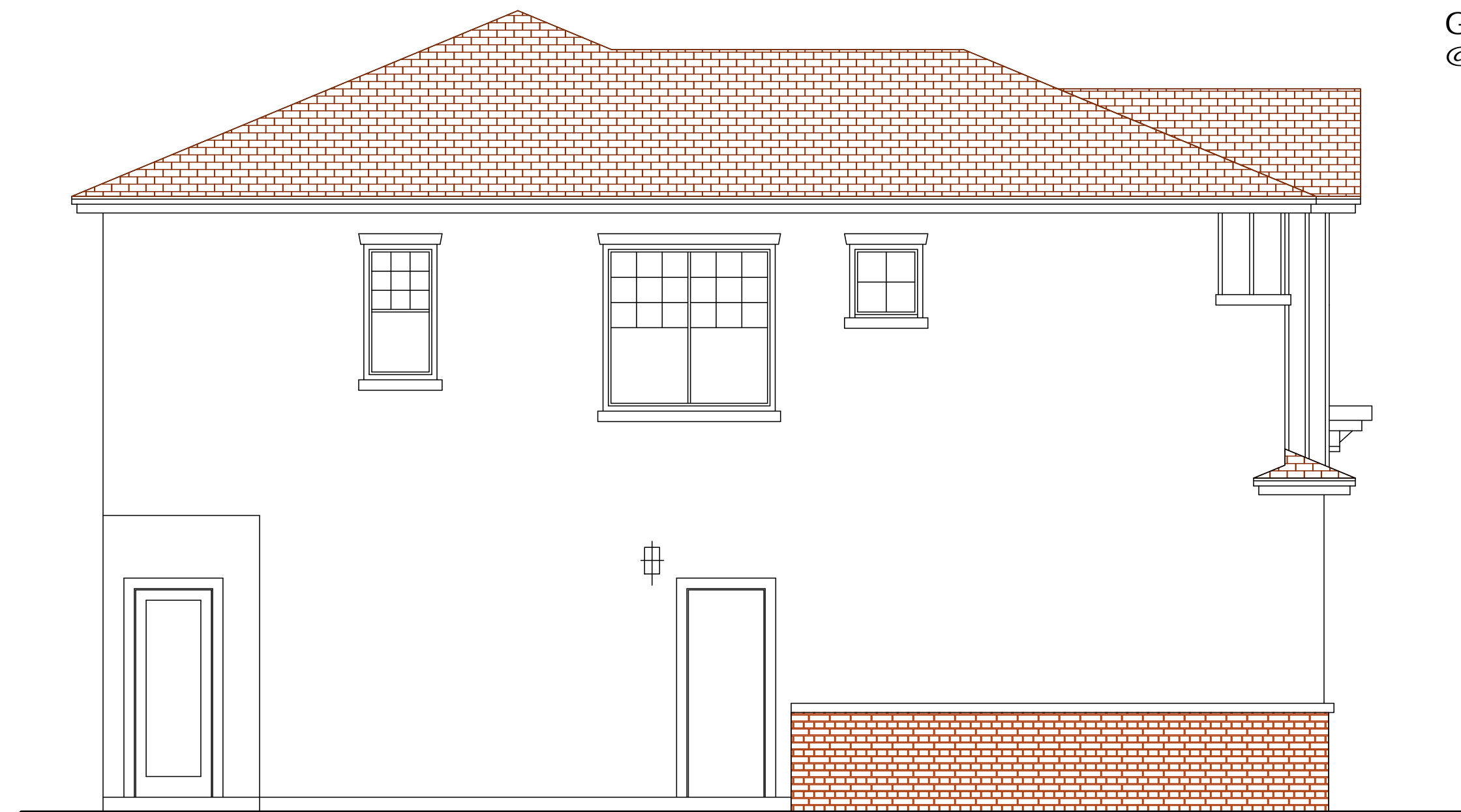
SHEET 3(3)



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GABLE ROOF BEYOND
@ ROOF A



PRAIRIE 3 / ROOF AG & AH / SIDE YARD



PRAIRIE 3 / ROOF AG & AH / REAR



PRAIRIE 3 / ROOF AG & AH / REAR
W/ GABLE ENHANCEMENT

HIP ROOF BEYOND
@ ROOF AH

GABLE ROOF BEYOND
@ ROOF AG



PRAIRIE 3 / ROOF AG & AH / SIDE YARD

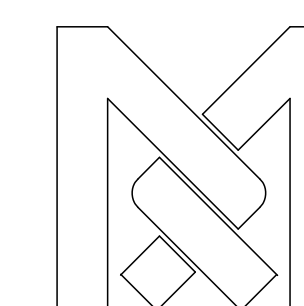
PLAN 3 PRAIRIE / ROOF AG & AH SIDE YARDS & REAR ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 4(3)



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PRAIRIE 3 / ROOF B / SIDE YARD



