

LEGAL DESCRIPTION / APN

THIS PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN EXHIBIT A OF FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE ORDER NO. NCS0986347-ONT1 WITH COMMITMENT DATE OF JUNE 30, 2020.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MENIFEE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

ALL THAT PORTION OF LOT SIXTY-EIGHT (68), AS SHOWN ON MAPS OF TRUMBLE FARMS ON FILE IN MAP BOOK 11, AT PAGE 38 THEREOF, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 68, SAID POINT BEARS SOUTH 0° 11' 15" EAST A DISTANCE OF 66 FEET FROM THE NORTHEAST CORNER OF SAID LOT 68; THENCE NORTH 89° 43' WEST A DISTANCE OF 661.37 FEET; THENCE SOUTH 0° 15' EAST A DISTANCE OF 66 FEET; THENCE SOUTH 89° 43' EAST A DISTANCE OF 661.31 FEET TO THE EAST BOUNDARY OF SAID LOT 68; THENCE 0° 11' 15" WEST ALONG THE EAST BOUNDARY OF SAID LOT 68 A DISTANCE OF 66 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

LOT 37, 38, 39, 58, 59 OF TRUMBLE FARMS, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 38 OF MAPS RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THE NORTH 66.00 FEET OF THE SOUTH 198.00 FEET OF LOT 37.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT AS SHOWN IN DOCUMENT RECORDED SEPTEMBER 12, 2014 INSTRUMENT NUMBERS 2014-0347907 AND 2014-0347908, BOTH OF OFFICIAL RECORDS

PARCEL 3:

LOT 66, 67, 68, 69, 70, 71, 91, 92, 93, 94 AND 95 OF TRUMBLE FARMS, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 38 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

EXCEPT THE SOUTH 66.00 FEET OF THE NORTH 132.00 FEET OF LOT 68.

ALSO EXCEPT THE NORTH 66.00 FEET OF LOT 95.

FURTHER EXCEPTING THEREFROM THAT PORTION CONVEYED TO RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT AS SHOWN IN DOCUMENT RECORDED SEPTEMBER 12, 2014 INSTRUMENT NUMBER 2014-0347908, OF OFFICIAL RECORDS.

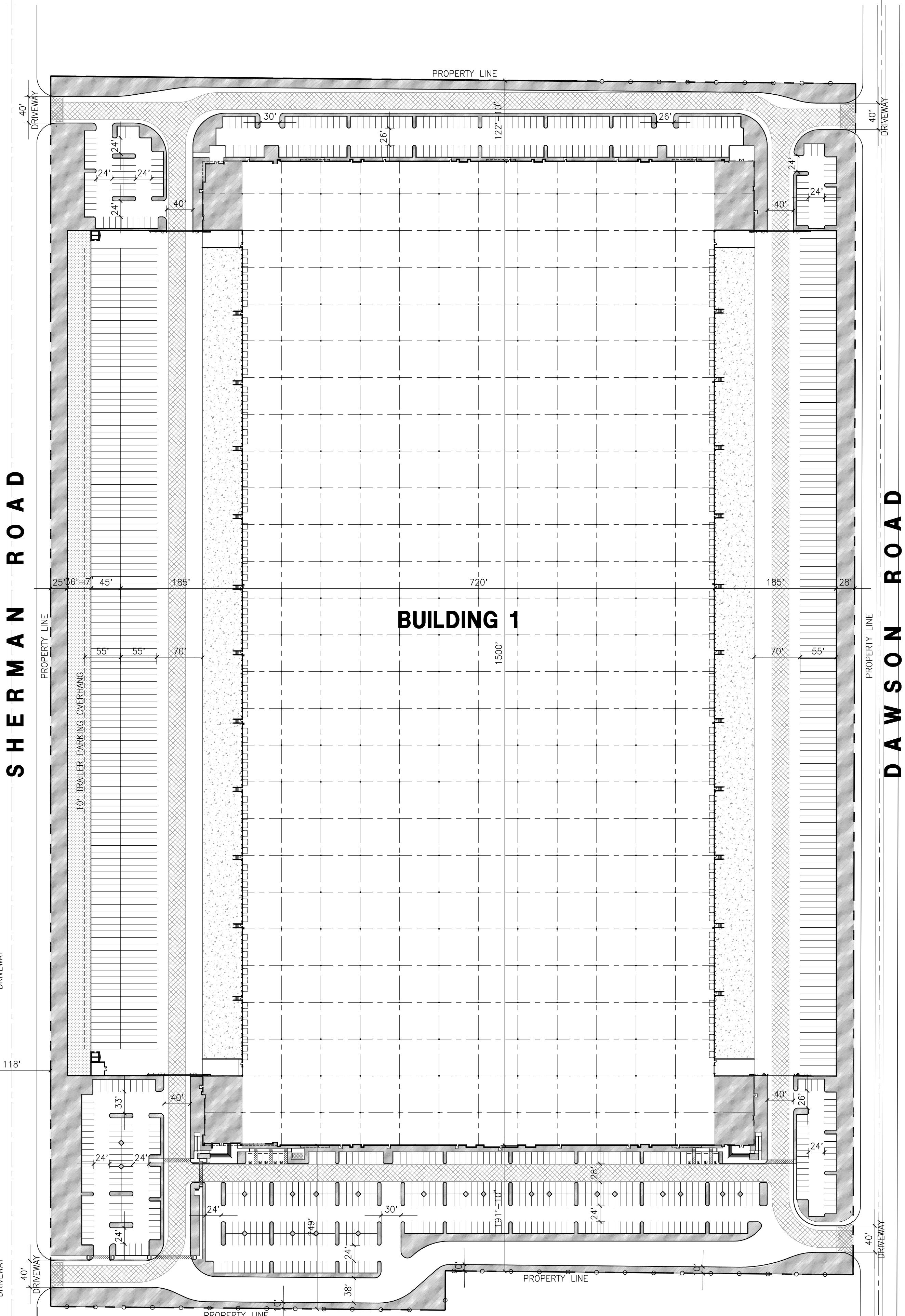
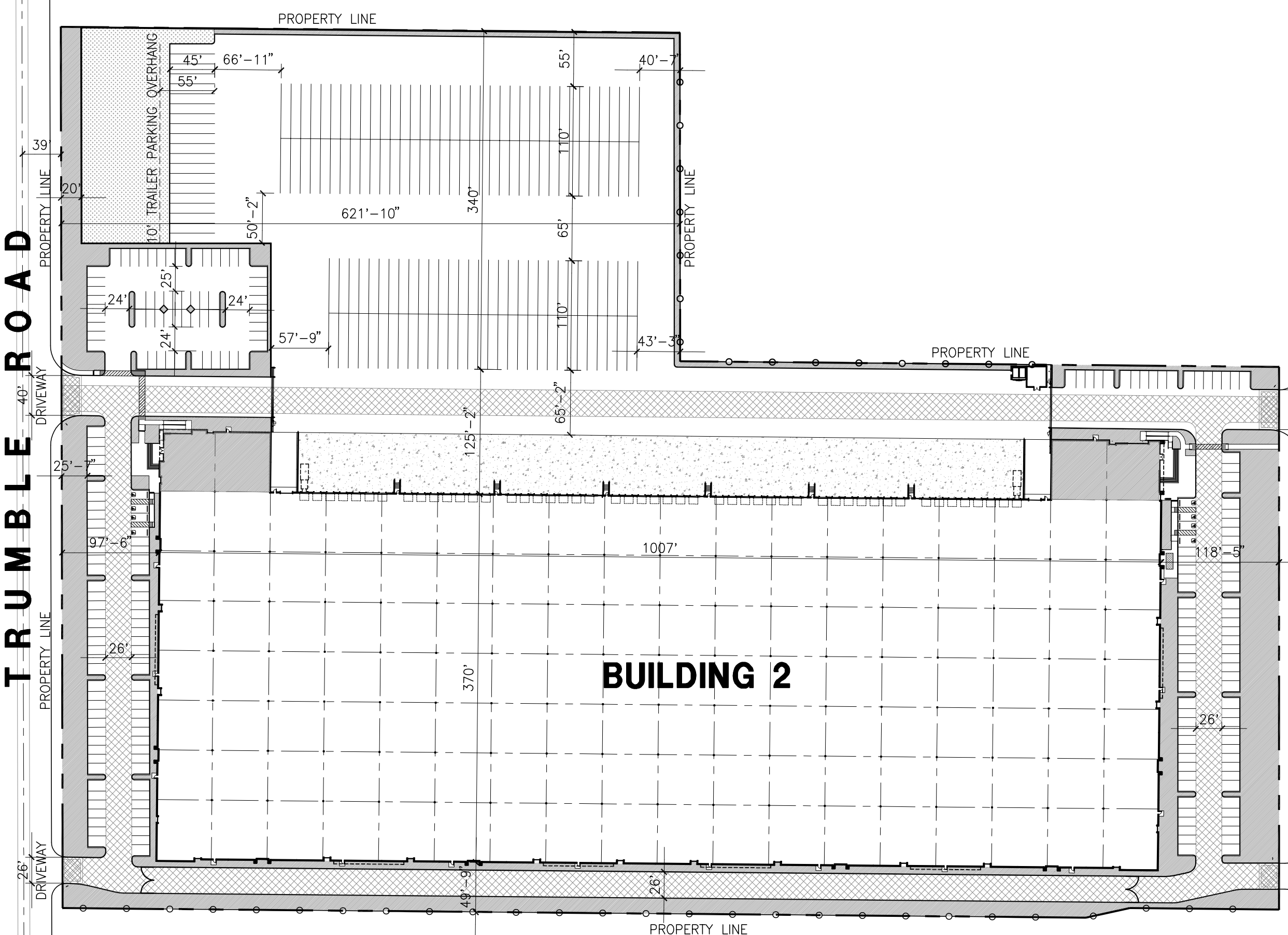
PARCEL 4:

THAT PORTION OF LOT 37 OF TRUMBLE FARMS, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 11, PAGE 38 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA BY METES AND BOUNDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF SAID LOT WHICH BEARS SOUTH 0° 18' 45" WEST, 132 FEET FROM THE NORTHEAST CORNER OF SAID LOT;
THENCE NORTH 89° 43' MINUTES WEST, 640.98 FEET TO THE WESTERLY LINE OF SAID LOT;
THENCE SOUTH 0° 22' MINUTES, 30 SECONDS EAST ON THE WESTERLY LINE, 66 FEET;
THENCE SOUTH 89° 43' MINUTES EAST, 640.91 FEET TO THE EASTERLY LINE OF SAID LOT;
THENCE NORTH 0° 45' SECONDS WEST, 66 FEET TO THE POINT OF BEGINNING.

PURSUANT TO CERTIFICATE OF COMPLIANCE NO. 5540 RECORDED JANUARY 8, 2004 AS INSTRUMENT NO. 04-12423, OF OFFICIAL RECORDS.

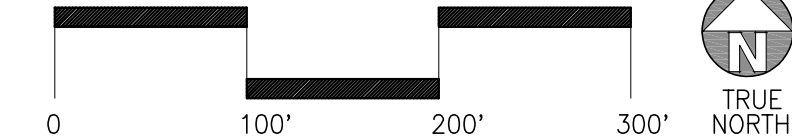
FOR CONVEYANCING PURPOSES ONLY; APN 331-140-010-1 (AFFECTS PARCEL 1);
331-110-041-6 (AFFECTS PORTION OF PARCEL 2); 331-110-035-1
(AFFECTS PORTION OF PARCEL 2); 331-140-025-5 (AFFECTS PARCEL 3) AND
331-110-027-4 (AFFECTS PARCEL 4)



MASTER SITE PLAN

scale: 1" = 100'-0"

SCALE: 1" = 100'-0"



PROPERTY OWNER/APPLICANT

CORE 5 INDUSTRIAL PARTNERS
300 SPECTRUM CENTER DRIVE SUITE 880
IRVINE, CA 92618
O 949.467.3290
JON KELLY

ADDRESS OF THE PROPERTY

TBD

ZONING

EXISTING ZONING: HEAVY INDUSTRIAL /SP 260 BUSINESS PARK
PROPOSED ZONING: SP 260
EXISTING GENERAL PLAN USE: HEAVY INDUSTRIAL /SP 260 BUSINESS PARK
PROPOSED GENERAL PLAN USE: SP 260
EXISTING LAND USE: VACANT/RESIDENTIAL
PROPOSED LAND USE: WAREHOUSE

APPLICANT'S REPRESENTATIVE

HPA, INC.
18831 BARDEEN AVE SUITE 100
IRVINE CA 92612
TEL: 949-862-2116
ATTN: STEVE HONG

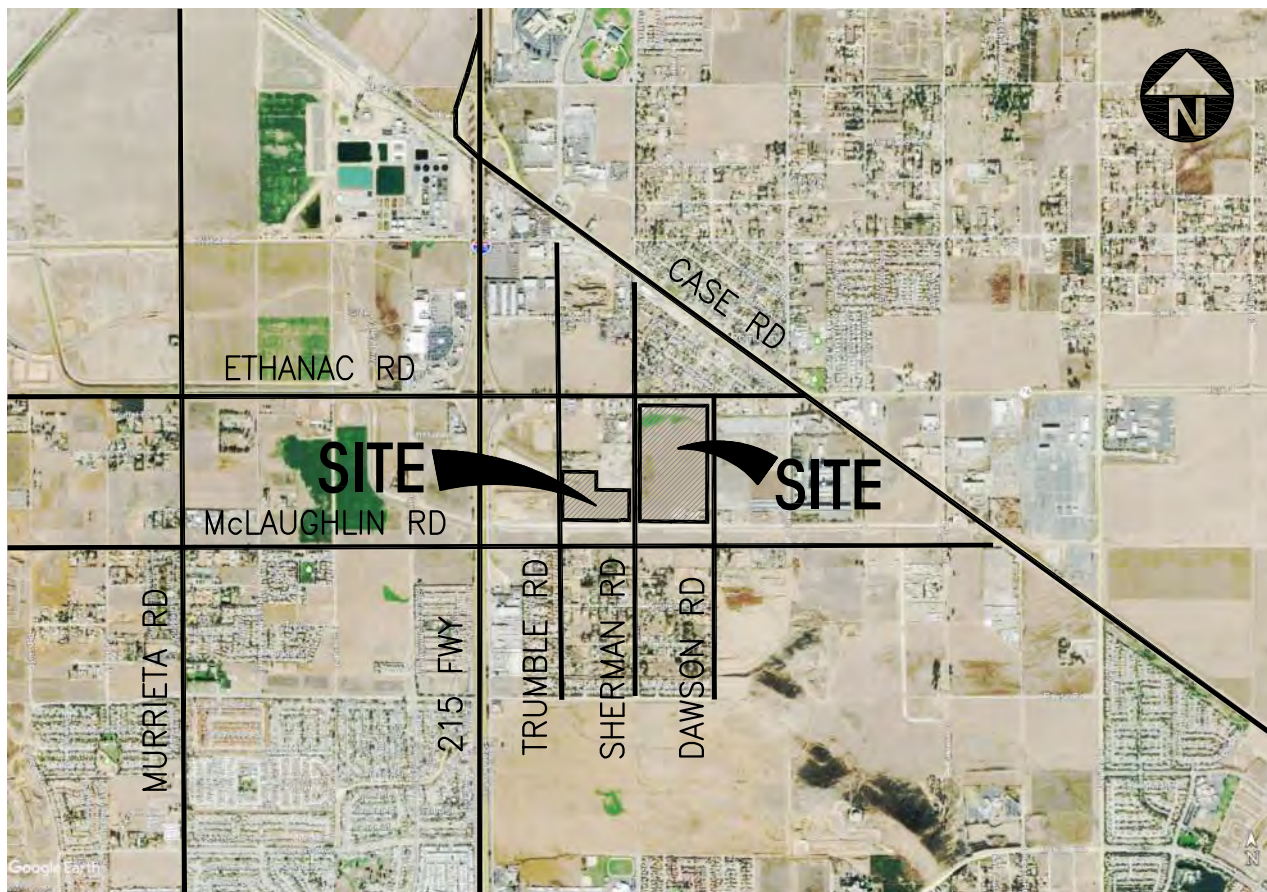
UTILITY COMPANIES

WATER/SEWER: EMWD
ELECTRIC: SCE
GAS: SOCAL GAS
TELEPHONE: FRONTIER COMMUNICATIONS

SCHOOL DISTRICT

ROMOLAND & PERRIS UNION HIGH SCHOOL DISTRICTS

VICINITY MAP



PROJECT DATA

	BLDG. 1	BLDG. 2	TOTAL
SITE AREA			
In s.f.	2,257,803	883,832	3,141,635 s.f.
In acres	51.83	20.29	72.12 ac
BUILDING AREA			
Office	14,500	10,000	24,500 s.f.
Mezzanine	144,220		144,220 s.f.
Warehouse	1,095,440	375,970	1,471,410 s.f.
TOTAL	1,254,160	385,970	1,640,130 s.f.
COVERAGE	55.5%	43.7%	52.2%
AUTO PARKING REQUIRED			
Office: 1/250 s.f.	58	40	98 stalls
Whse: 1/2,000 s.f.	621	188	809 stalls
TOTAL	679	228	907 stalls
AUTO PARKING PROVIDED			
Standard (9' x 18')	679	232	911 stalls
TRAILER PARKING PROVIDED			
Trailer (10' x 55')	369	154	523 stalls
ZONING ORDINANCE FOR CITY			
Zoning Designation - Menifee North SP - P.A. 2 Industrial			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - TBD			
MAXIMUM FLOOR AREA RATIO			
FAR - TBD			
LANDSCAPE REQUIREMENT			
Percentage - TBD			
SETBACKS			
25' Industrial Collector			



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irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner:



300 Spectrum Center Drive Suite 880
Irvine CA 92618

949-467-3290
ATTN: Jon Kelly

Project:

ETHANAC &
SHERMAN

ETHANAC RD. & SHERMAN RD.
MENIFEE, CA

Consultants:

CIVIL WEBB
STRUCTURAL -
MECHANICAL -
PLUMBING -
ELECTRICAL -
LANDSCAPE HUNTER
FIRE PROTECTION -
SOILS ENGINEER -

Title: MASTER SITE PLAN

Project Number: 19567
Drawn by: CR
Date: 11/11/21
Revision:

Sheet:

DAB-A1.0

OFFICIAL USE ONLY

SITE LEGEND

CONCRETE PAVING SEE "C" DRWS. FOR THICKNESS	LIGHT STANDARD
LANDSCAPED AREA	EXISTING PUBLIC FIRE HYDRANT
STANDARD PARKING STALL (9' X 19')	PRIVATE FIRE HYDRANT APPROXIMATE LOCATION
HANDICAP PARKING STALL (9' X 19') + 5' W/ ACCESSIBLE AISLE	STEEL TUBE FENCE
HANDICAP PARKING (VAN) STALL (12' X 19') + 5' W/ ACCESSIBLE AISLE	PROPERTY LINE
	PATH OF TRAVEL 5% MAX SLOPE 2% MAX CROSS-SLOPE
	26' FIRE LANE PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT

ADA PARKING, EV AND CLEAN AIR CALC.