PRAIRIE 3 / ROOF B / REAR



PRAIRIE 3 / ROOF B / REAR
W/ GABLE ENHANCEMENT



PRAIRIE 3 / ROOF B / SIDE YARD

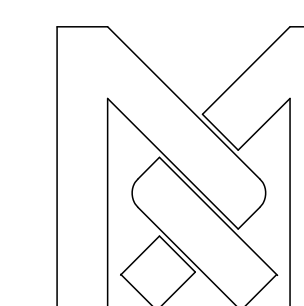
PLAN 3 PRAIRIE / ROOF B SIDE YARDS & REAR ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

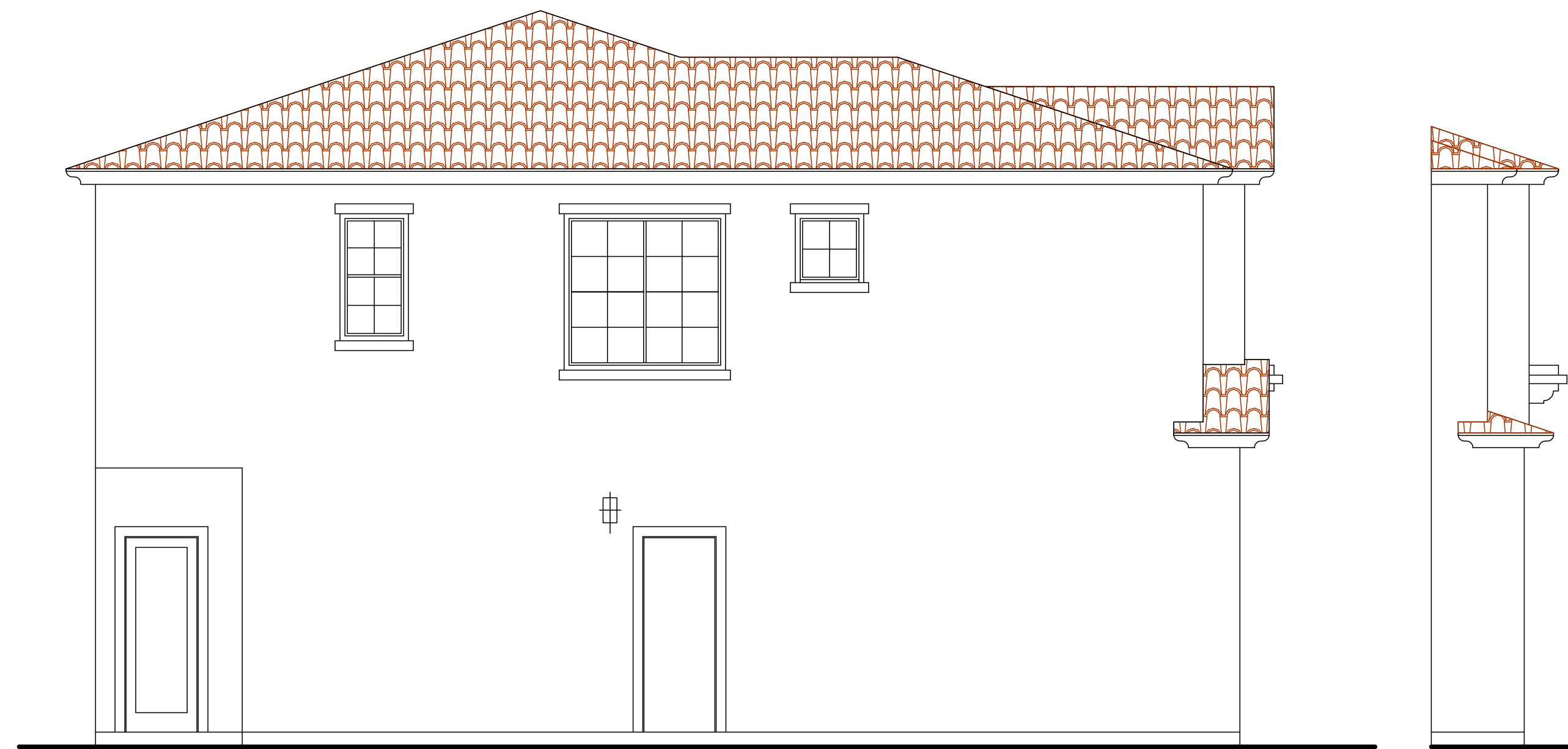
WashingtonMurrieta 5, LLC
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SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 5(3)



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HACIENDA 3 / ROOF AG & AH / SIDE YARD



PRAIRIE 3 / ROOF AG & AH / REAR



PRAIRIE 3 / ROOF AG & AH / REAR
W/ GABLE ENHANCEMENT



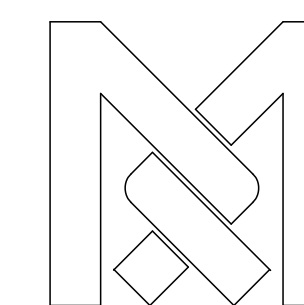
HACIENDA 3 / ROOF AG & AH / SIDE YARD

PLAN 3

HACIENDA / ROOF AG & AH
SIDE YARDS & REAR
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740



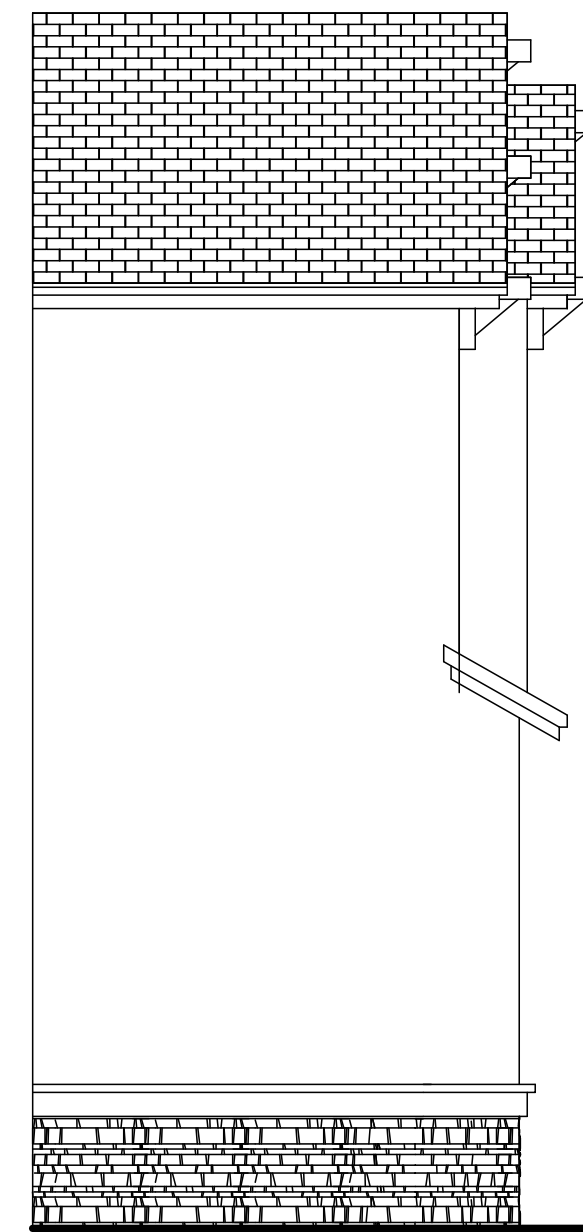
RANDY MORRIS ARCHITECT
45120 VIA CARINA
INDIAN WELLS, CA 92210
T. (310) 809-6745
E-MAIL rj.morris3@verizon.net

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 6(3)



BUNGALOW 3 / ROOF B & C / SIDE YARD



BUNGALOW 3 / ROOF B / REAR



BUNGALOW 3 / ROOF B / REAR
W/ GABLE ENHANCEMENT



BUNGALOW 3 / ROOF B & C / SIDE YARD

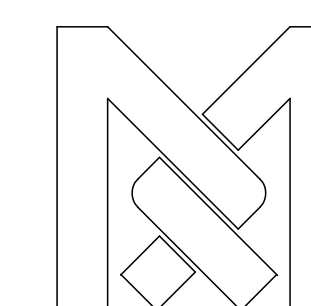
PLAN 3 BUNGALOW / ROOF B & C SIDE YARDS & REAR ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