TOTAL PARKING 663
TOTAL ADA PARKING REQUIRED = 2% OF TOTAL = 14 STALLS STANDARD STALLS WITH 3 VAN
STALLS PROPOSED
CLEAN AIR PARKING REQUIRED = 8% OF TOTAL = 54 STALLS REQ AND PROPOSED
EV CHARGING REQUIRED = 6% OF TOTAL = 40 STALLS REQ AND PROPOSED

BICYCLE SPACES

TOTAL PARKING 663
SECTION 18.12 OF ORDINANCE NO 348 REQUIRES 1 PER 25 PARKING SPACES
TOTAL 27 BICYCLE PARKING SPACES WILL BE PROVIDED TOTAL FOR SHORT AND LONG TERM

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In s.f.	2,257,803	883,832	3,141,635 s.f.
In acres	51.83	20.29	72.12 ac
BUILDING AREA			
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MAXIMUM BUILDING HEIGHT ALLOWED			
Height - TBD			
MAXIMUM FLOOR AREA RATIO			
FAR - TBD			
LANDSCAPE REQUIREMENT			
Percentage - TBD			
SETBACKS			
25' Industrial Collector			

SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT - PER CIVIL AND STRUCTURAL DRAWINGS.
- PAVEMENT - PER CIVIL.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH, SEE "L" DRAWING.
- DRIVEWAY APRONS (ENHANCED PAVEMENT) TO BE CONSTRUCTED PER "C" AND "L" DRAWING.
- 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 14"H CONCRETE TILT-UP SCREEN WALL
- PROVIDE METAL MANUAL OPERATED GATES W/ KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- EXTERIOR CONCRETE STAIR
- APPROXIMATE LOCATION OF TRANSFORMER
- BICYCLE RACK
- PUMP HOUSE
- SMOKING AREA
- LANDSCAPE: ALL LANDSCAPE AREAS INDICATED BY SHADING.
- COVERED TRASH ENCLOSURE
- BREAK AREA WITH OVERHEAD TRELLIS, TABLES AND CHAIRS FURNISHED BY TENANT
- PUMP HOUSE
- CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- HANDICAPPED PARKING STALL SIGN
- HANDICAPPED ENTRY SIGN
- PRE-CAST CONC. WHEEL STOP
- 6'H SCREEN WALL
- 6'H TUBULAR STEEL FENCE
- 8'H TUBULAR STEEL FENCE

SITE PLAN GENERAL NOTES

- THE SOILS REPORT PREPARED BY SOUTHERN GEOTECHNICAL DATED: -----
- SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- ALL VERTICAL MOUNTING POLES OF ALL FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB



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PLUMBING	-
ELECTRICAL	-
LANDSCAPE	HUNTER
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: OVERALL SITE PLAN

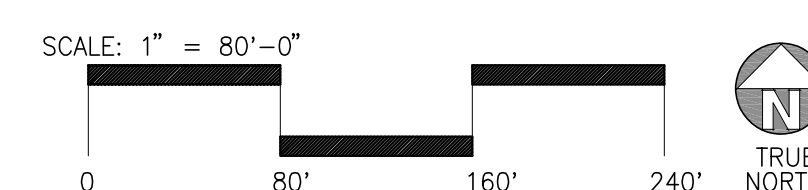
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Drawn by: CR
Date: 11/11/21
Revision:

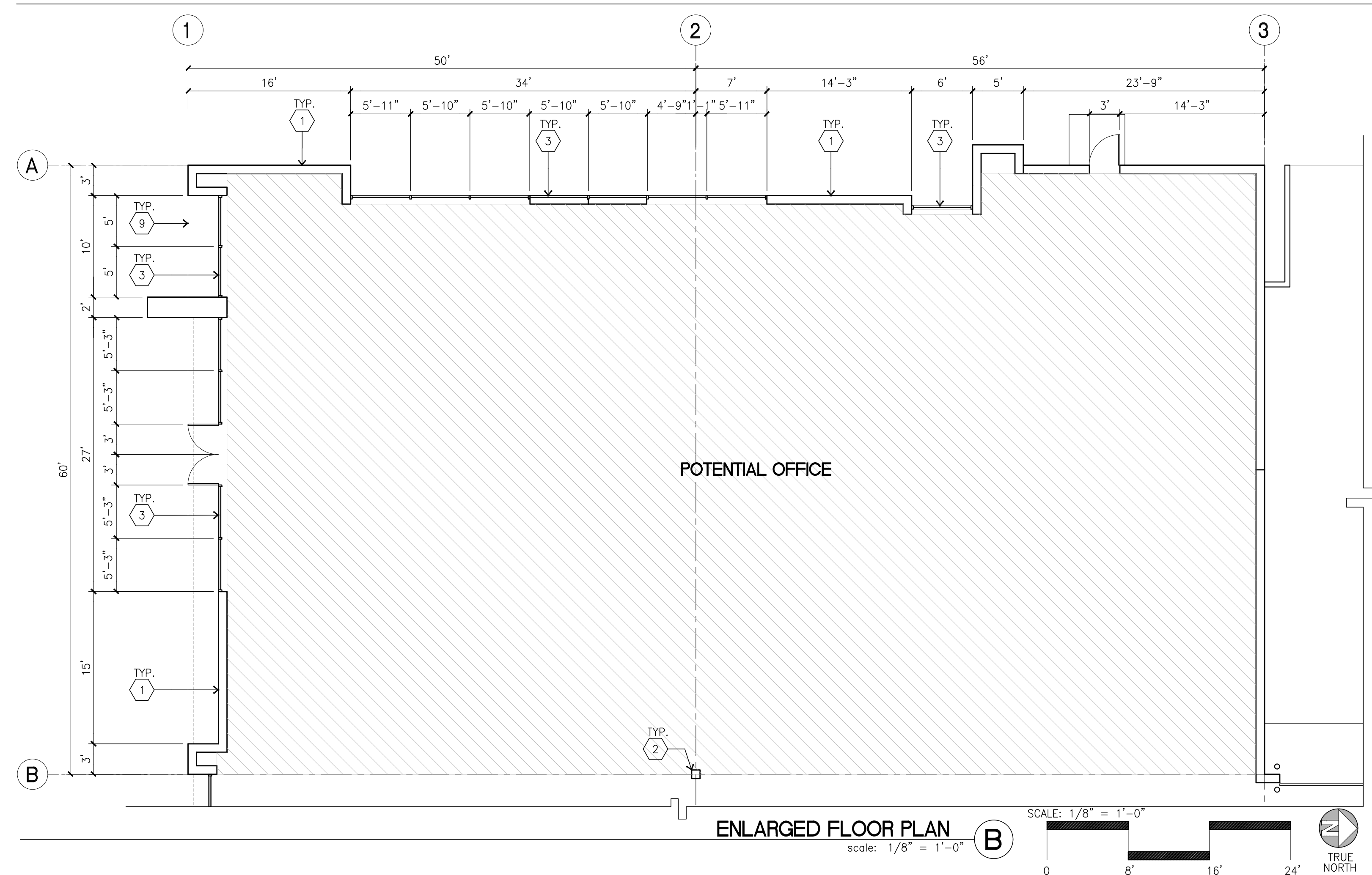
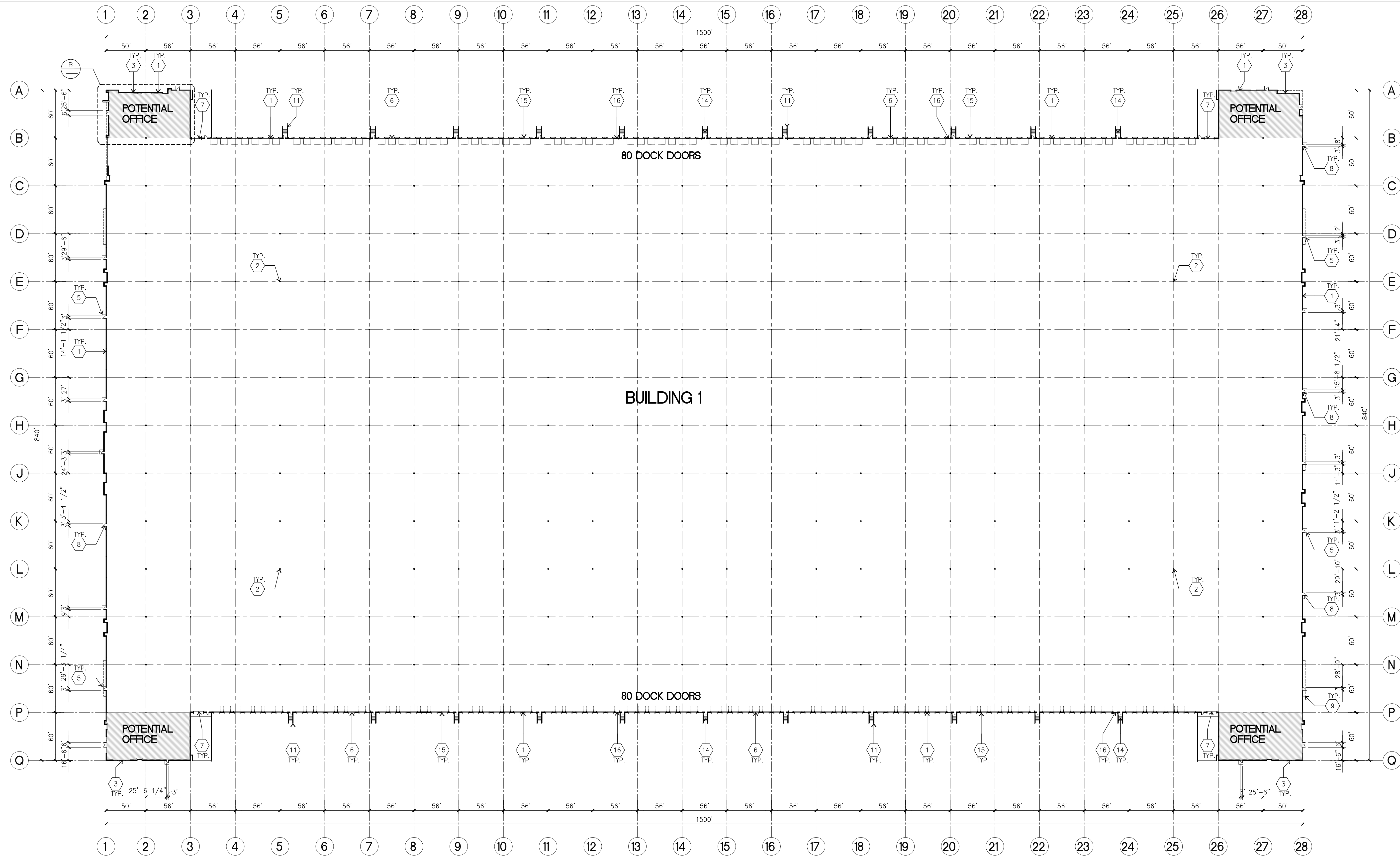
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OFFICIAL USE ONLY

OVERALL SITE PLAN
scale: 1" = 80'-0"





KEYNOTES – FLOOR PLAN

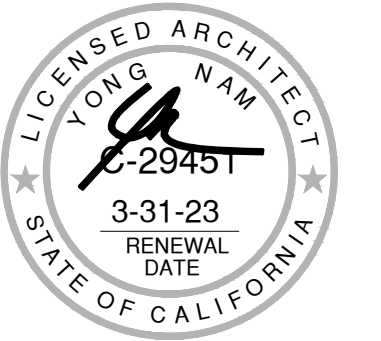
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP
- 5 5'-6"x5"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 6 9'X10' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 7 12'X14' DRIVE THRU, VERTICAL LIFT, STANDARD GRADE.
- 8 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 9 SOFFIT ABOVE
- 10 ROOF ACCESS LADDER
- 11 CONC. FILLED GUARD POST. 6" DIA. UNO 42"H.
- 12 INTERIOR ROOFDRAIN WITH OVERFLOW SCUPPER
- 13 NOT USED
- 14 EXTERIOR CONCRETE STAIR
- 15 DOCK BUMPER
- 16 METAL LOUVER

GENERAL NOTES – FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB SLOPES 1/2%", SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. FLOOR SLAB SHALL BE SEALED WITH LAPOLIDITH (MANUFACTURER: SONOBORN) OR APPROVED EQUAL.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE GREY PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR FLOOR STRIP LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.



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Title: OVERALL FLOOR PLAN

Project Number: 19567

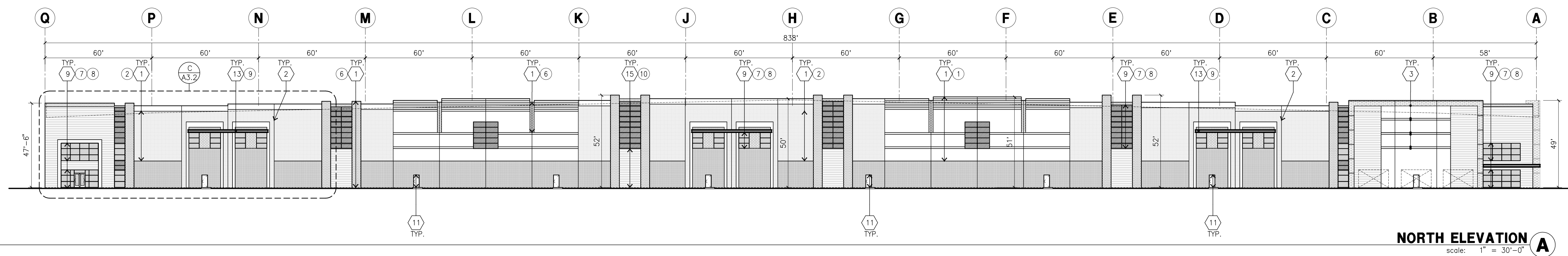
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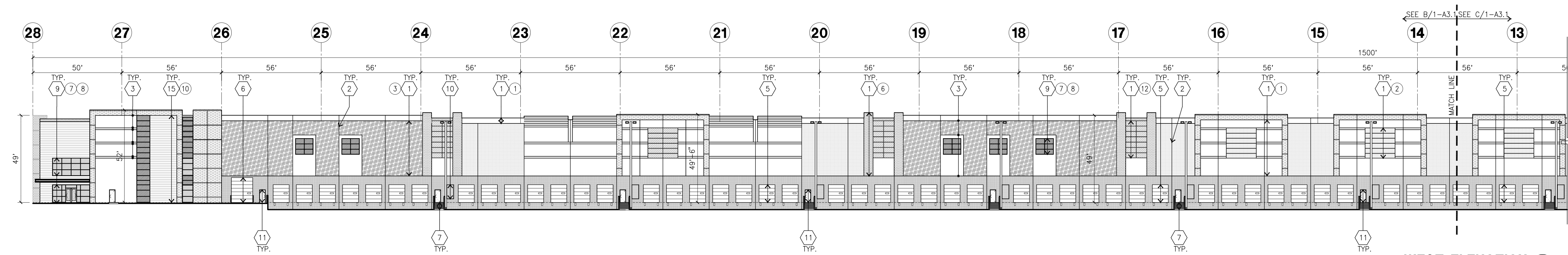
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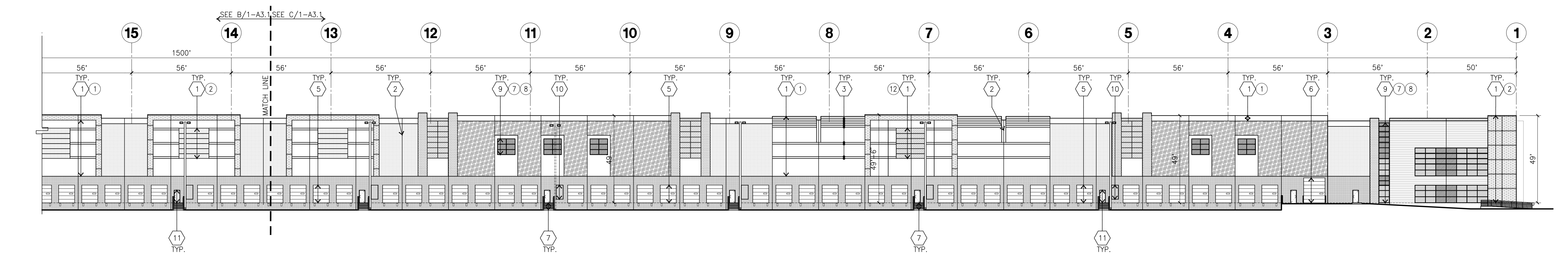
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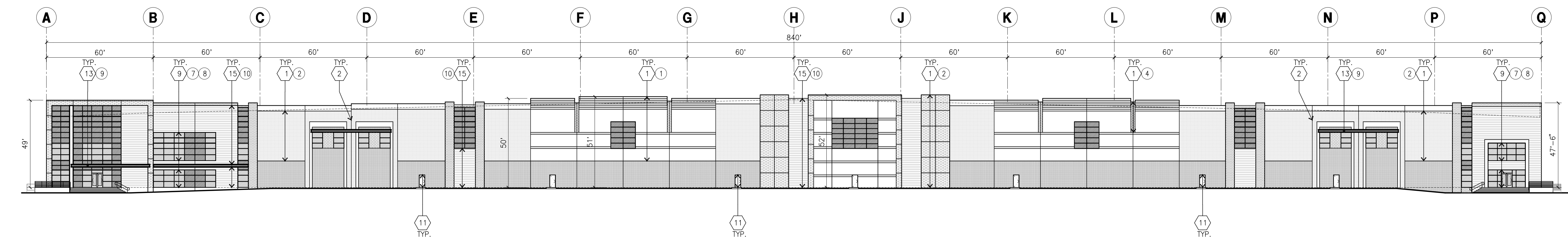
NORTH ELEVATION scale: 1" = 30'-0" **A**



WEST ELEVATION **B**
scale: 1" = 30'-0"



WEST ELEVATION CONT' C






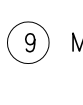

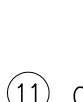


SOUTH ELEVATION D

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS
SIDEWALKS ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18"
ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION OPR. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 13 EXTERIOR CANOPY.
- 14 ROOF TOP UNIT.
- 15 ARIZONA TILE, WOOD SERIES

COLOR SCHEDULE - ELEVATIONS

- | | | | |
|--|---------------------------|---|---|
|  | ① CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 7005 PURE WHITE |
|  | ② CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 7071 GRAY SCREEN |
|  | ③ CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 7072 ONLINE |
|  | ④ CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 7073 NETWORK GRAY |
|  | ⑤ CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 7074 SOFTWARE |
|  | ⑥ CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 7075 WEB GRAY |
| ⑦ MULLIONS | FINISH | CLEAR ANODIZED | |
| ⑧ GLAZING | COLOR | BLUE REFLECTIVE GLAZING | |
|  | ⑨ METAL SURFACE | PAIN T BRAND | SHERWIN WILLIAMS
PRO-INDUSTRIAL, WATERBASED
B53-1150 SEMI-GLOSS
IN COLOR: SW 7005 PURE WHITE |
| ⑩ TILE | FINISH | OPT1 - ARIZONA TILE, SAV WOOD
SERIES, BROWN
GROUT/SEALANT: TO MATCH
SW 7075 WEB GRAY
OR COMPARABLE MANUFACTURER
OPT2 - METAL PANEL DIZAL OR
COMPARABLE MANUFACTURER | |
|  | ⑪ CONCRETE TILT- UP PANEL | PAIN T BRAND | SHERWIN WILLIAMS
SW 6144 DAPPER TAN |
| ⑫ CONCRETE TILT- UP PANEL | PAIN T BRAND | DUNN EDWARDS
DE5853 BLUE EARTH | |

GLAZING LEGEND

-  TEMPERED VISION GLASS  TEMPERED SPANDREL GLASS

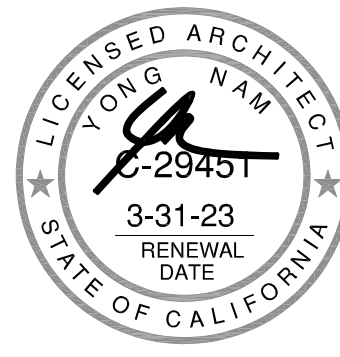
ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



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Owner:



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ATTN: Jon Kelly

Project:

ETHANAC &
SHERMAN

ETHANAC RD. & SHERMAN RD.
MENIFEE, CA

Consultants:

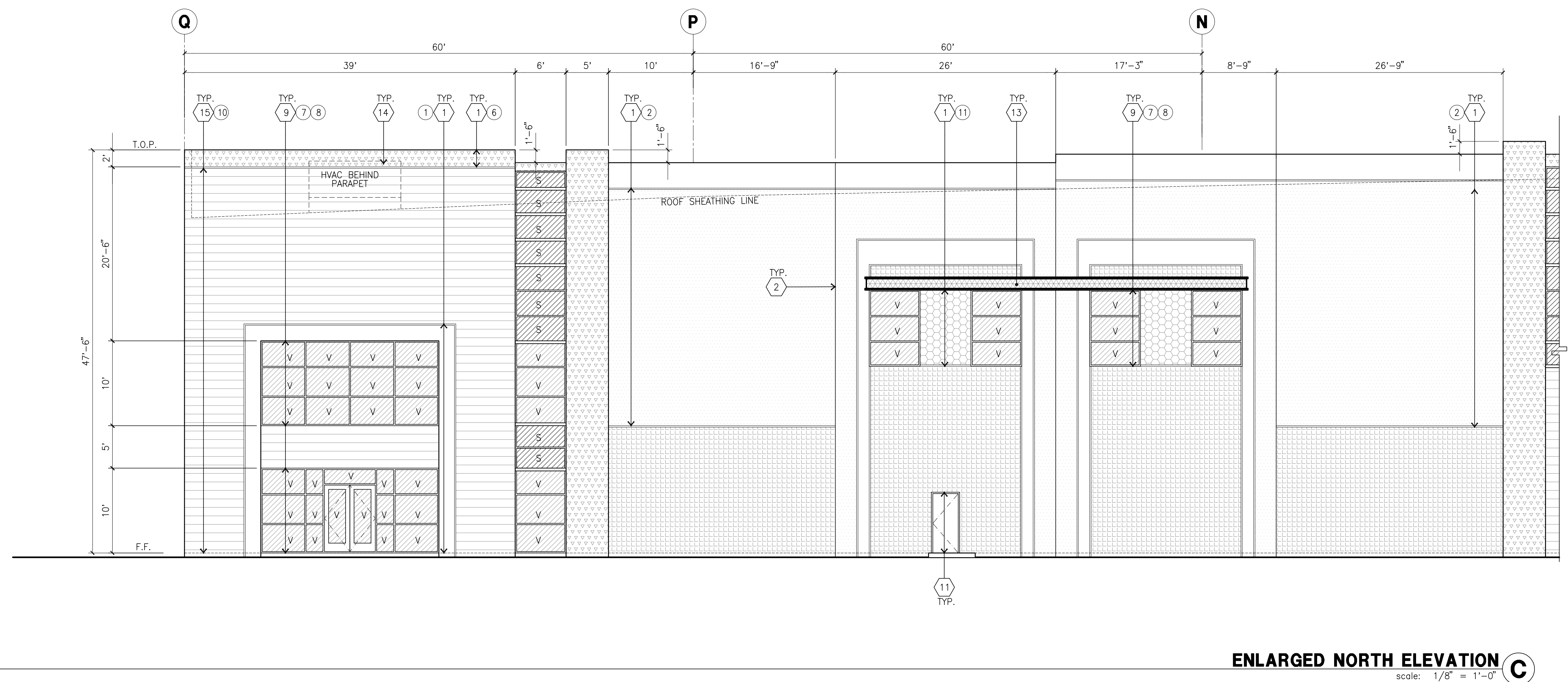
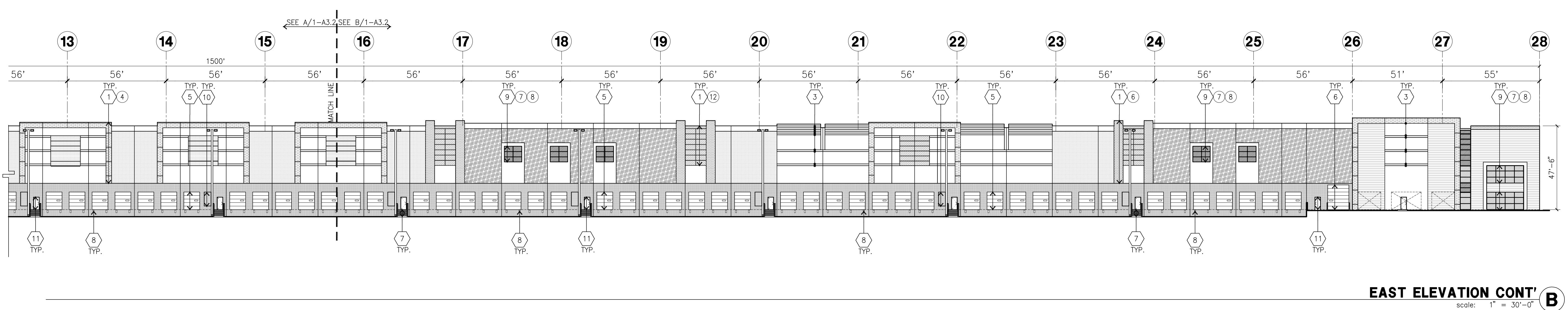
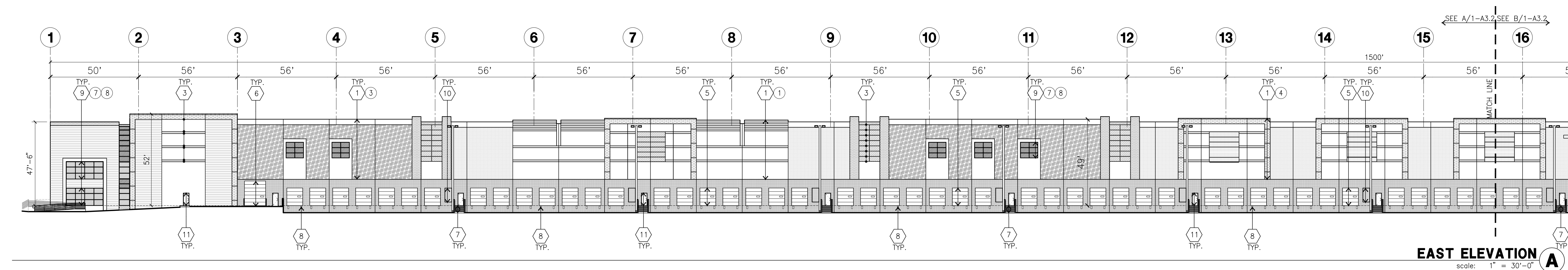
CIVIL	WEBB
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	HUNTER
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ELEVATIONS

Project Number: 19567
 Drawn by: CR
 Date: 11/11/21
 Revision:

Sheet:

1-DAB-A3.1



KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS.
- 10 SIDEWALKS ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 11 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 12 HOLLOW METAL DOORS.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR CANOPY.
- 15 ROOF TOP UNIT.
- 16 ARIZONA TILE, WOOD SERIES

COLOR SCHEDULE - ELEVATIONS

- | | | | |
|----|-------------------------|-------------|---|
| 1 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 7005 PURE WHITE |
| 2 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 7071 GRAY SCREEN |
| 3 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 7072 ONLINE |
| 4 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 7073 NETWORK GRAY |
| 5 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 7074 SOFTWARE |
| 6 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 7075 WEB GRAY |
| 7 | MULLIONS | FINISH | CLEAR ANODIZED |
| 8 | GLAZING | COLOR | BLUE REFLECTIVE GLAZING |
| 9 | METAL SURFACE | PAINT BRAND | SHERWIN WILLIAMS PRO-INDUSTRIAL WATERBASED 653-1150 SEMI-GLOSS IN COLOR: SW 7005 PURE WHITE |
| 10 | TILE | FINISH | OPT1 - ARIZONA TILE, SAW WOOD SERIES, IROKO GROUT/SEALANT: TO MATCH SW 7075 WEB GRAY OR COMPARABLE MANUFACTURER OPT2 - METAL PANEL DIZAL OR COMPARABLE MANUFACTURER |
| 11 | CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW 6144 DAPPER TAN |
| 12 | CONCRETE TILT- UP PANEL | PAINT BRAND | DUNN EDWARDS DE5853 BLUE EARTH |

GLAZING LEGEND

- | | |
|-----------------------|-------------------------|
| TEMPERED VISION GLASS | TEMPERED SPANDREL GLASS |
|-----------------------|-------------------------|

ALL GLASS TO BE NON-REFLECTIVE.

GENERAL NOTES - ELEVATIONS

- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- T.O.P. = TOP OF PARAPET - ELEVATION.
- F.F. = FINISH FLOOR ELEVATION.
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



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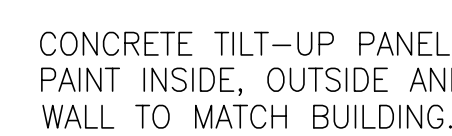
ETHANAC RD. & SHERMAN RD.
MENIFEE, CA

Consultants:
CIVIL - WEBB
STRUCTURAL -
MECHANICAL -
PLUMBING -
ELECTRICAL - HUNTER
LANDSCAPE -
FIRE PROTECTION -
SOILS ENGINEER -

Title: ELEVATIONS

Project Number: 19567
Drawn by: CR
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Revision:

Sheet:
1-DAB-A3.2

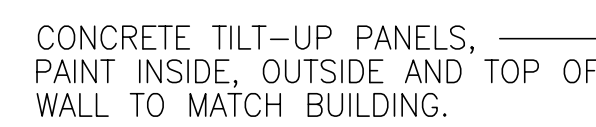


SCALE: 1/2" = 1'-0"



1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"

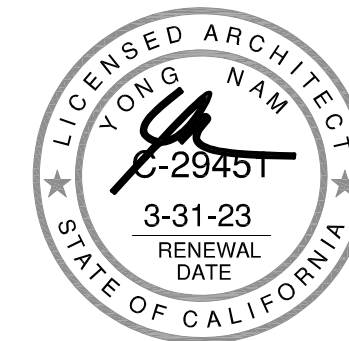
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@ WINDOWS



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CIVIL
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MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: Section

Project Number: 1956
 Drawn by: CF
 Date: 11/11/2
 Revision:

Sheet:

1-DAB-A4.1

TRUMBULL ROAD

TRUMBULL ROAD

SITE PLAN GENERAL NOTES

- THE SOILS REPORT PREPARED BY SOUTHERN CALIFORNIA GEOTECHNICAL DATED: 12/15/2023.
- SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.

- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.

SITE LEGEND

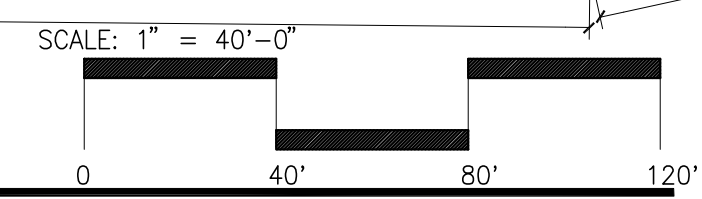
- | | |
|---|---|
| CONCRETE PAVING
SEE "C" DRWG. FOR THICKNESS | LIGHT STANDARD |
| LANDSCAPED AREA | EXISTING PUBLIC FIRE HYDRANT |
| STANDARD PARKING STALL (9' X 19') | PRIVATE FIRE HYDRANT APPROXIMATE LOCATION |
| HANDICAP PARKING STALL (9' X 19') + 5' W/ ACCESSIBLE AISLE | STEEL TUBE FENCE |
| HANDICAP PARKING (VAN) STALL (12' X 19') + 5' W/ ACCESSIBLE AISLE | PROPERTY LINE |
| | PATH OF TRAVEL 5% MAX SLOPE 2% MAX CROSS-SLOPE |
| | 26' FIRE LANE PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT |

SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT - PER CIVIL AND STRUCTURAL DRAWINGS.
- PAVEMENT - PER CIVIL.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH, SEE "L" DRAWING.
- DRIVEWAY APRONS (ENHANCED PAVEMENT) TO BE CONSTRUCTED PER "C" AND "L" DRAWING.
- 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 14" CONCRETE TILT-UP SCREEN WALL.
- PROVIDE METAL MANUAL OPERATED GATES W/ KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- EXTERIOR CONCRETE STAIR
- APPROXIMATE LOCATION OF TRANSFORMER
- BICYCLE RACK
- PUMP HOUSE
- SMOKING AREA
- LANDSCAPE: ALL LANDSCAPE AREAS INDICATED BY SHADING.
- COVERED TRASH ENCLOSURE
- BREAK AREA WITH OVERHEAD TRELLIS. TABLES AND CHAIRS FURNISHED BY TENANT
- PUMP HOUSE
- CONC. FILLED GUARD POST "6" DIA. U.N.O. 42" H.
- HANDICAPPED PARKING STALL SIGN
- HANDICAPPED ENTRY SIGN
- PRE-CAST CONC. WHEEL STOP
- 6" H. SCREEN WALL
- 6" H. TUBULAR STEEL FENCE
- 8" H. TUBULAR STEEL FENCE

OVERALL SITE PLAN A

scale: 1" = 40'-0"



ADA PARKING, EV AND CLEAN AIR CALC.

TOTAL PARKING 211
TOTAL ADA PARKING REQUIRED = 7 REQUIRED = 8 STALLS STANDARD STALLS WITH 2 VAN STALLS PROPOSED
CLEAN AIR PARKING REQUIRED = 8% OF TOTAL = 17 STALLS REQ AND PROPOSED
EV CHARGING REQUIRED = 6% OF TOTAL = 13 STALLS REQ AND PROPOSED

BICYCLE SPACES

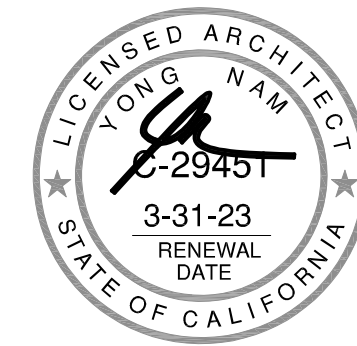
TOTAL PARKING 211
SECTION 18.12 OF ORDINANCE NO. 348 REQUIRES 1 PER 25 PARKING SPACES
TOTAL 9 BICYCLE PARKING SPACES WILL BE PROVIDED TOTAL FOR SHORT AND LONG TERM

PROJECT DATA

SITE AREA	BLDG. 1	BLDG. 2	TOTAL
In s.f.	2,257,803	883,832	3,141,635 s.f.
In acres	51.83	20.29	72.12 ac
BUILDING AREA			
Office	14,500	10,000	24,500 s.f.
Mezzanine	144,220		144,220 s.f.
Warehouse	1,095,440	375,970	1,471,410 s.f.
TOTAL	1,254,160	385,970	1,640,130 s.f.
COVERAGE	55.5%	43.7%	52.2%
AUTO PARKING REQUIRED			
Office: 1/250 s.f.	58	40	98 stalls
Whse: 1/2,000 s.f.	621	188	809 stalls
TOTAL	679	228	907 stalls
AUTO PARKING PROVIDED			
Standard (9' x 18')	679	232	911 stalls
TRAILER PARKING PROVIDED			
Trailer (10' x 55')	369	154	523 stalls
ZONING ORDINANCE FOR CITY			
Zoning Designation - Menifee North SP - P.A. 2 Industrial			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - TBD			
MAXIMUM FLOOR AREA RATIO			
FAR - TBD			
LANDSCAPE REQUIREMENT			
Percentage - TBD			
SETBACKS			
25' Industrial Collector			