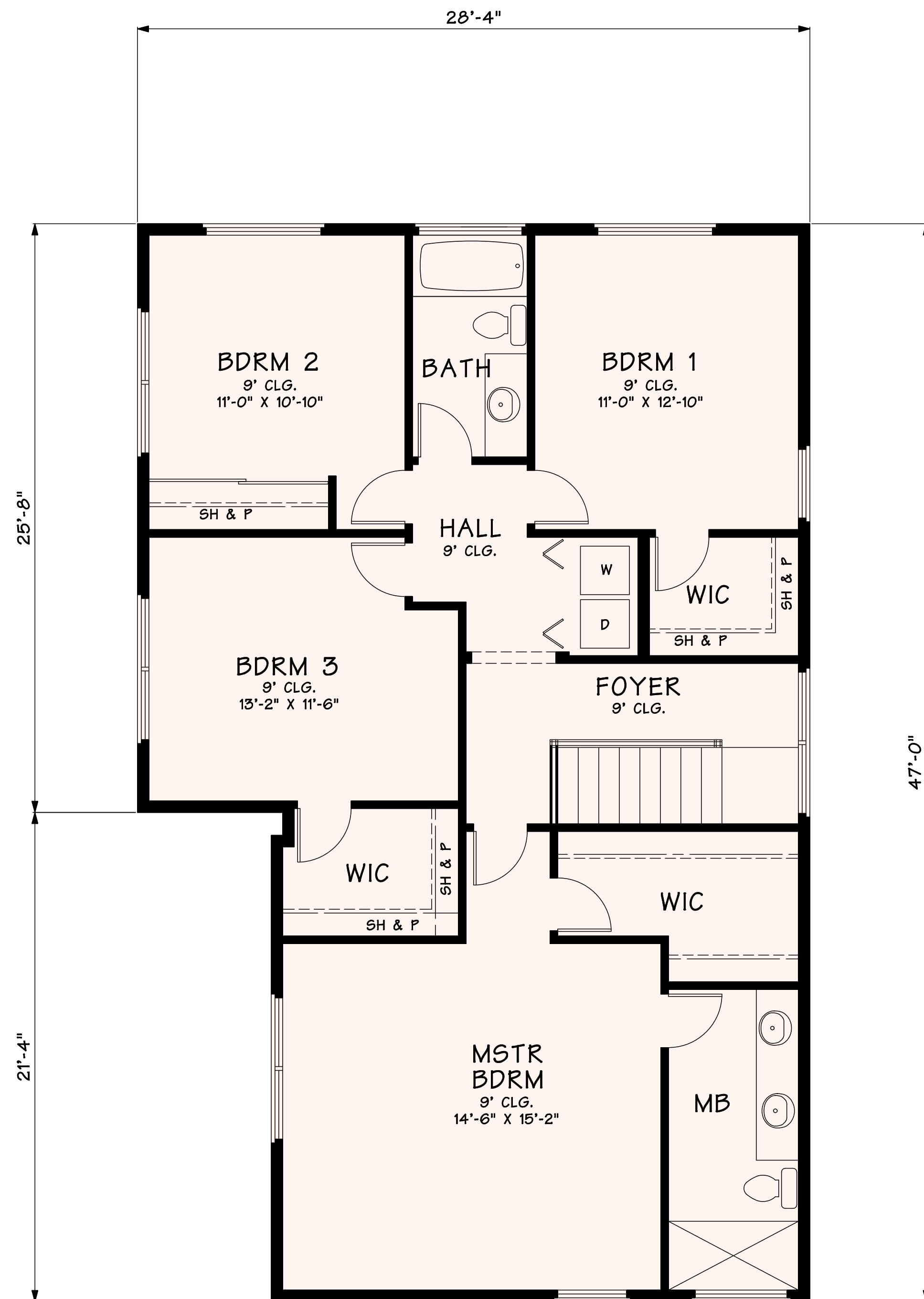
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 7(3)



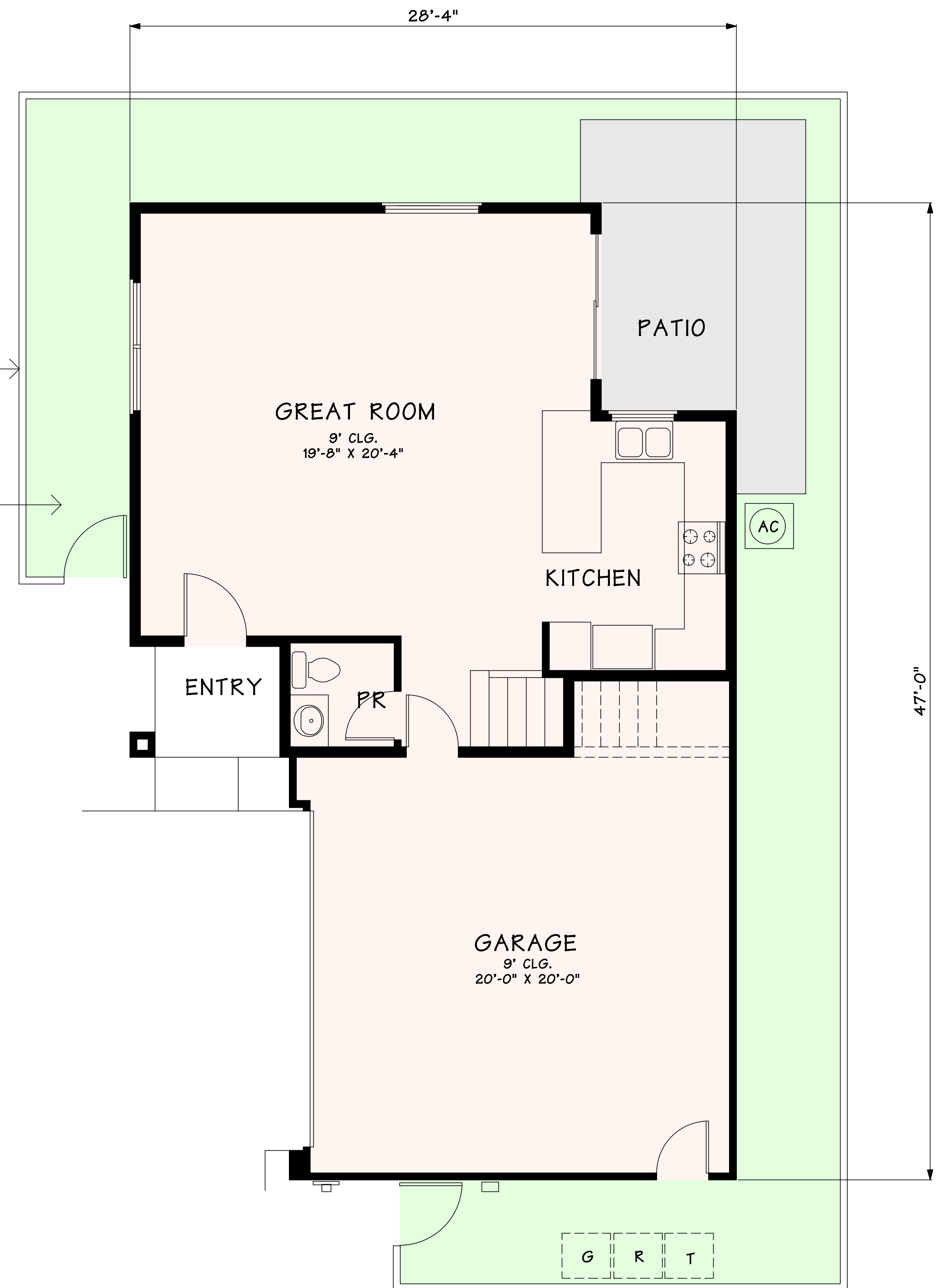
RANDY MORRIS ARCHITECT
45120 VIA CARINA
INDIAN WELLS, CA 92210
T. (310) 809-6745
E-MAIL rj.morris3@verizon.net



UPPER LEVEL
1,236 SF

6'-0" HT.
VINYL FENCING
TYPICAL

692 SF
PRIVATE
YARD MIN.



LOWER LEVEL
628 SF

PLAN 4

1,864 SF
4 BDRM/2.5 BATH
2 BAY GARAGE

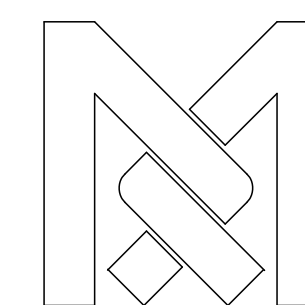
RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC

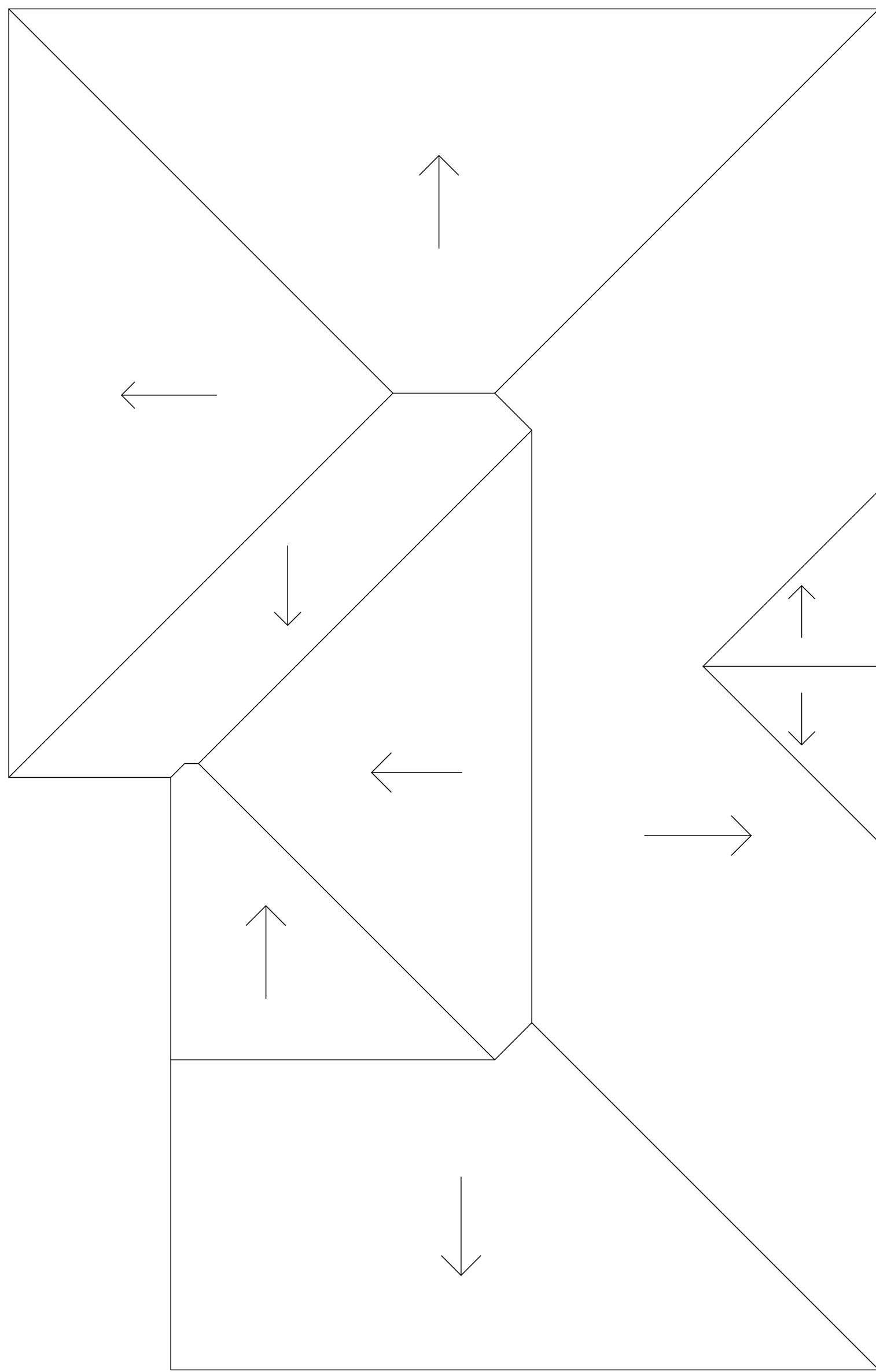
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 1(4)