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Title: OVERALL SITE PLAN

Project Number: 19567

Drawn by: CR

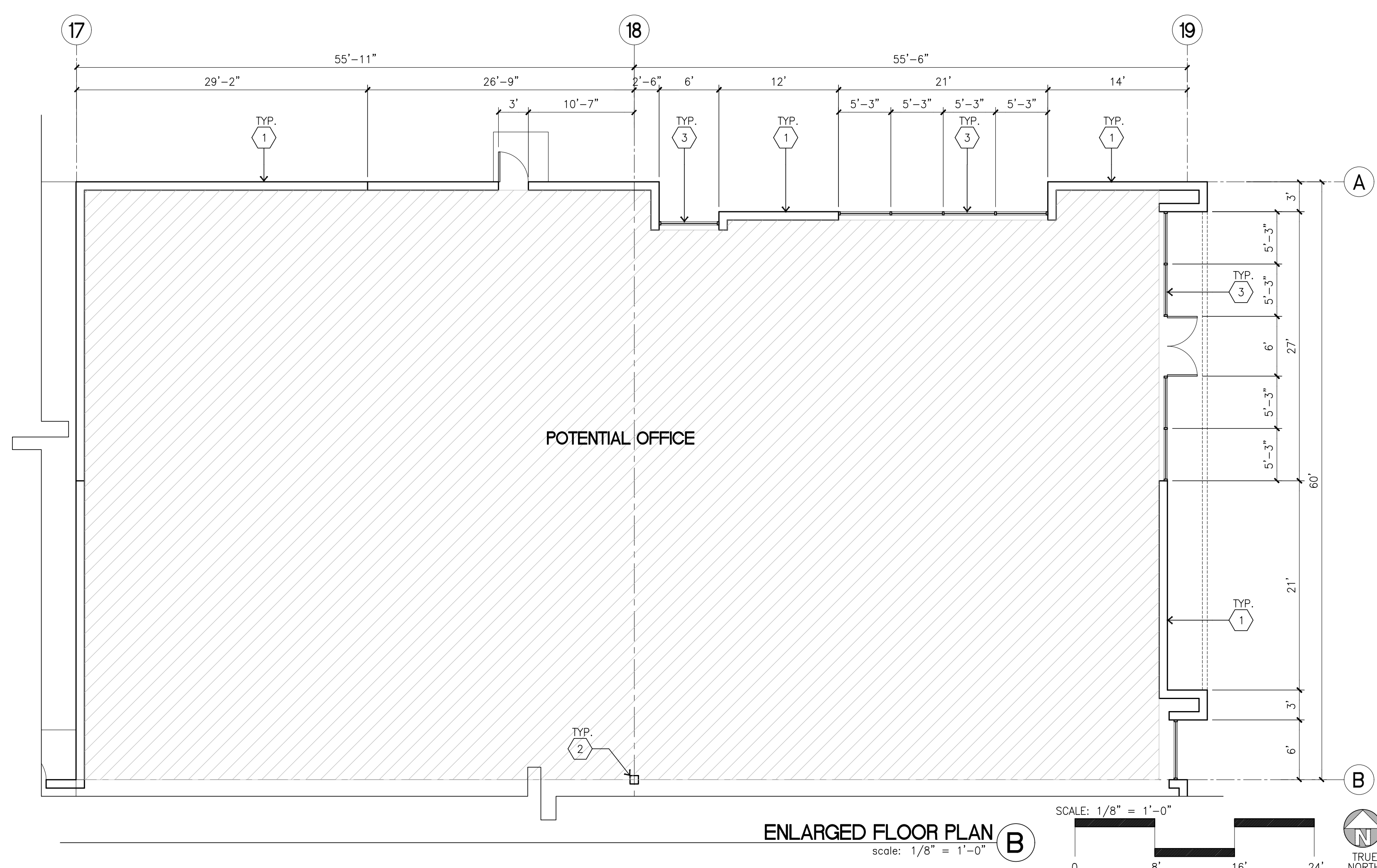
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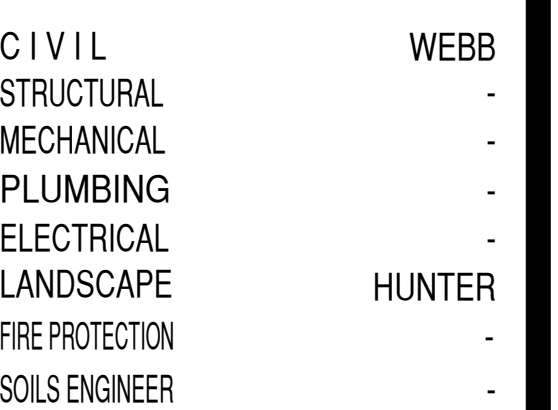
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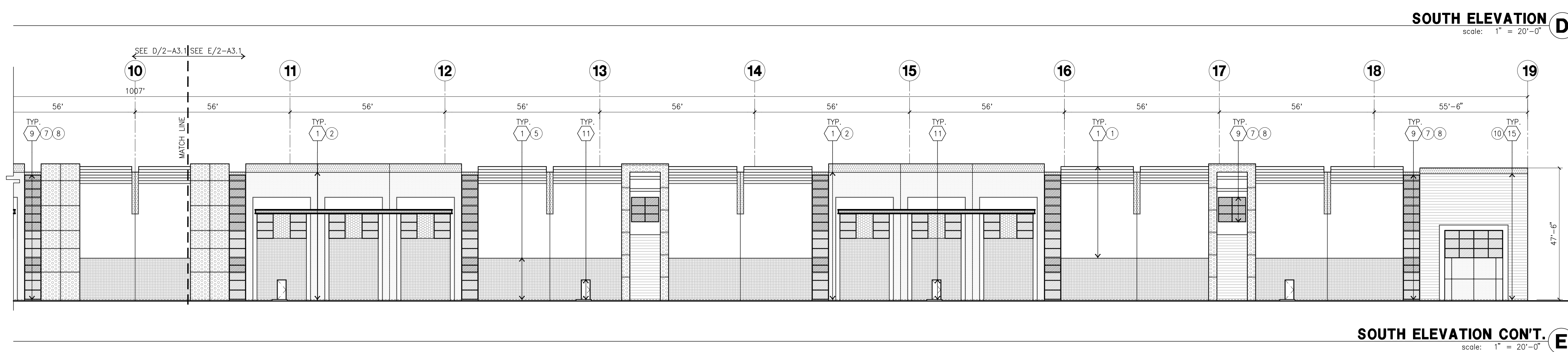
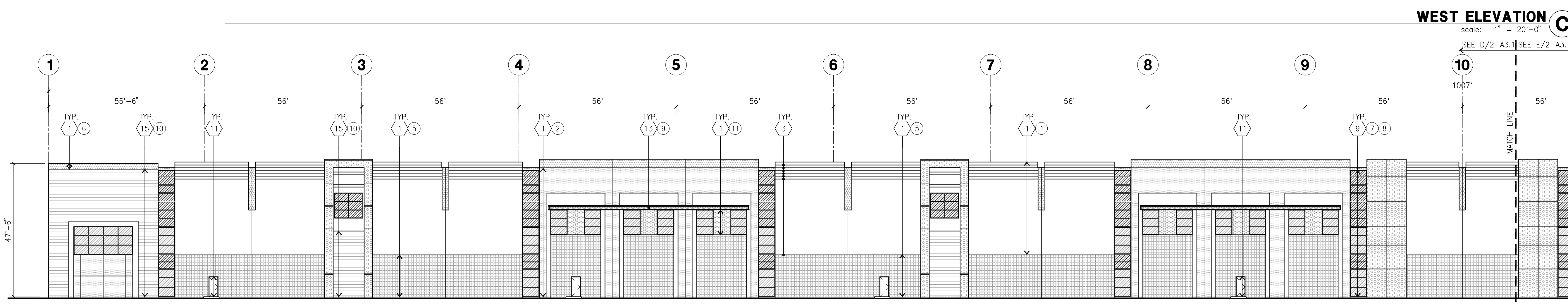
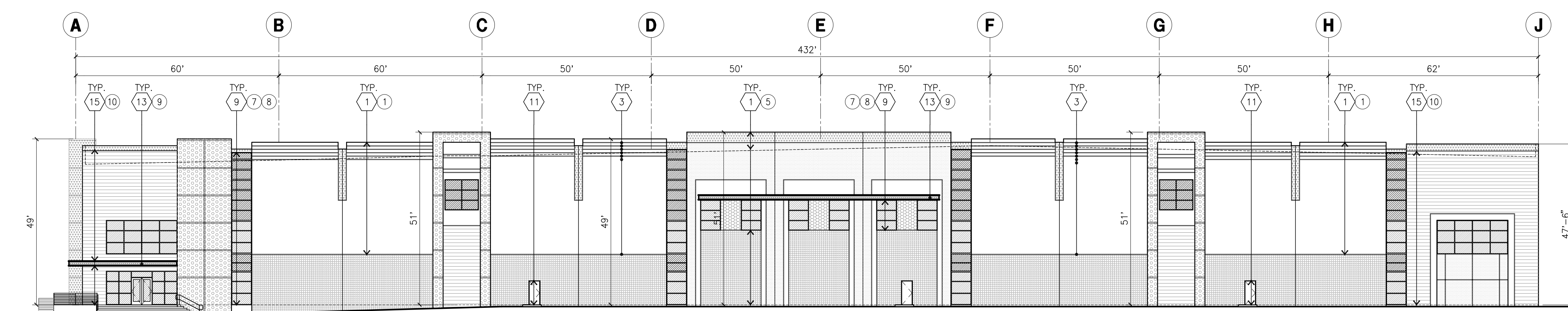
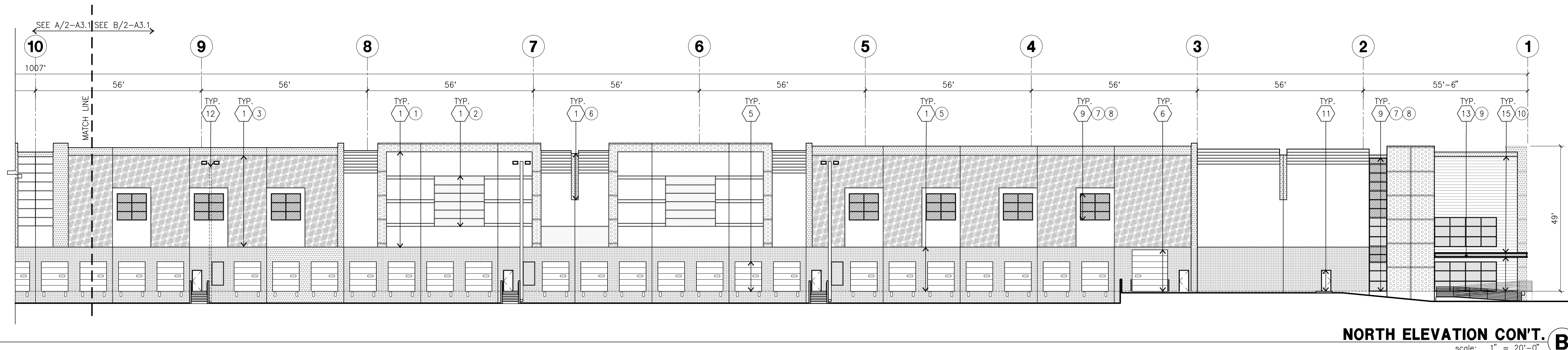
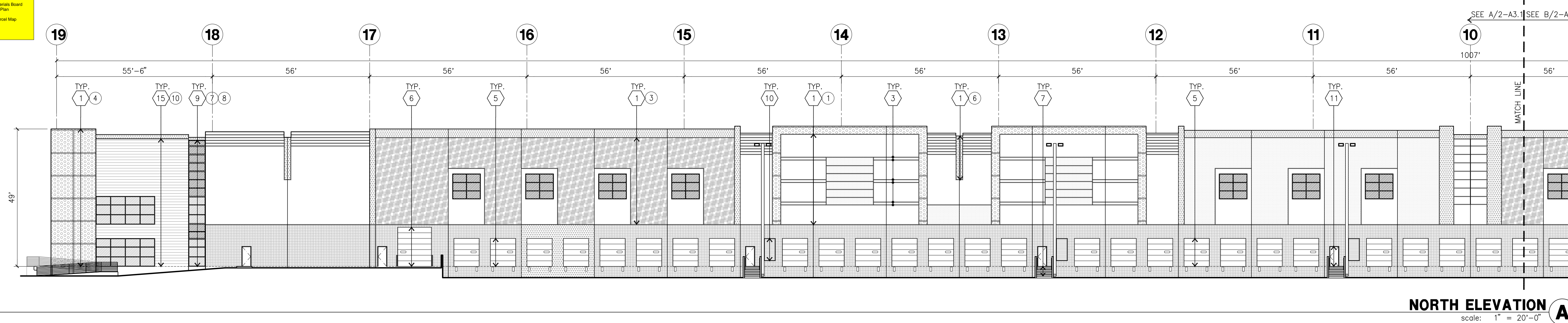
OFFICIAL USE ONLY



- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 125' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB SLOPES 1/2%", SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. FLOOR SLAB SHALL BE SEALED WITH LAPOLIDITH MANUFACTURER: SONOBORN) OR APPROVED EQUAL.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE GREY PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR EXTERIOR STRIP LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.




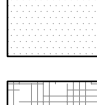
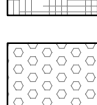
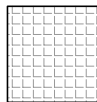


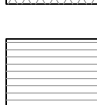

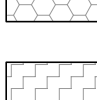

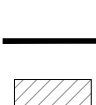

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KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
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- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS
SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18"
ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
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SW 7072 ONLINE |
|  | ④ CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS
SW 7073 NETWORK GRAY |
|  | ⑤ CONCRETE TILT- UP PANEL | PAINT BRAND | SHERWIN WILLIAMS
SW 7074 SOFTWARE |
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SW 7075 WEB GRAY |
|  | ⑦ MULLIONS | FINISH | CLEAR ANODIZED |
|  | ⑧ GLAZING | COLOR | BLUE REFLECTIVE GLAZING |
|  | ⑨ METAL SURFACE | PAINT BRAND | SHERWIN WILLIAMS
PRO-INDUSTRIAL, WATERBASED
R53-1150 SEMI-GLOSS
IN COLOR: SW 7005 PURE WH |
|  | ⑩ TILE | FINISH | OPT1 - ARIZONA TILE, SW VOC
SERIES, IRPCK
GROUT/SEALANT: TO MATCH
SW 7075 WEB GRAY
OR COMPARABLE MANUFACTURER
OPT2 - METAL PANEL DIZAL C
COMPARABLE MANUFACTURER |
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SW 6144 DAPPER TAN |
|  | ⑫ CONCRETE TILT- UP PANEL | PAINT BRAND | DUNN EDWARDS
D5853 BLUE EARTH |

GLAZING LEGEND

-  TEMPERED VISION GLASS  TEMPERED SPANDREL GLASS

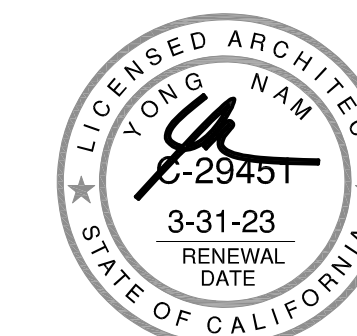
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architecture

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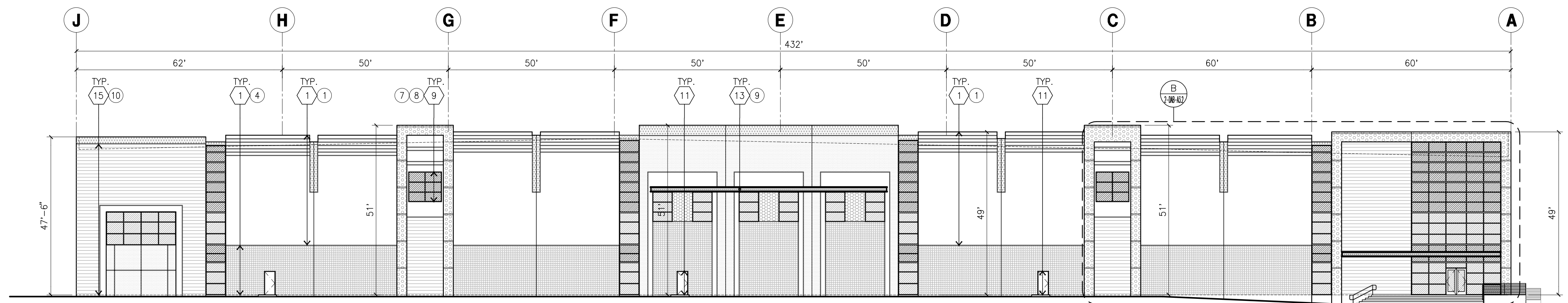
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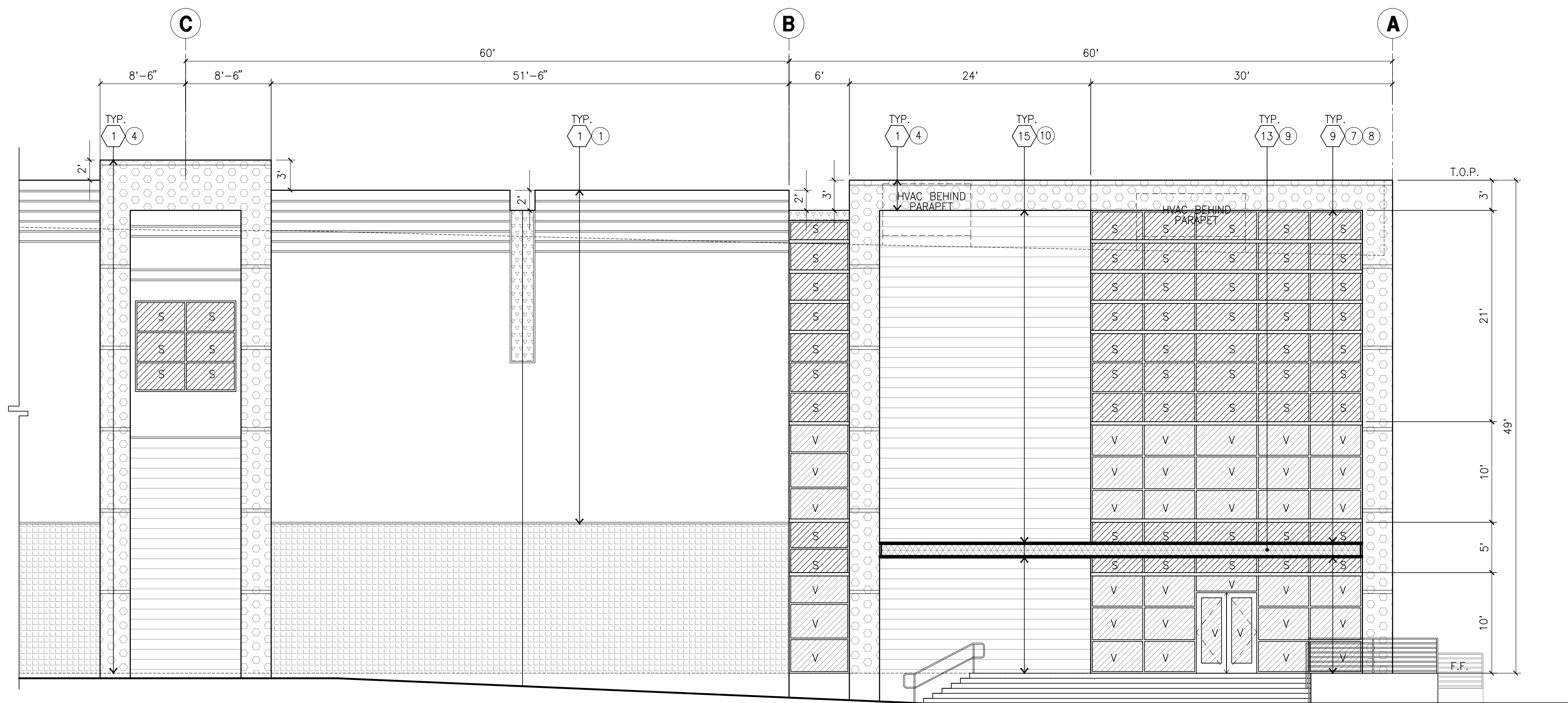
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2-DAB-A3.1



EAST ELEVATION A
scale: 1" = 20'-0"



ENLARGED EAST ELEVATION B
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

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1	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
2	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
3	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
4	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
5	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
6	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
7	MULLIONS	FINISH	CLEAR ANODIZED
8	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
9	METAL SURFACE	PAINT BRAND	SHERWIN WILLIAMS
10	TILE	FINISH	OPT1 - ARIZONA TILE, SAV WOOD SERIES, BROW GROUT/SEALANT: TO MATCH SW 7075 WEB GRAY OR COMPARABLE MANUFACTURER OPT2 - METAL PANEL DIZAL OR COMPARABLE MANUFACTURER
11	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS
12	CONCRETE TILT- UP PANEL	PAINT BRAND	DUNN EDWARDS

GLAZING LEGEND

V	TEMPERED VISION GLASS	S	TEMPERED SPANDREL GLASS
---	-----------------------	---	-------------------------

ALL GLASS TO BE NON-REFLECTIVE

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



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Project:

ETHANAC &
SHERMAN

ETHANAC RD. & SHERMAN RD.
MENIFEE, CA

Consultants:

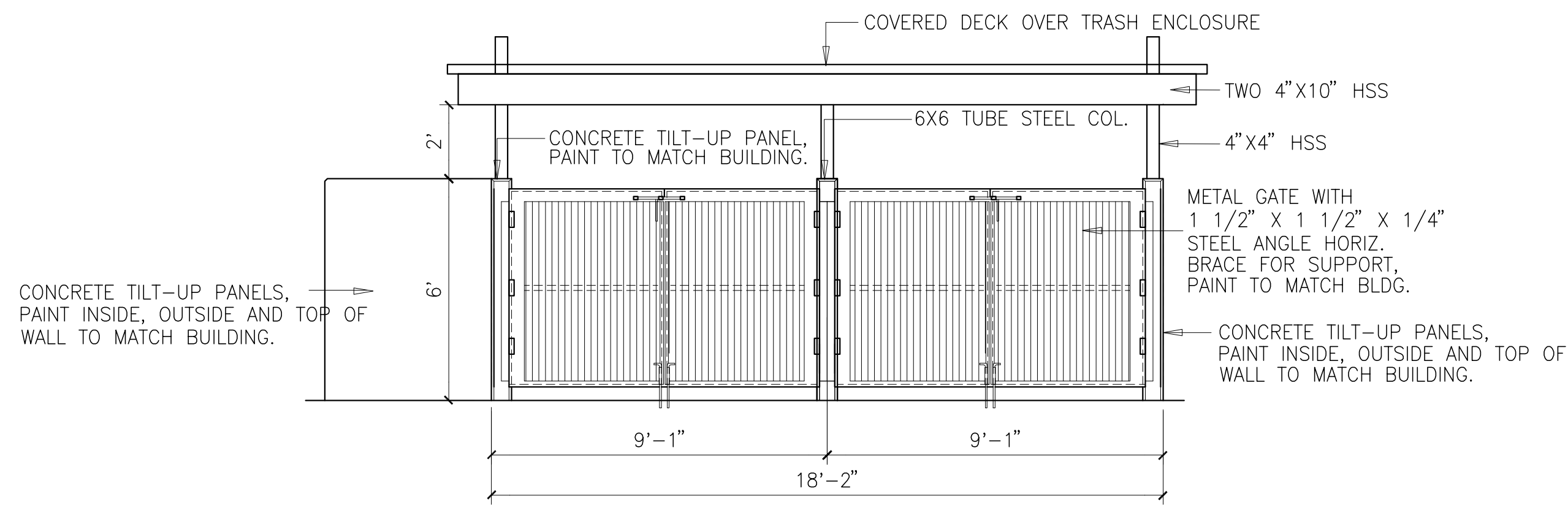
CIVIL	WEBB
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	HUNTER
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ELEVATIONS

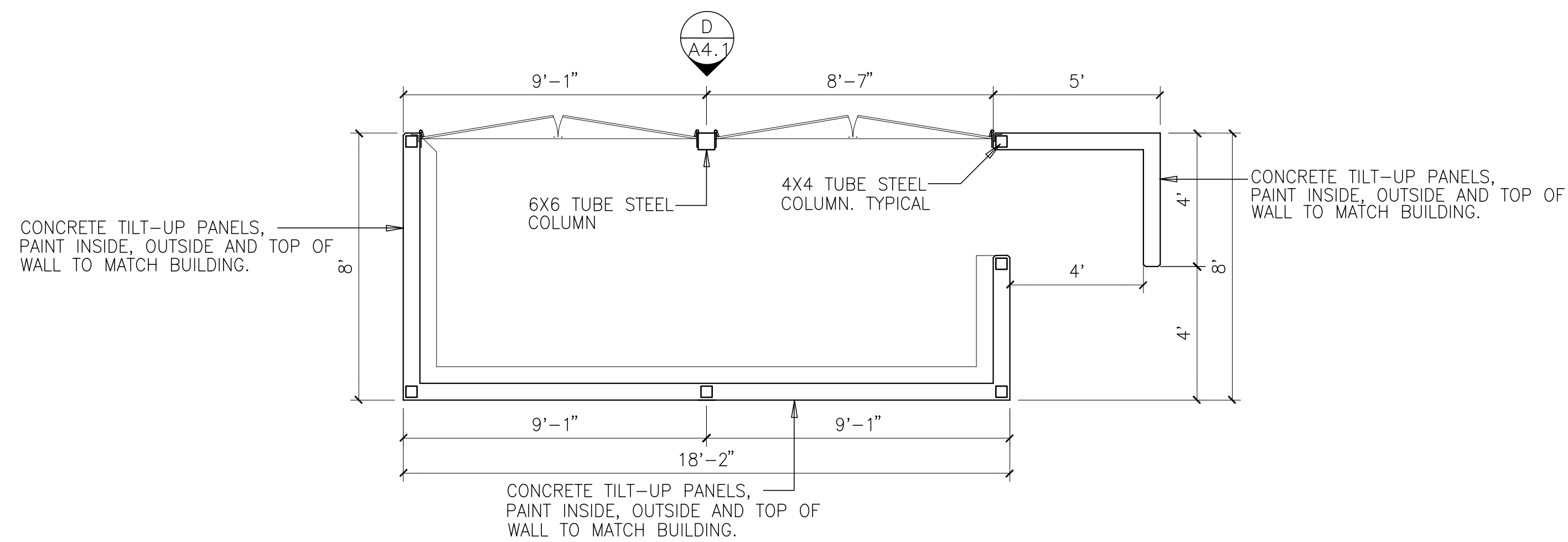
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Drawn by: CR
Date: 11/11/21
Revision:

Sheet:

2-DAB-A3.2

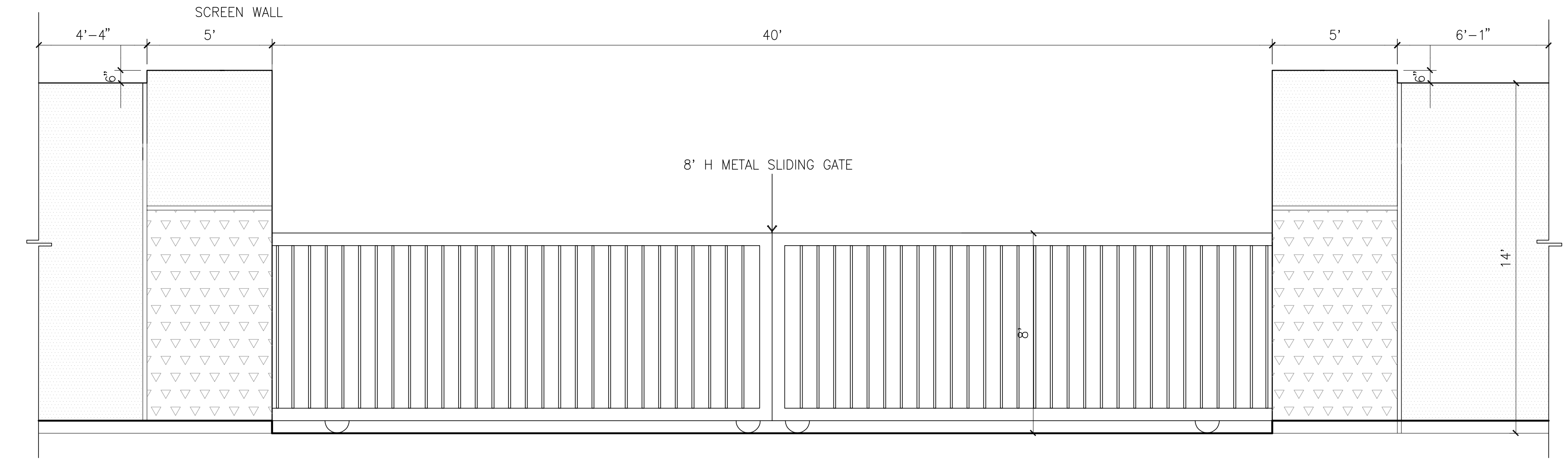
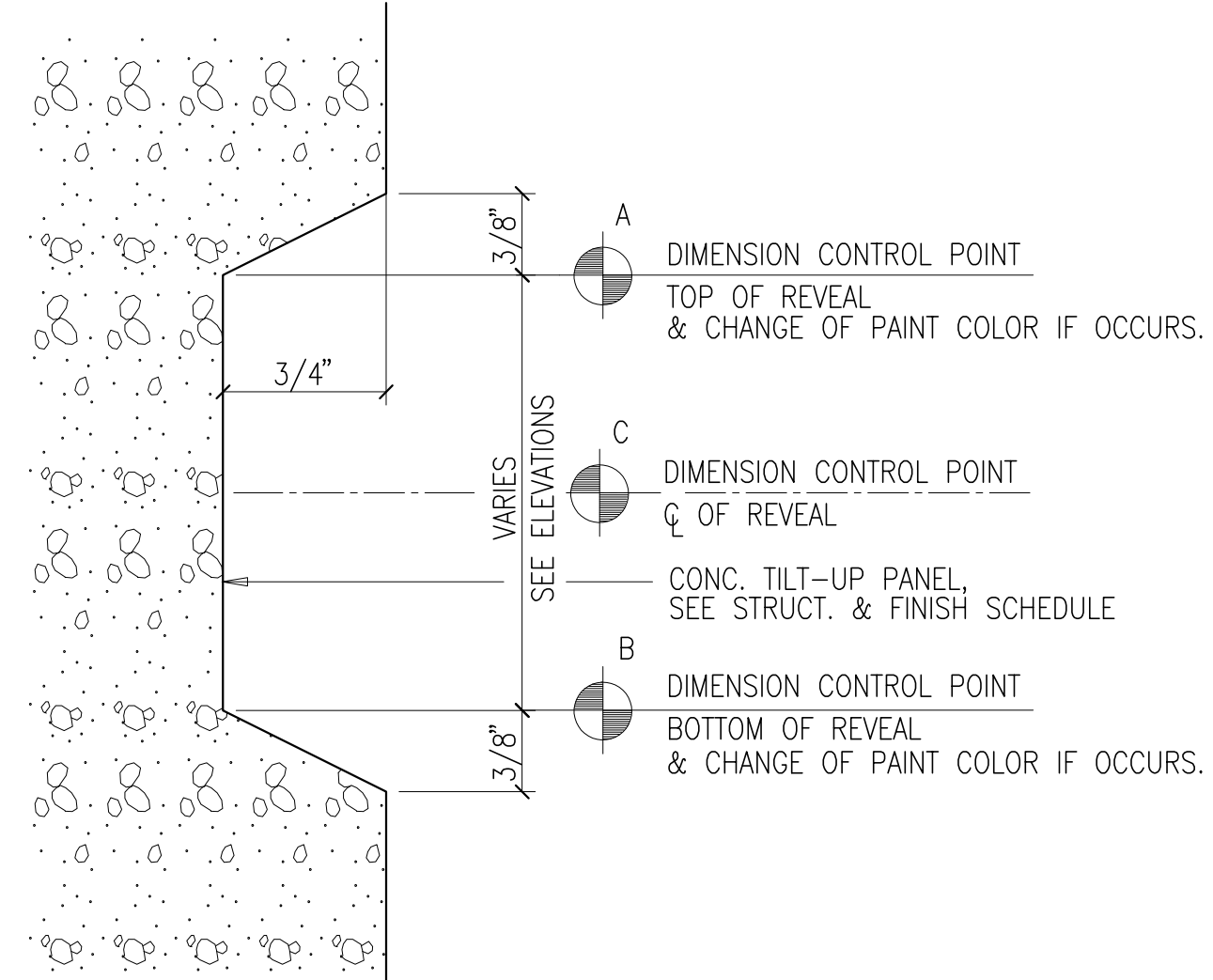


3 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/2" = 1'-0"

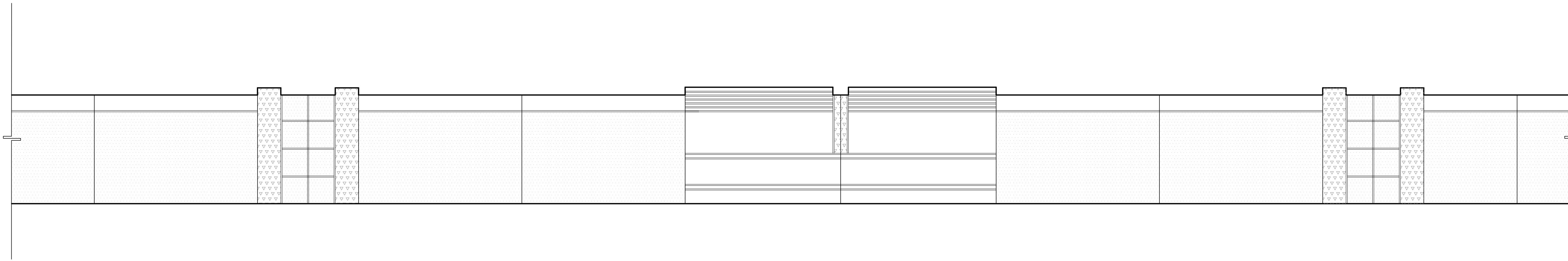


1 TYP. CONCRETE REVEAL
SCALE: 1/2" = 1'-0"

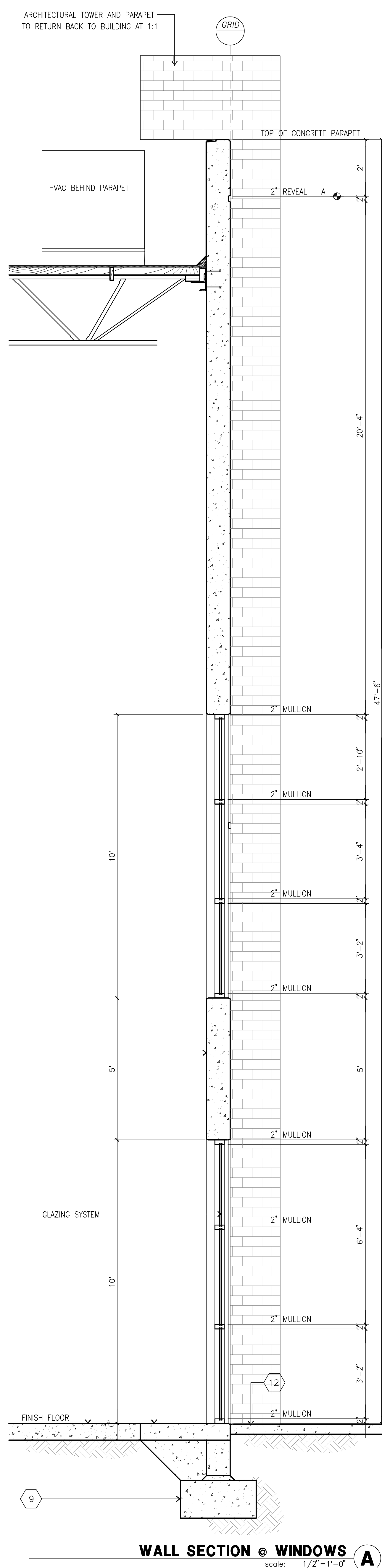
- NOTES:
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
 2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"



GATE DETAIL B
scale: N.T.S.



SCREEN WALL DESIGN C
scale: N.T.S.



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MENIFEE, CA

Consultants:

CIVIL	WEBB
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	HUNTER
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: Section

Project Number: 19567
Drawn by: CR
Date: 11/11/21

Revision:

Sheet:

2-DAB-A4.1

DESIGN KEY NOTES:

- NEW STREET TREE PER LEGEND.
- PROPOSED NEW PARKING LOT SHADE TREE PER LEGEND.
- DROUGHT TOLERANT SHRUBS AND GROUND COVER PER LEGEND.
- NEW FLOWERING ACCENT TREES AT KEY FOCAL AREAS SUCH AS DRIVEWAY AND BUILDING ENTRIES.
- VERTICAL GROWING TREE PER LEGEND.
- EVERGREEN SCREEN TREE PER LEGEND.
- FOUNDATION SHRUB PLANTING PER LEGEND.
- ALL TREES WITHIN SIX FEET OF HARDSCAPE OR BUILDINGS SHALL BE INSTALLED WITH LINEAR ROOT CONTROL BARRIER FROM DEEP ROOT CORPORATION (OR APPROVED SUBSTITUTION). ROOT BARRIER LENGTH SHALL BE 16 FEET MIN. CENTERED ON TREE TRUNK. ROOT BARRIER SHALL BE PLACED IN A LINEAR INSTALLATION ADJACENT TO HARDSCAPE PER MANUF. SPECIFICATIONS AND NOT ENCIRCLING ROOTBALL. ROOT CONTROL BARRIER DEPTH SHALL B 18 INCHES MIN. ADJACENT TO FLATWORK AND 24 INCHES. MIN. ADJACENT TO CURBS.
- STORM WATER TREATMENT BASIN SHALL BE PLANTED WITH GRASSES AND SHRUBS TOLERANT OF SEASONAL WATER INUNDATION, REFER TO PLANTING LEGEND.
- ENHANCED PAVING AT VEHICULAR AND BUILDING ENTRY AREAS

WUCOLS PLANT FACTOR

THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '4-SOUTH INLAND'.

H = HIGH WATER NEEDS
M = MODERATE WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS

IRRIGATION NOTE:

THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

CONCEPTUAL PLAN NOTE:

THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

REFERENCE KEY NOTES:

- A. TRASH ENCLOSURE PER ARCH. PLANS.
- B. ELEC. TRANSFORMER PER CIVIL PLANS.
- C. SCREEN WALL PER ARCH. PLANS.
- D. NEW PUBLIC SIDEWALK PER CIVIL PLANS.
- E. MANUFACTURED SLOPE PER CIVIL GRADING PLANS.
- F. OUTDOOR BREAK AREAS.
- G. BIKE RACK PER ARCH. PLAN.

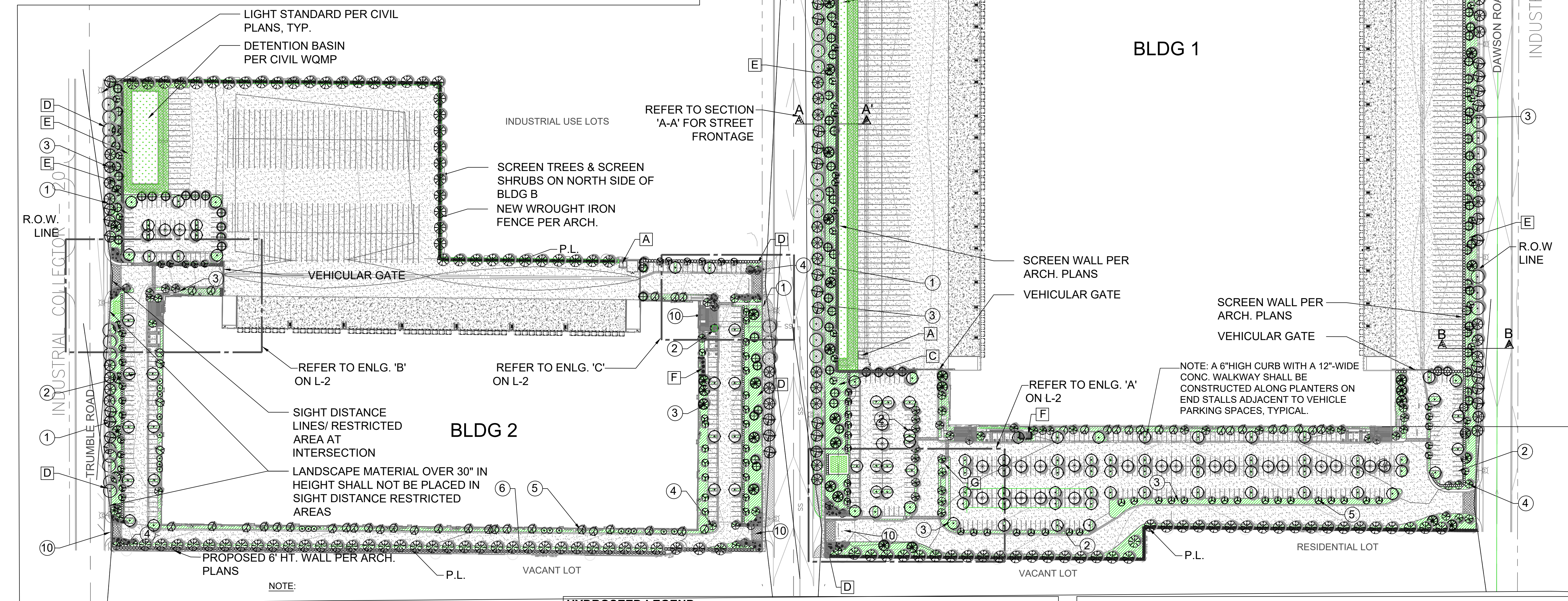
PARKING TREE SHADING MATRIX:

SEE SHEET L-2B

TOTAL IRRIGATED LANDSCAPE AREA

380,155 SQ. FT.

ETWU TOTAL = 3,582,217
MAWA = 6,077,424
SEE SHEET L-1B



TREE SIZING CHART

TOTAL NUMBER OF PROPOSED TREES = 981
10% REQUIRED TO BE SPECIMEN SIZE TREES (36" BOX SIZE OR LARGER) = 98 TREES REQD.

TOTAL NUMBER OF PROPOSED 36" BOX SIZE TREES OR LARGER = 196 SPECIMEN SIZE TREES

- ALL SHRUB PLANTING AREAS WITHIN LIMIT OF WORK SHALL RECEIVE A 3" LAYER OF SHREDDED WOOD MULCH. PROVIDE SUBMITTAL FOR REVIEW PRIOR TO INSTALLATION.
- MINIMUM NURSERY CONTAINER SIZES FOR TREES SHALL BE 24-INCH BOX, ACCENT TREES/ 36-INCH BOX, SHRUBS/ 5-GAL. AND GROUND COVERS/ GRASSES/ PERENNIALS/ 1 GALLON. A MIN. OF 10% OF TOTAL TREE QUANTITY SHALL BE SPECIMEN SIZE (36" BOX SIZE OR LARGER).
- PLAN SHALL COMPLY WITH CITY OF MENIFEE, LANDSCAPE WATER USE EFFICIENCY REQUIREMENTS, MCC 15.04; LANDSCAPING STANDARDS; MMC 9.195; AND STATE OF CALIFORNIA AB 1881, THE WATER CONSERVATION IN LANDSCAPING ACT (2015).
- CFD/ OFF SITE IRRIGATION SYTEMS (PUBLIC RIGHT-OF-WAY) SHALL BE SEPARATE FROM ASSOCIATION/ PRIVATE ON SITE IRRIGATION SYSTEMS (CONTROLLERS, VALVES, MAIN LINE). OFF SITE AND ON SITE LANDSCAPE IMPROVEMENTS SHALL BE SEPARATED BY CONCRETE MOW CURBS (6"x8") OR OTHER SUITABLE BARRIER ALONG PROEPRTY LINES/ RIGHTS-OF-WAY.
- ALL GROUND-MOUNTED ELECTRICAL/ MECHANICAL EQUIPMENT SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING.

HYDROSEED LEGEND

SYMBOL	PLANT NAME	WUCOLS
	NON-IRRIGATED DETENTION BASIN BOTTOM: SPECIES COMMON NAME BULK #/s/ACRE MIN % PLS*	
	Agrostis exarata Spike bentgrass 2.00 76	
	Anemopsis californica Yerba mansa 1.00 44	
	Deschampsia danthonioides Annual hairgrass 2.00 72	
	Elymus triticoides 'Rio' Rio creeping wild rye 5.00 72	
	Eschscholzia californica California poppy 1.00 63	
	Hordeum brachyantherum Meadow barley 6.00 72	
	Hordeum intercedens Little barley 4.00 72	
	Lasthenia glabrata Goldfields 0.50 89	
	Melica imperfecta Coast melic 2.00 60	
	Muhlenbergia rigens Deergrass 0.50 32	
	Plantago insularis Plantain 20.00 74	
	Sisyrinchium bellum Blue eyed grass 1.00 78	
	Stipa pulchra Purple needle grass 4.00 73	
		49.00

NOTE: IMPROVEMENTS FOR SIGNAGE, PERIMETER WALLS, FENCING, PILASER, ETC. SHALL BE MAINTAINED BY THE ASSOCIATION OR PRIVATE OWNER(S).

ALL PARKING LOT AREAS AND EXPANSIVE CONTINUOUS BUILDING FACADES VISIBLE FROM ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY (OFF SITE) SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING. SCREENING SHALL INCLUDE TREES, DENSE EVERGREEN SHRUBS, WALLS, EARTH BERMS OR A COMBINATION THEREOF.