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ROOF A
EAVE 12" / RAKE 12"
PRAIRIE - CONCRETE HEAVY SHAKE
HACIENDA - CONCRETE 'S' TILE
BUNGALOW - CONCRETE FLAT SLATE

PLAN 4
ROOF PLAN

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

WashingtonMurrieta 5, LLC
P.O. BOX 3609
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SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 2(4)


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HACIENDA / GARAGE SIDE



HACIENDA / FRONT & SIDE



BUNGALOW / GARAGE SIDE



BUNGALOW / FRONT & SIDE



PRAIRIE / GARAGE SIDE



PRAIRIE / FRONT & SIDE

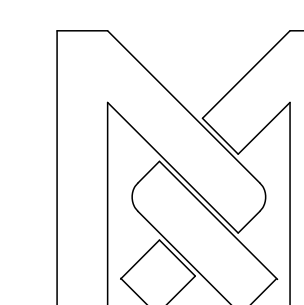
PLAN 4 FRONT & GARAGE SIDE ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

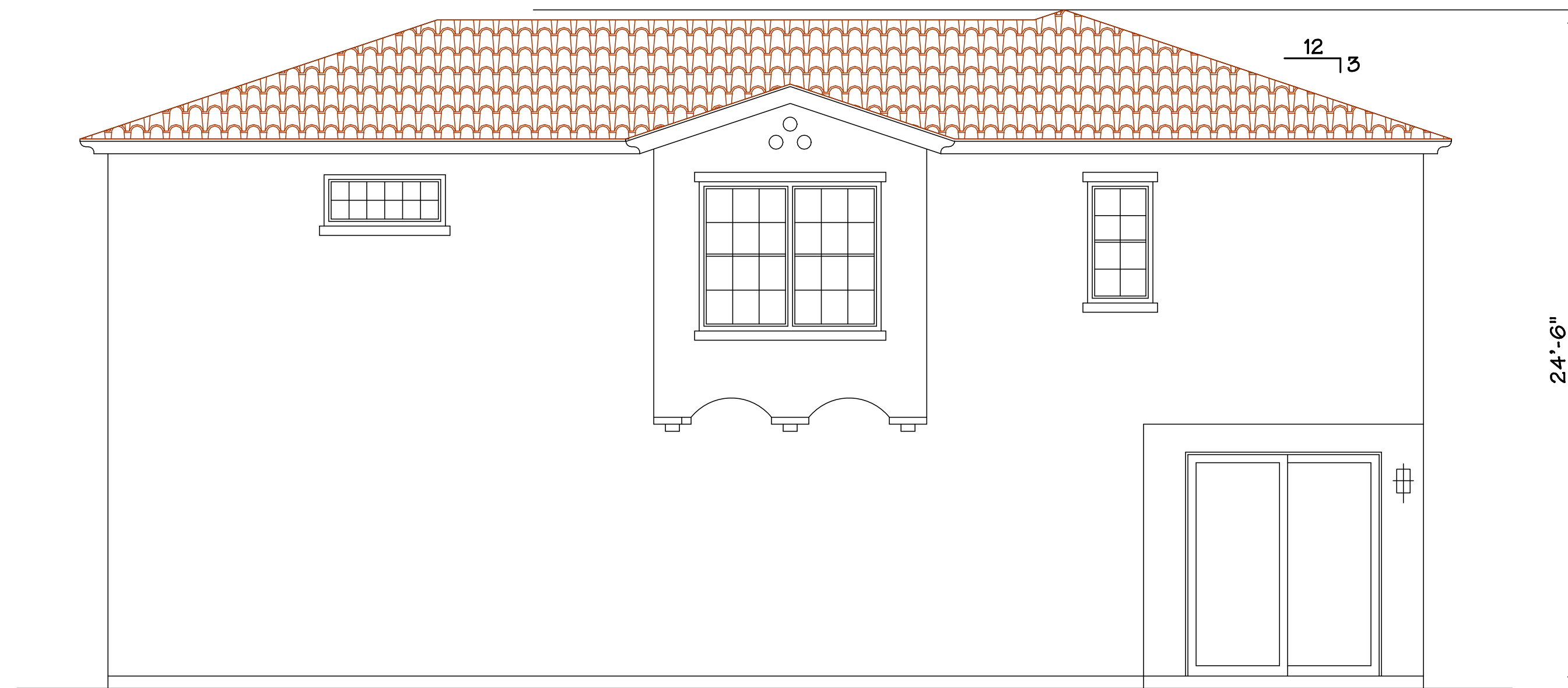
WashingtonMurrieta 5, LLC
P.O. BOX 3609
SEAL BEACH, CA 90740

SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 3(4)



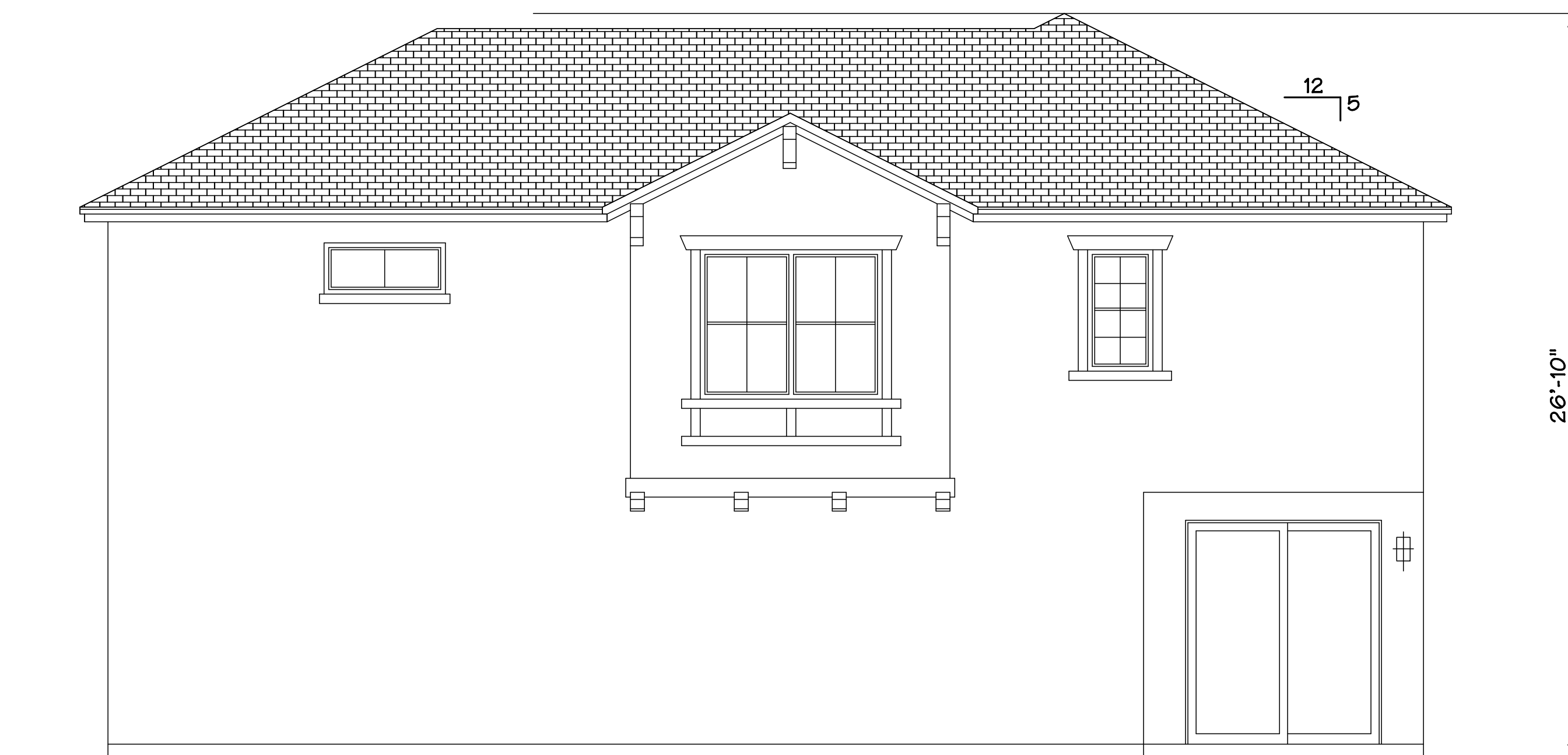
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HACIENDA / SIDE