VINES - VINES SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	SHRUB NAME	WUCOLS
	CLYTOSTOMA CALLISTEGIOIDES, VIOLET TRUMPET VINE 5 GAL. SIZE.	L
	LONICERA JAPONICA, JAPANESE HONEYSUCKLE 5 GAL. SIZE	L

RIGHT OF WAY PLANTING PALETTE (SEE TREE LEGEND FOR STREET TREES)

SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	WESTINGRIA 'MUNDI', SPREADING WESTINGRIA 5 GAL. SIZE @ 36" O.C.	L
	BACCHARIS P. 'PIGEON POINT', DWARF COYOTE BRUSH 1 GAL. SIZE @ 36" O.C.	L
	LONICERA JAPONICA, JAPANESE HONEYSUCKLE 1 GAL. SIZE @ 30" O.C.	M
	MUHLBERGIA DUBIA, PINE MUHLY 1 GAL. SIZE @ 30" O.C.	M

CONCEPTUAL LANDSCAPE PLAN ETHANAC & SHERMAN MENIFEE, CA

APN 331-110-027, 331-110-035, 331-110-041,
331-140-010, 331-140-018, 331-140-021, 331-140-025

PLANTING LEGEND

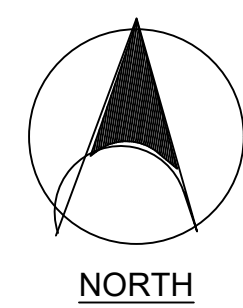
TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	PROPOSED STREET TREE ALONG SHERMAN RD., TRUMBLE RD. & DAWSON RD. -PLATANUS A. 'COLUMBIA', PLANE TREE -QUERCUS VIRGINIANA, SOUTHERN LIVE OAK -PISTACHIA CHINESES 'KEATH DAVEY', CHINESE PISTCH 24" BOX SIZE	47/ 45/ 47	M
	SPECIMEN SIZE TREE -KOELREUTERIA BIPINNATA, CHINESE FLAME TREE -QUERCUS AGRIFOLIA, COAST LIVE OAK 36" BOX SIZE	59	L
	FLOWERING ACCENT TREE -CERCIS OCCIDENTALIS, WESTERN REDBUD -CERIDUUM F. 'DESERT MUSEUM', PALO VERDE -CHITALPA TASKENTENSIS, CHITALPA TREE 36" BOX SIZE	31/ 104	L
	PROPERTY LINE SCREEN TREE -QUERCUS AGRIFOLIA, COAST LIVE OAK -QUERCUS ILEX, HOLLY OAK 24" BOX SIZE SIZE	159	L
	NARROW UPRIGHT GROWING TREES -BRACHYCHITON POPULNEUS, BOTTLE TREE -GEUERIA PARVIFLORA -MELALEUCA CAJUPUT, PAPER BARK TREE -TRISTANIA CONFERTA, BRISBANE BOX - FERN PINE 24" BOX SIZE	153/ 61	L
	PROPOSED PARKING LOT SHADE TREE -QUERCUS ILEX, HOLLY OAK -ULMUS P. 'TRUE GREEN' -RHUS LANCEA, AFRICAN SUMAC 24" BOX SIZE	158	L M L
	EVERGREEN SCREEN TREES ALONG STREET FRONTAGE AND ADJACENT TO TRUCK YARD -PINUS ELДАРICA, AFGHAN PINE -QUERCUS AGRIFOLIA, COAST LIVE OAK 24" BOX SIZE	126	L

SHRUBS - SHRUBS SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	SHRUB NAME	WUCOLS
	CALLISTEMON 'LITTLE JOHN', DWARF BOTTLE BRUSH 5 GAL. SIZE.	L
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	LIGUSTRUM 'TEXANUM', JAPANESE PRIVET 5 GAL. SIZE	M
	OLEA 'LITTLE OLLIE', LITTLE OLLIE DWARF OLIVE 5 GAL. SIZE @ 36" O.C.	L
	WESTRINGIA F. 'WYNYABBIE GEM', COAST ROSEMARY 5 GAL. SIZE.	L
	DODONAEA V. 'PURPUREA', PURPLE HOPSEED BUSH 5 GAL. SIZE	M

GROUND COVER AND SHRUB MASSES

SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ALOE STRIATA, CORAL ALOE 5 GAL. SIZE @ 24" O.C.	L
	BACCHARIS P. 'TWIN PEAKS', DWARF COYOTE BRUSH 1 GAL. SIZE @ 42" O.C.	L
	DIETES BICOLOR, FORTNIGHT LILY 1 GAL. SIZE @ 24" O.C.	M
	ENCELIA DESERTII, BRITTLE BRUSH 5 GAL. SIZE @ 42" O.C.	L
	HESPERALOE P. 'YELLOW', YELLOW YUCCA 5 GAL. SIZE @ 30" O.C.	L
	VERBENA L. 'DE LA MINA', ISLAND VERBENA 1 GAL. SIZE @ 30" O.C.	L
	LEYMUS 'CANYON PRINCE' C.P. RYE GRASS 1 GAL. SIZE @ 36" O.C.	L
	MUHLBERGIA DUBIA, PINE MUHLY 1 GAL. SIZE @ 30" O.C.	L
	ROUMNEYA COULTERI, CALIFORNIA TREE POPPY 5 GAL. @ 48" O.C.	L
	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	SALVIA C. 'ALLEN CHICKERING', ALLEN CHICKERING SAGE 5 GAL. SIZE @42" O.C.	L
	SALVIA DORII, DESERT PURPLE SAGE 5 GAL. SIZE @ 48" O.C.	L
	STORM WATER DETENTION BASINS TO RECEIVE HYDROSEED APPLICATION	M
	MODULAR WETLAND UNIT LEYMUS 'CANYON PRINCE' 5 GAL. SIZE @ 36" O.C.	L
	EROSION CONTROL GROUND COVER AT BASIN SLOPES BACCHARIS 'TWIN PEAKS', COYOTE BUSH 1 GAL. @ 36" O.C.	



0 100' 200' 300'
SCALE: 1" = 100'-0"



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DATE: 04-07-2022

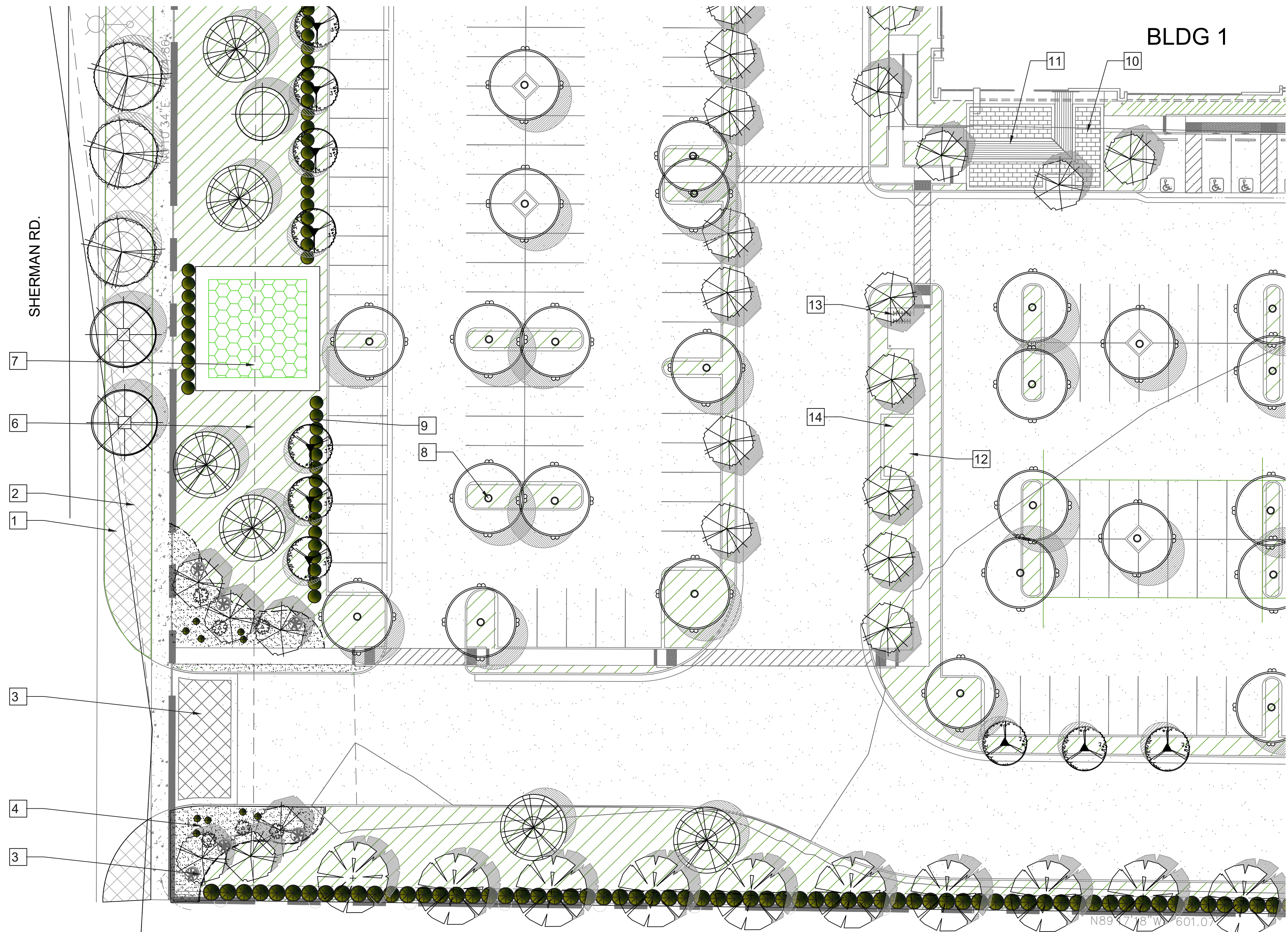
L-1

ENLARGEMENT KEY NOTES

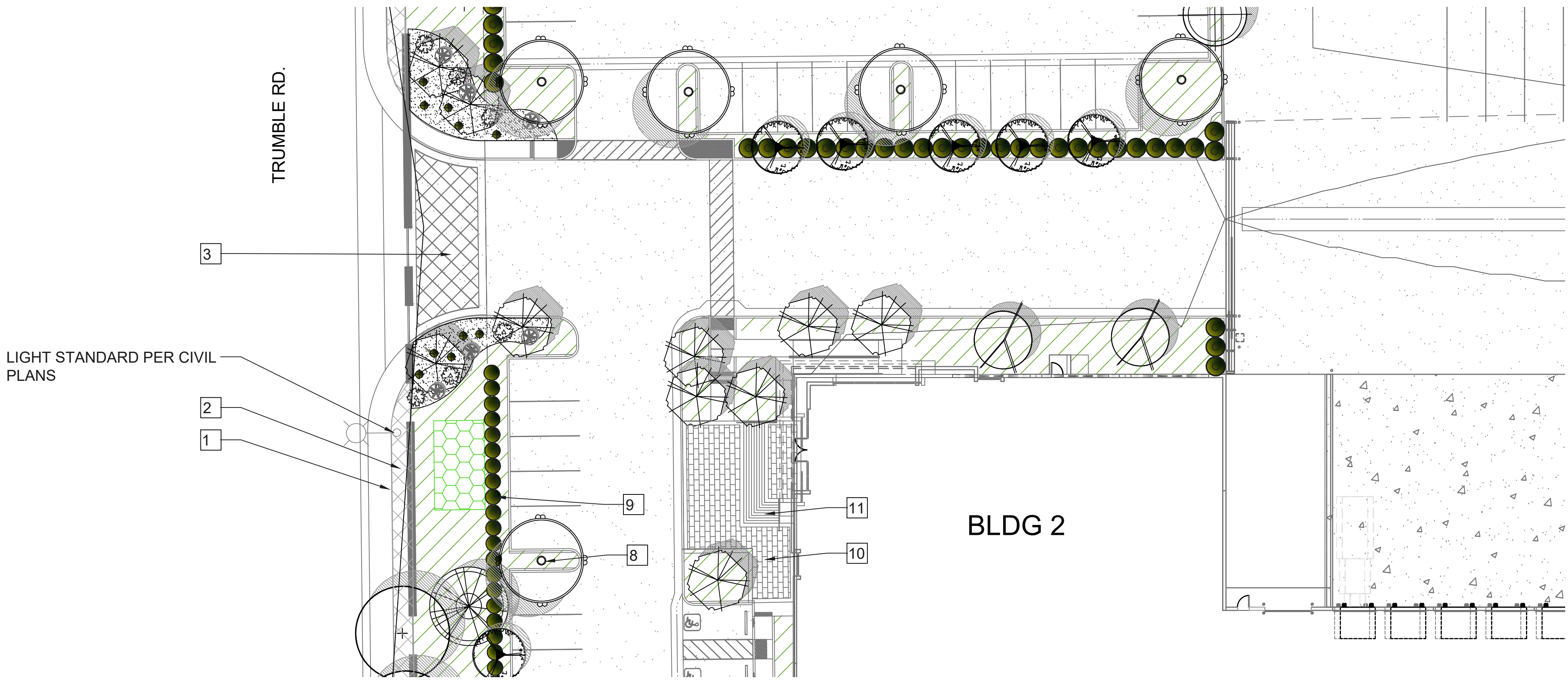
1. STREET TREE PER PLAN. STREET TREES SHALL CONSIST OF (3) DIFFERENT VARIETIES, SEE PLANTING LEGEND ON L-1.
2. PUBLIC SIDEWALK PER CIVIL PLANS
3. DECORATIVE CONCRETE PAVING AT VEHICULAR ENTRY DRIVES. INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH.
4. DECORATIVE CRUSHED ROC OR STABILIZED DG ACCENT AREAS AT PROJECT ENTRIES AND OTHER FOCAL AREAS. SUCCULENT AND ACCENT SHRUB PLANTING IN DG OR CRUSHED ROCK AREA.
5. STEEL EDGING CONTAINMENT HEADER
6. LAYERED SHRUB AND ORNAMENTAL GRASSES ALONG STREET FRONTAGE.
7. MODULAR WETLAND UNIT TO BE PLANTED WITH CONTAINER PLANTS.
8. PARKING LOT SHADE TREES. SEE L-2B FOR PARKING LOT SHADING REQUIREMENTS.
9. EVERGREEN SCREEN SHRUBS ADJACENT TO OFF-STREET PARKING AREAS.
10. DECORATIVE CONCRETE PAVING AT BUILDING ENTRY AREAS. INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH.
11. CONCRETE STAIRS.
12. OUTDOOR BREAK AREA. INTERLOCKING CONC. PAVERS
13. BIKE RACK. REFER TO ARCH. PLANS.
14. SITE FURNISHINGS. REFER TO SITE FURNISHING LIST.

SITE FURNITURE

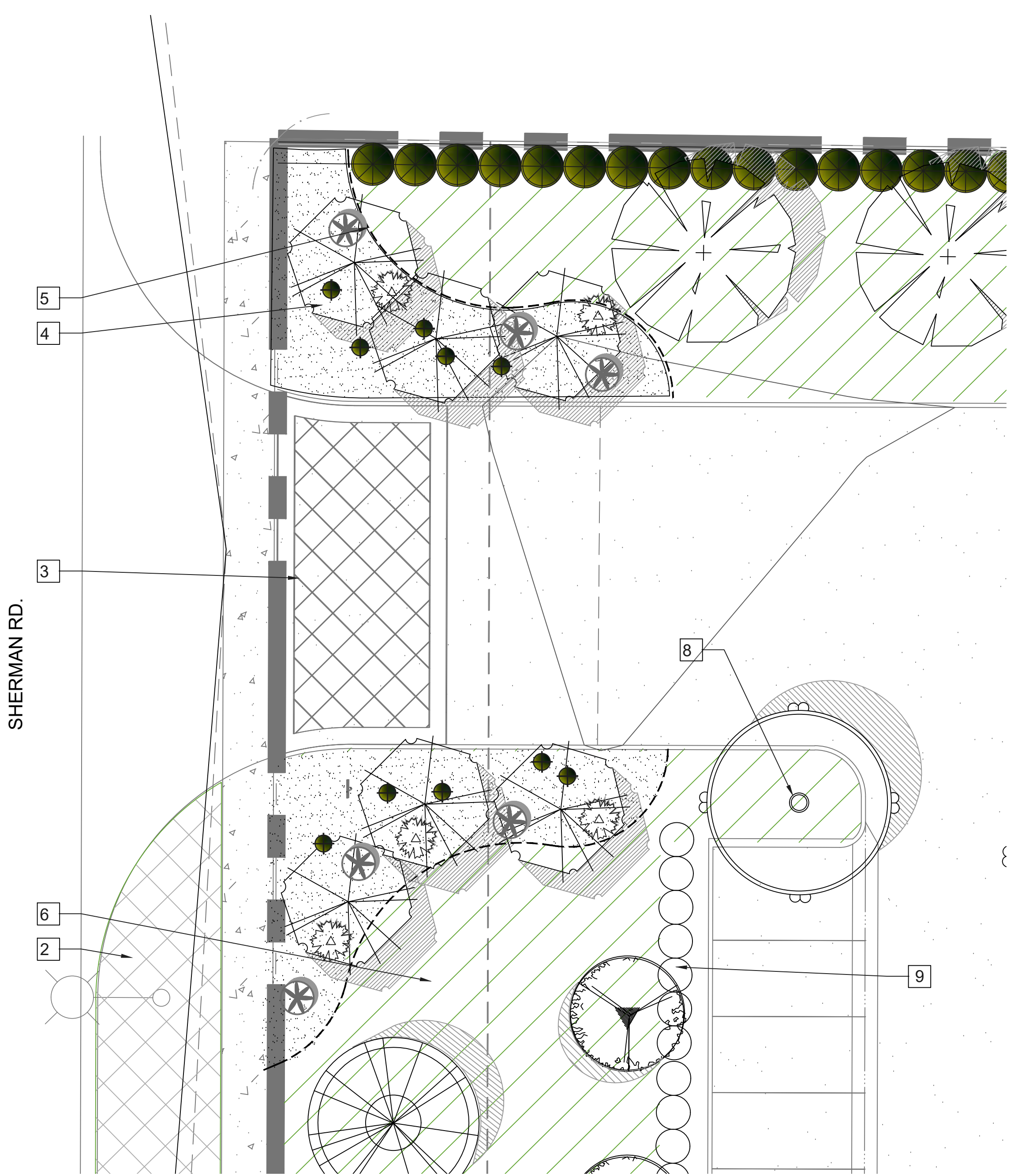
- TABLE BY QCP 'FOOD COURT ROUND STANDARD'.
NATURAL COLOR. LIGHT ETCH.
(2) AT BUILDING B. (2) AT BUILDING 'A'.
- TABLE BY QCP 'FOOD COURT ROUND ADA'.
NATURAL COLOR. LIGHT ETCH.
(1) AT BUILDING B. (1) AT BUILDING 'A'.
OR APPROVED EQUAL
- TRASH AND RECYCLABLE RECEPTALE.
(1) TRASH, (1) RECYCLABLE RECEPTACLE FOR BUILDING '1',
(1) TRASH, (1) RECYCLABLE RECEPTACLE FOR BUILDING '2',



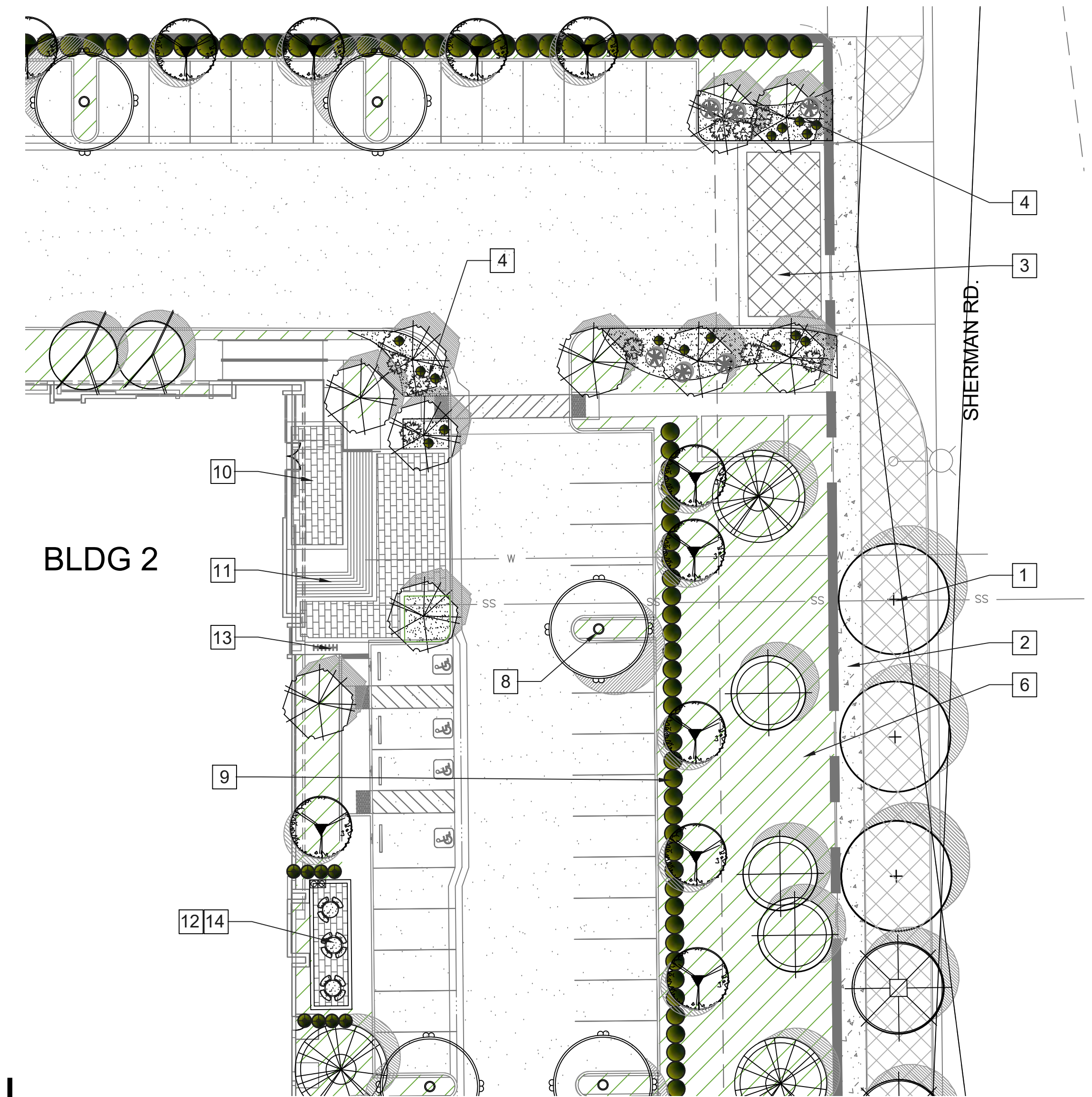
ENLARGEMENT 'A', BUILDING 1 SOUTH ENTRY
SCALE: 1" = 20'-0"



ENLARGEMENT 'B', BUILDING 2 WEST ENTRY
SCALE: 1" = 20'-0"



ENLARGEMENT 'C', BUILDING 1 NORTH ENTRY
SCALE: 1" = 10'-0"



ENLARGEMENT 'D', BUILDING 2 EAST ENTRY
SCALE: 1" = 20'-0"



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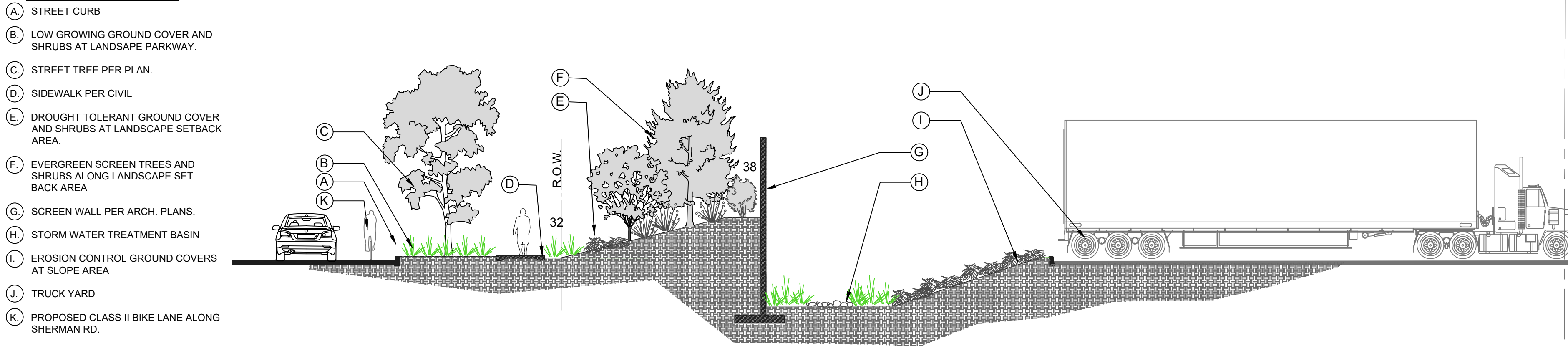


CONCEPTUAL LANDSCAPE PLAN
ETHANAC RD & SHERMAN RD

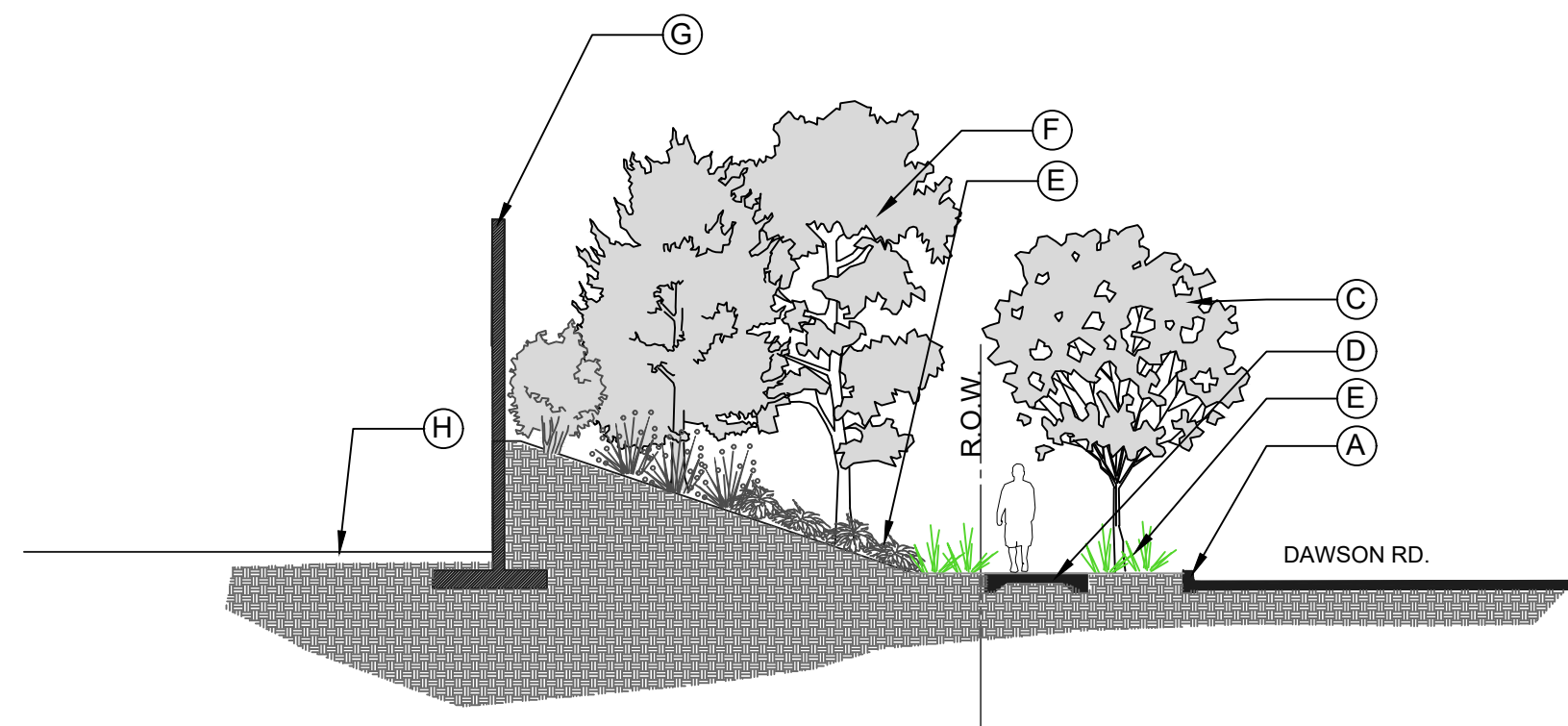
MENIFEE, CA

DATE: 04-07-2022

SECTION 'A-A' KEY NOTES:



SECTION 'A-A', SHERMAN RD. STREET FRONTAGE
SCALE: 1" = 10'

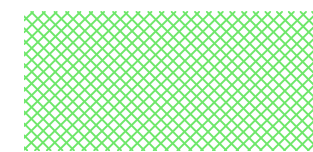


SECTION 'B-B', DAWSON RD. STREET FRONTAGE
SCALE: 1" = 10'

SECTION 'B-B' KEY NOTES:

- (A) STREET CURB
- (B) LOW GROWING GROUND COVER AND SHRUBS AT LANDSCAPE PARKWAY
- (C) STREET TREE PER PLAN
- (D) SIDEWALK PER CIVIL
- (E) DROUGHT TOLERANT GROUND COVER AND SHRUBS AT LANDSCAPE SETBACK AREA
- (F) EVERGREEN SCREEN TREES AND SHRUBS ALONG LANDSCAPE SET BACK AREA
- (G) SCREEN WALL PER ARCH. PLANS
- (H) STORM WATER TREATMENT BASIN
- (I) EROSION CONTROL GROUND COVERS AT SLOPE AREA
- (J) TRUCK YARD
- (K) PROPOSED CLASS II BIKE LANE ALONG SHERMAN RD.

LANDSCAPE MAINTENANCE PLAN



PUBLIC R.O.W. LANDSCAPE AREA TO BE MAINTAINED BY THE CITY OF MENIFEE CITY WIDE CFD = 43,118 S.F.

PARKING LOT SHADING CALCULATIONS:

TOTAL PARKING LOT AREA FOR BUILDING 1 & 2
= 156,074 SQ. FT.

TOTAL PROJECTED SHADE AREA WITHIN 15 YRS. FOR BUILDING 1 & 2
= 114,669 SQ. FT.

PER COUNTY OF RIVERSIDE ORDINANCE 848 SECTION 18.12 IN ACCORDANCE WITH MENIFEE MUNICIPAL CODE CHAPTER 9.195, LANDSCAPING STANDARDS.
50% OF PARKING STALL AREAS TO BE SHADED WITHIN 15 YEARS AFTER PLANTING
SHADED AREA PROVIDED
= 73%

IRRIGATION SYSTEM DESIGN STATEMENT

A PERMANENT AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO IRRIGATE ALL PLANTING THE IRRIGATION CONTROLLER(S) SHALL BE EQUIPPED FROM THE MANUFACTURER WITH WEATHER-SENSITIVE (ET) SENSING CAPABILITIES TO AUTOMATICALLY ADJUST WATERING SCHEDULES AND AMOUNTS. THE DESIGN OF THE IRRIGATION SYSTEM SHALL EMPHASIZE WATER CONSERVATION AND PROVIDE EFFICIENT AND UNIFORM DISTRIBUTION OF IRRIGATION WATER. IF THE SITE IS PLANNED TO UTILIZE RECYCLED WATER IN THE LANDSCAPE, THEN THE IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH STATE OF CALIFORNIA AND EASTERN MUNICIPAL WATER DISTRICT (EMWD) RULES AND REGULATIONS FOR RECYCLED WATER DRIP AND/OR BUBBLER IRRIGATION, OR OTHER LOW-VOLUME, LOW-PRESSURE MICRO-IRRIGATION SYSTEM AS APPROVED BY THE CITY OF MENIFEE AND EMWD. SHALL BE INSTALLED IN PLANTER AREAS TO PROVIDE WATER DIRECTLY TO THE ROOT ZONE OF PLANTS. THE IRRIGATION SYSTEM MAY UTILIZE EFFICIENT ROTATOR NOZZLES IN LARGE PLANTING AREAS. SUBJECT TO THE APPROVAL OF EMWD AND THE CITY. THE AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF MENIFEE ORDINANCE NO. 2009-61, "LANDSCAPE WATER USE EFFICIENCY REQUIREMENTS," AND LANDSCAPE STANDARDS. FOR SITES UTILIZING POTABLE WATER FOR LANDSCAPE IRRIGATION, A REDUCED PRESSURE BACKFLOW PREVENTER SHALL BE INSTALLED AFTER THE WATER METER TO PROTECT THE POTABLE WATER SUPPLY IN ACCORDANCE WITH STATE OF CALIFORNIA, CITY OF MENIFEE, AND EMWD STANDARDS AND REQUIREMENTS.

LANDSCAPE MAINTENANCE AND SEPARATION NOTE:

LANDSCAPE MAINTENANCE AND SEPARATION NOTE—LCP: THE LANDSCAPE CONCEPT PLAN INDICATES LANDSCAPE IMPROVEMENTS FOR BOTH ON SITE AND OFF SITE (PUBLIC RIGHTS-OF-WAY, PARKS, ETC.) AREAS. THE PROPERTY OWNER SHALL MAINTAIN OFF SITE AREAS UNTIL SUCH TIME AS THE OFF SITE LANDSCAPE AREAS ARE ANNEXED INTO A SPECIAL DISTRICT (CFD OR L&LMD) AND ACCEPTED BY THE CITY FOR MAINTENANCE PURPOSES. THE PROPERTY OWNER ACKNOWLEDGES THAT SEPARATE WATER AND ELECTRIC METERS FOR IRRIGATION USE ARE REQUIRED TO BE INSTALLED BY THE OWNER PRIOR TO THE CITY'S ACCEPTANCE OF THE OFF SITE AREAS FOR MAINTENANCE BY THE SPECIAL DISTRICT. IN ADDITION, PROPERTY OWNER ACKNOWLEDGES THAT COSTS FOR ANNEXATION INTO THE SPECIAL DISTRICT, AND INSTALLATION OF THE IRRIGATION WATER AND ELECTRIC METERS, SHALL BE BORNE BY THE PROPERTY OWNER. LANDSCAPE IMPROVEMENTS IN OFF SITE AREAS/PUBLIC RIGHTS-OF-WAY SHALL BE SEPARATED FROM PRIVATELY-MAINTAINED ON SITE LANDSCAPE AREAS WITH A CITY-STANDARD, CONTINUOUS CONCRETE MOW CURB (6" X 8") ALONG THE PROPERTY LINE (ON SITE).

BLDG 1

LANDSCAPE CALCULATIONS:

TOTAL PROJECT SITE AREA :	3,139,857 S.F.
TOTAL LANDSCAPE AREA / ON SITE:	337,034 S.F.
LANDSCAPED AREA PERCENTAGE:	12%
TOTAL OFF SITE CFD AREA (R/W):	70,853 S.F.
TOTAL OFF SITE LANDSCAPE AREA (EXC. SIDEWALKS):	43,118 S.F.
PARKING LOT LANDSCAPE AREA PERCENTAGE:	15%
TOTAL BUILDING FACADES IN PUBLIC VIEW FROM R/W:	1,277 L.F.
TOTAL TREES REQ'D TO SCREEN BUILDING FACADES (1 TREE/ 30 LF):	42 EA
TOTAL TREES PROVIDED TO SCREEN BUILDING FACADES:	51 EA
TOTAL SITE PERIMETER LENGTH (NORTH & SOUTH SIDES):	3692 L.F.
TOTAL PERIMETER TREES REQUIRED (1 TREE/ 30 L.F.):	123 EA
TOTAL PERIMETER TREES PROVIDED:	159 EA
TOTAL PARKING SPACES PROVIDED:	911 EA
TOTAL PARKING LOT TREES REQUIRED (1 TREE/ 4 SP.):	228 EA
TOTAL PARKING LOT TREES PROVIDED:	273 EA
TOTAL PARKING LOT TREES REQUIRED (1 TREE/ 30 L.F.):	141 EA
TOTAL STREET TREES PROVIDED:	141 EA

REFER TO ENLG. '04', SHEET L-2C

REFER TO ENLG. '01', SHEET L-2C

REFER TO ENLG. '02', SHEET L-2C

REFER TO ENLG. '03', SHEET L-2C

BLDG 2



SPLA
SCOTT PETERSON LANDSCAPE ARCHITECT, INC.
2883 VIA RANCHEROS WAY
FALLBROOK, CA 92028
PH: 760-842-8993

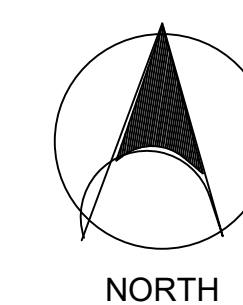


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(949) 863-1770
www.hparchs.com



PARKING LOT SHADING PLAN & MAINTENANCE PLAN
ETHANAC RD & SHERMAN RD

MENIFEE, CA



0 80' 160' 240'
SCALE: 1" = 80'-0"