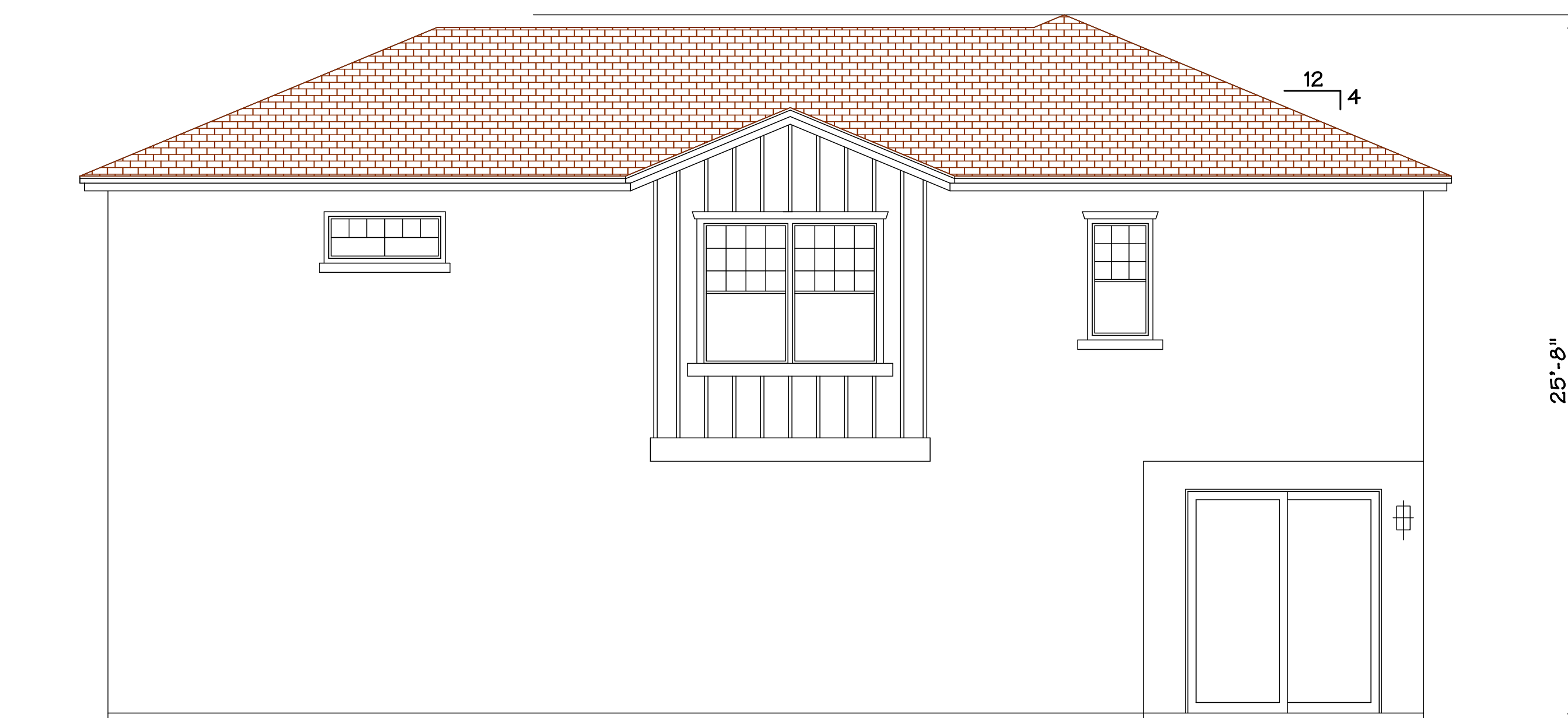
HACIENDA / REAR



BUNGALOW / SIDE



BUNGALOW / REAR



PRAIRIE / SIDE



PRAIRIE / REAR

PLAN 4

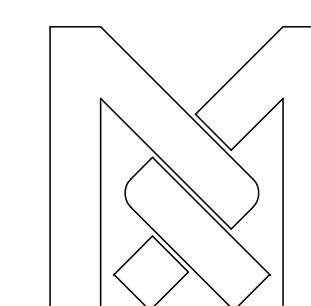
REAR & SIDE
ELEVATIONS

RIVER WALK VILLAGE
BRADLEY ROAD, MENIFEE

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P.O. BOX 3609
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SCALE: 1/4" = 1'-0"
DATE: OCTOBER 18, 2021

SHEET 4(4)



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