DATE: 04-07-2022

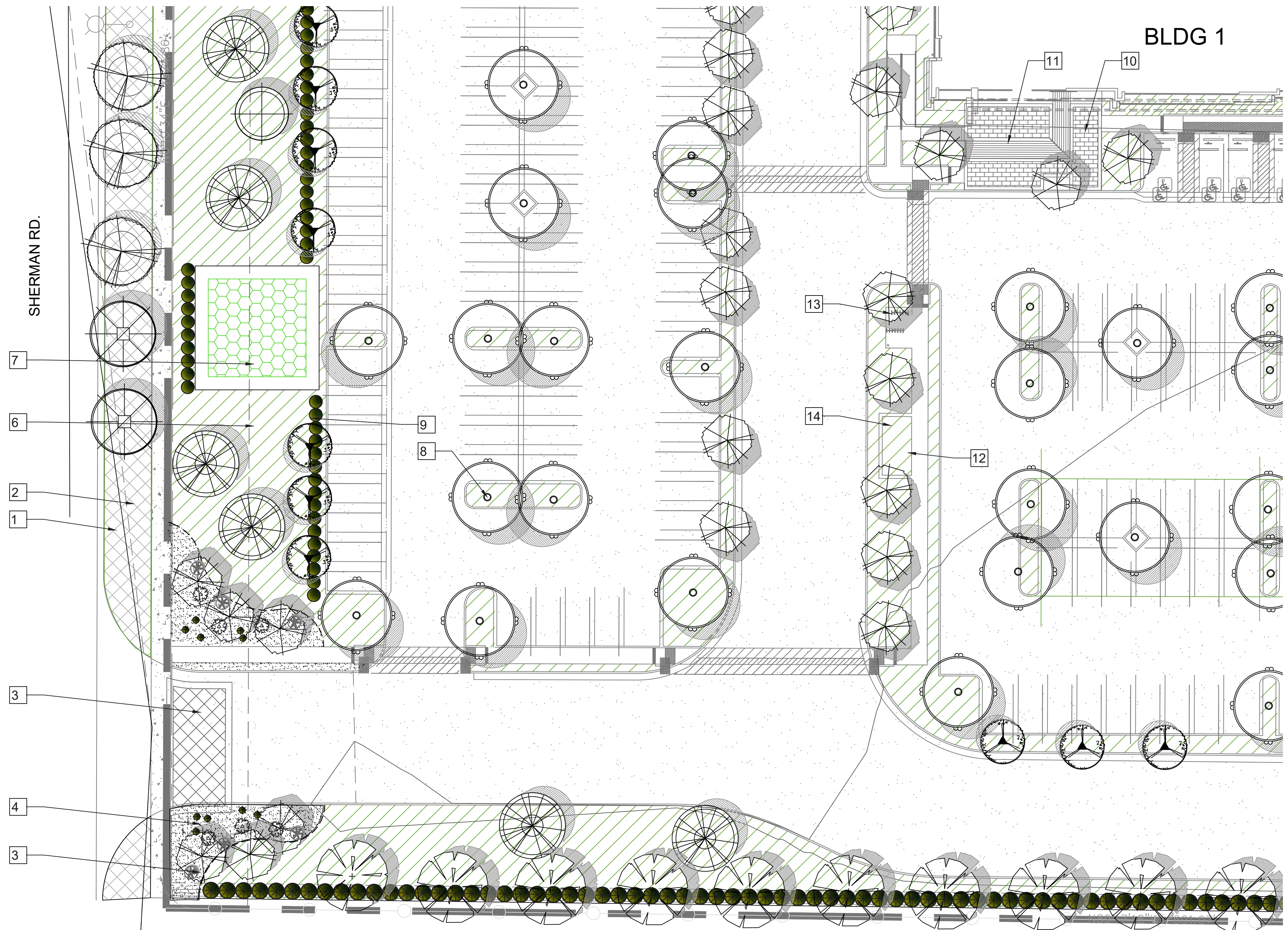
L-1B

ENLARGEMENT KEY NOTES

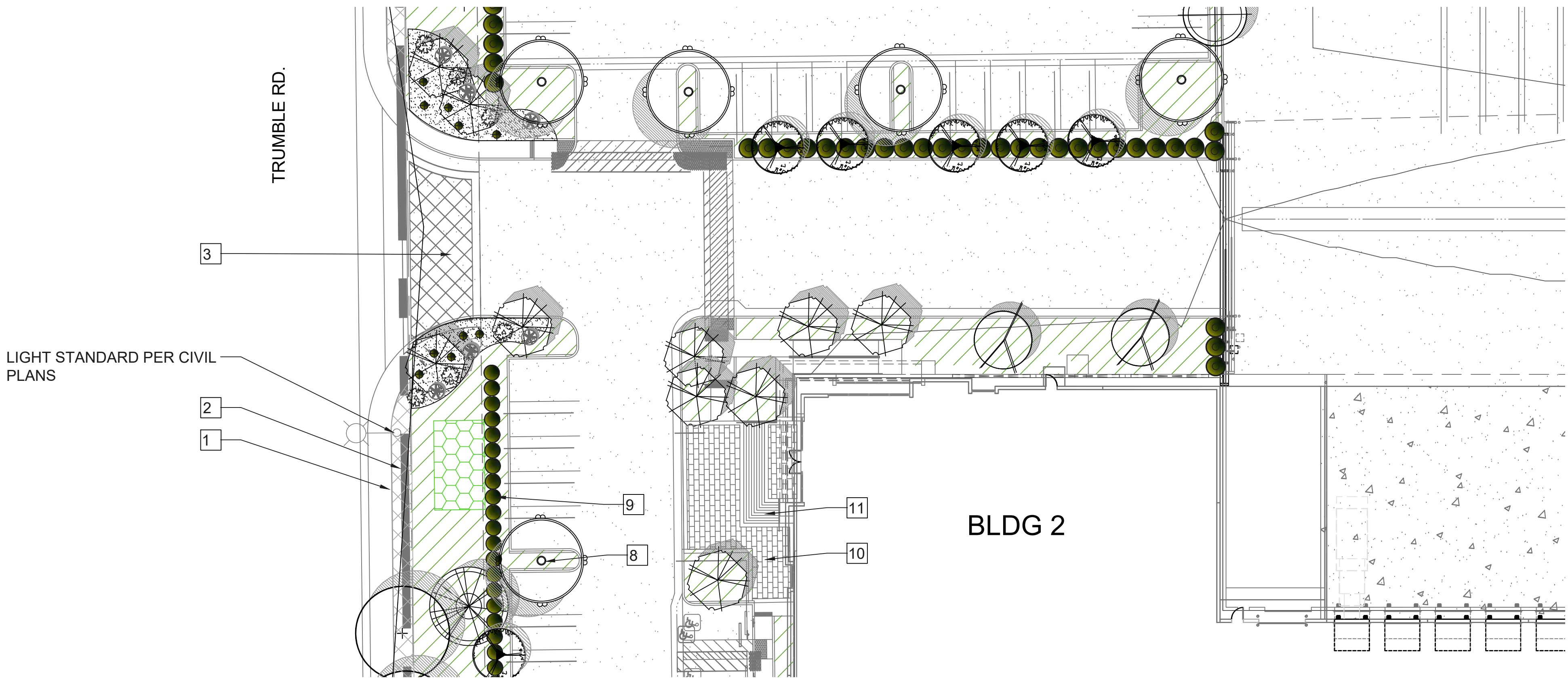
- STREET TREE PER PLAN. STREET TREES SHALL CONSIST OF (3) DIFFERENT VARIETIES, SEE PLANTING LEGEND ON L-1.
- PUBLIC SIDEWALK PER CIVIL PLANS
- DECORATIVE CONCRETE PAVING AT VEHICULAR ENTRY DRIVES. INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH.
- DECORATIVE CRUSHED ROC OR STABILIZED DG ACCENT AREAS AT PROJECT ENTRIES AND OTHER FOCAL AREAS. SUCCULENT AND ACCENT SHRUB PLANTING IN DG OR CRUSHED ROCK AREA.
- STEEL EDGING CONTAINMENT HEADER
- LAYERED SHRUB AND ORNAMENTAL GRASSES ALONG STREET FRONTAGE.
- MODULAR WETLAND UNIT TO BE PLANTED WITH CONTAINER PLANTS.
- PARKING LOT SHADE TREES. SEE L-2B FOR PARKING LOT SHADING REQUIREMENTS.
- EVERGREEN SCREEN SHRUBS ADJACENT TO OFF-STREET PARKING AREAS.
- DECORATIVE CONCRETE PAVING AT BUILDING ENTRY AREAS. INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH.
- CONCRETE STAIRS.
- OUTDOOR BREAK AREA. INTERLOCKING CONC. PAVERS
- BIKE RACK. REFER TO ARCH. PLANS.
- SITE FURNISHINGS. REFER TO SITE FURNISHING LIST.

SITE FURNITURE

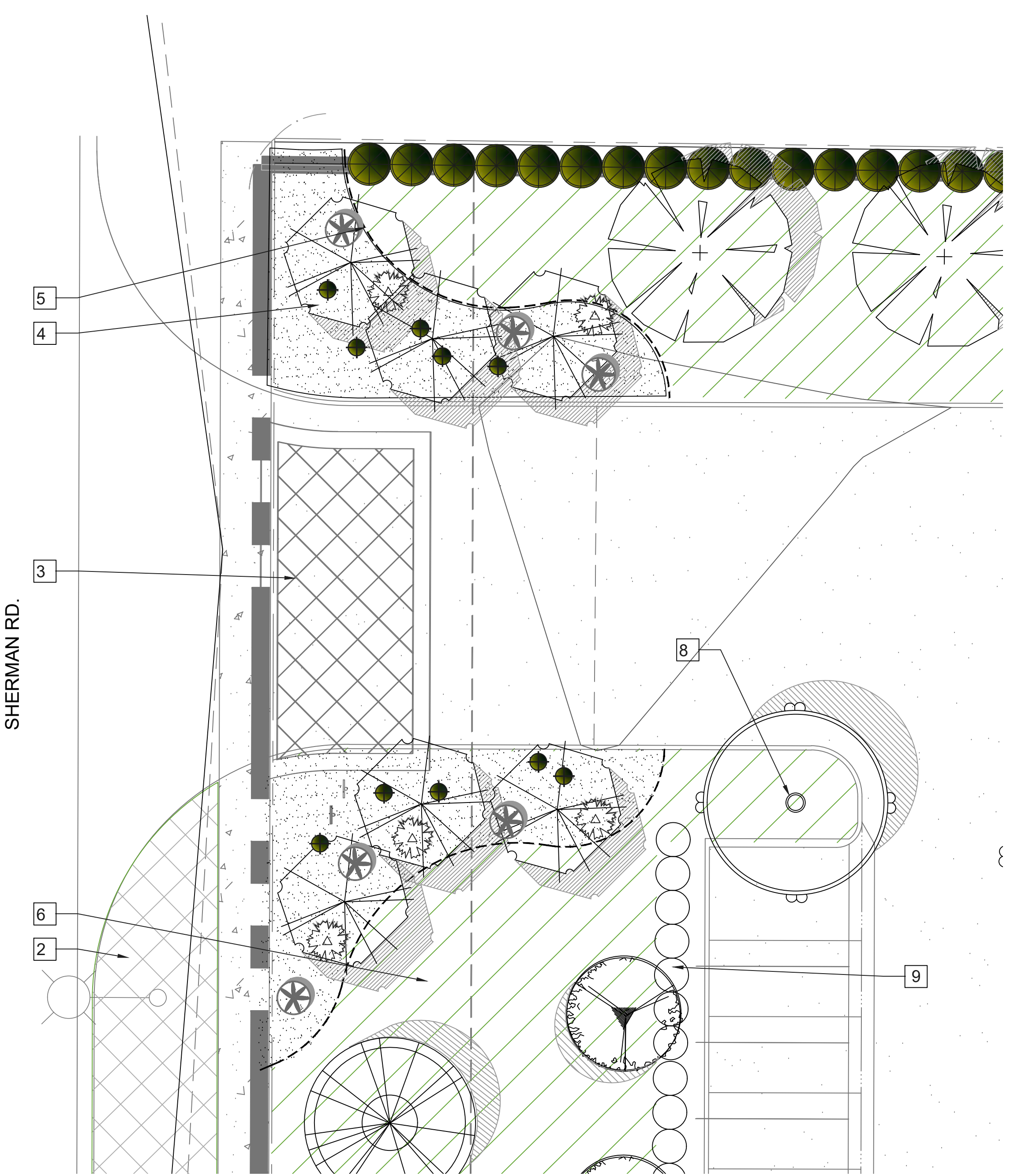
- TABLE BY QCP 'FOOD COURT ROUND STANDARD'. NATURAL COLOR. LIGHT ETCH.
(2) AT BUILDING B. (2) AT BUILDING 'A'.
- TABLE BY QCP 'FOOD COURT ROUND ADA'. NATURAL COLOR. LIGHT ETCH.
(1) AT BUILDING B. (1) AT BUILDING 'A'. OR APPROVED EQUAL
- TRASH AND RECYCLABLE RECEPTALE.
(1) TRASH, (1) RECYCLABLE RECEPTACLE FOR BUILDING '1',
(1) TRASH, (1) RECYCLABLE RECEPTACLE FOR BUILDING '2',



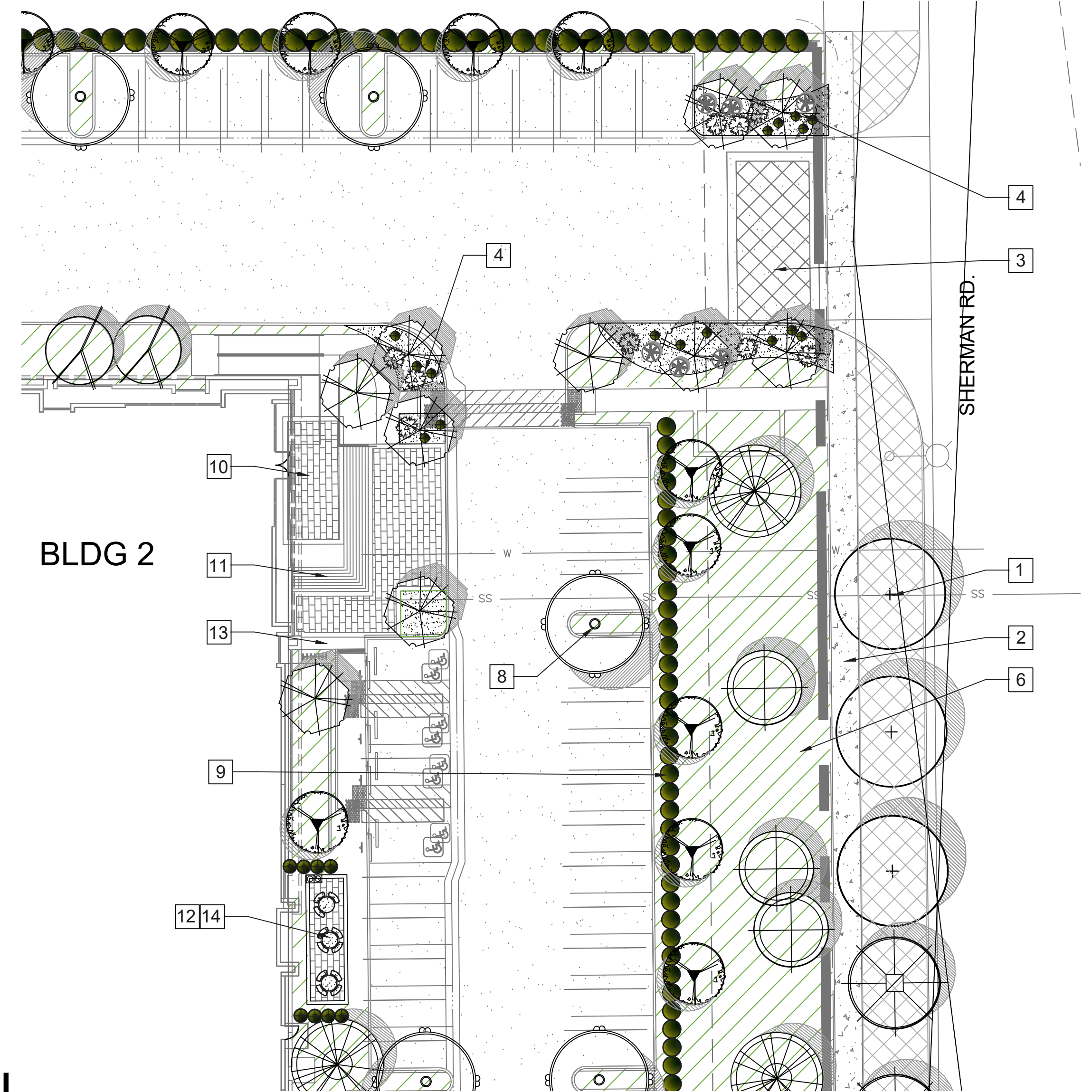
ENLARGEMENT 'A', BUILDING 1 SOUTH ENTRY
SCALE: 1" = 20'-0"



ENLARGEMENT 'B', BUILDING 2 WEST ENTRY
SCALE: 1" = 20'-0"



ENLARGEMENT 'C', BUILDING 1 NORTH ENTRY
SCALE: 1" = 10'-0"



ENLARGEMENT 'D', BUILDING 2 EAST ENTRY
SCALE: 1" = 20'-0"



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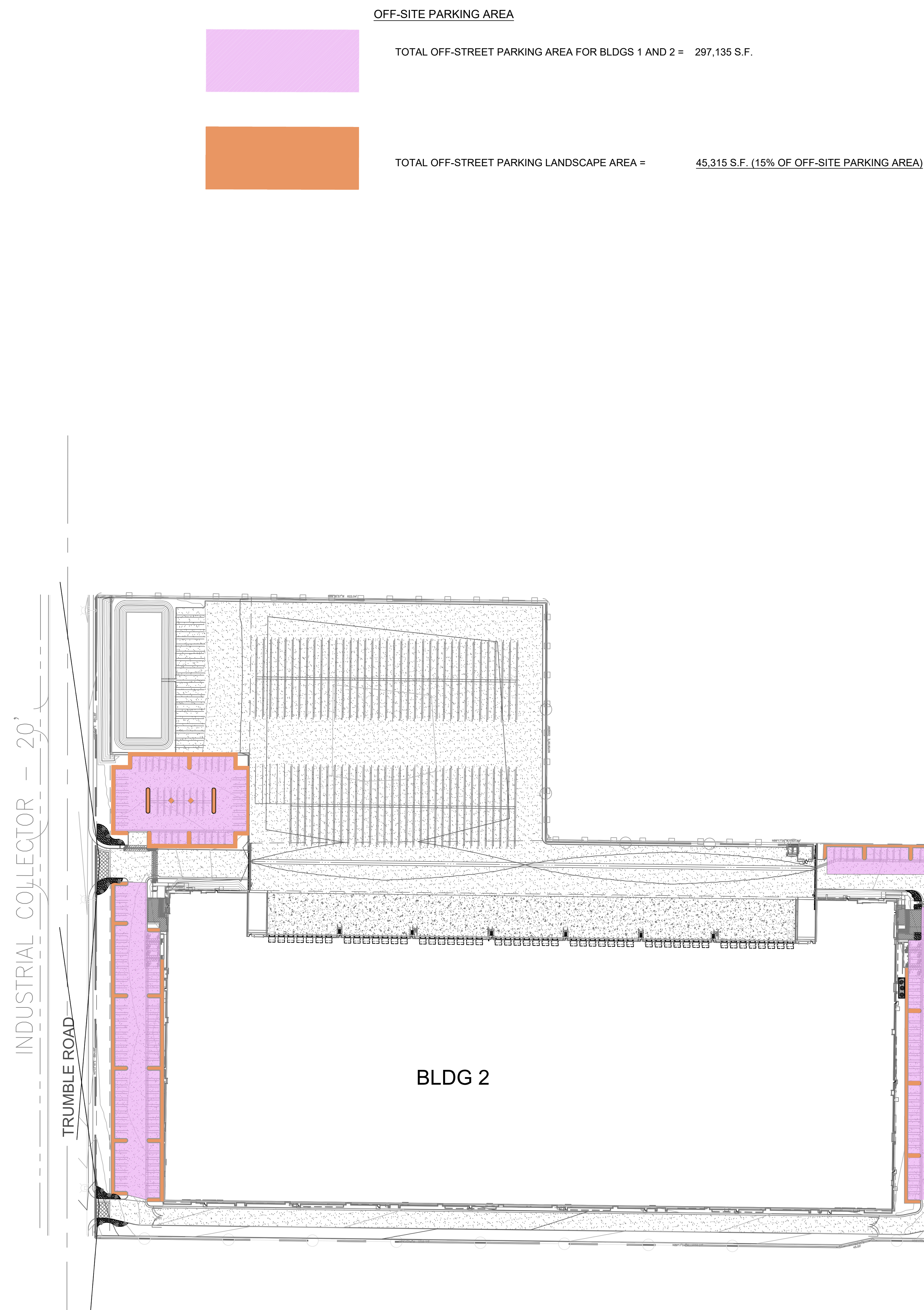
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Irvine, CA 92612
(949) 863-1770
www.hparchs.com



CONCEPTUAL LANDSCAPE PLAN ETHANAC RD & SHERMAN RD

MENIFEE, CA

DATE: 04-07-2022

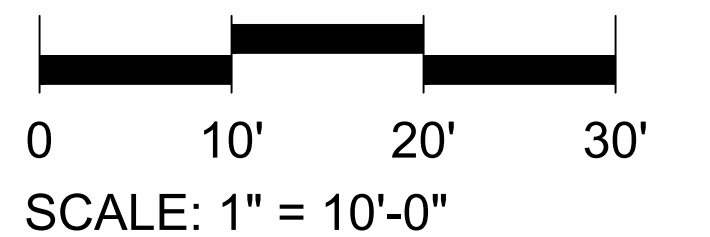


PRELIMINARY WATER USE CALCULATIONS							
Reference Evapotranspiration (ETo)					57.3		
Hydrozone Plant type	Plant Factor	Irrigation Method	Irrigation Efficiency	ETAF (PF/E)	Landscape Area sq.ft.	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
Low	0.2	Drip	0.81	0.25	350,189	86,466.42	3,071,806
Moderate	0.35	Rotor	0.73	0.48	29,966	14,367.26	510,411
				Totals	380,155	100,833.68	3,582,217
Special Landscape Areas							
				Totals	0		
						ETWU Total	3,582,217
MAWA (Annual Gallons Allowed) = ETo x 0.62 x ETAF x Area						MAWA	6,077,424
ETWU must be less than MAWA						Difference	2,495,207
Regular Landscape Areas							
Total ETAF x Area					100,833.68		
Total Area					380,155		
Average ETAF					0.27		
All Landscape Areas							
Total ETAF x Area					100,833.68		
Total Area					380,155		
Site Average ETAF					0.27		

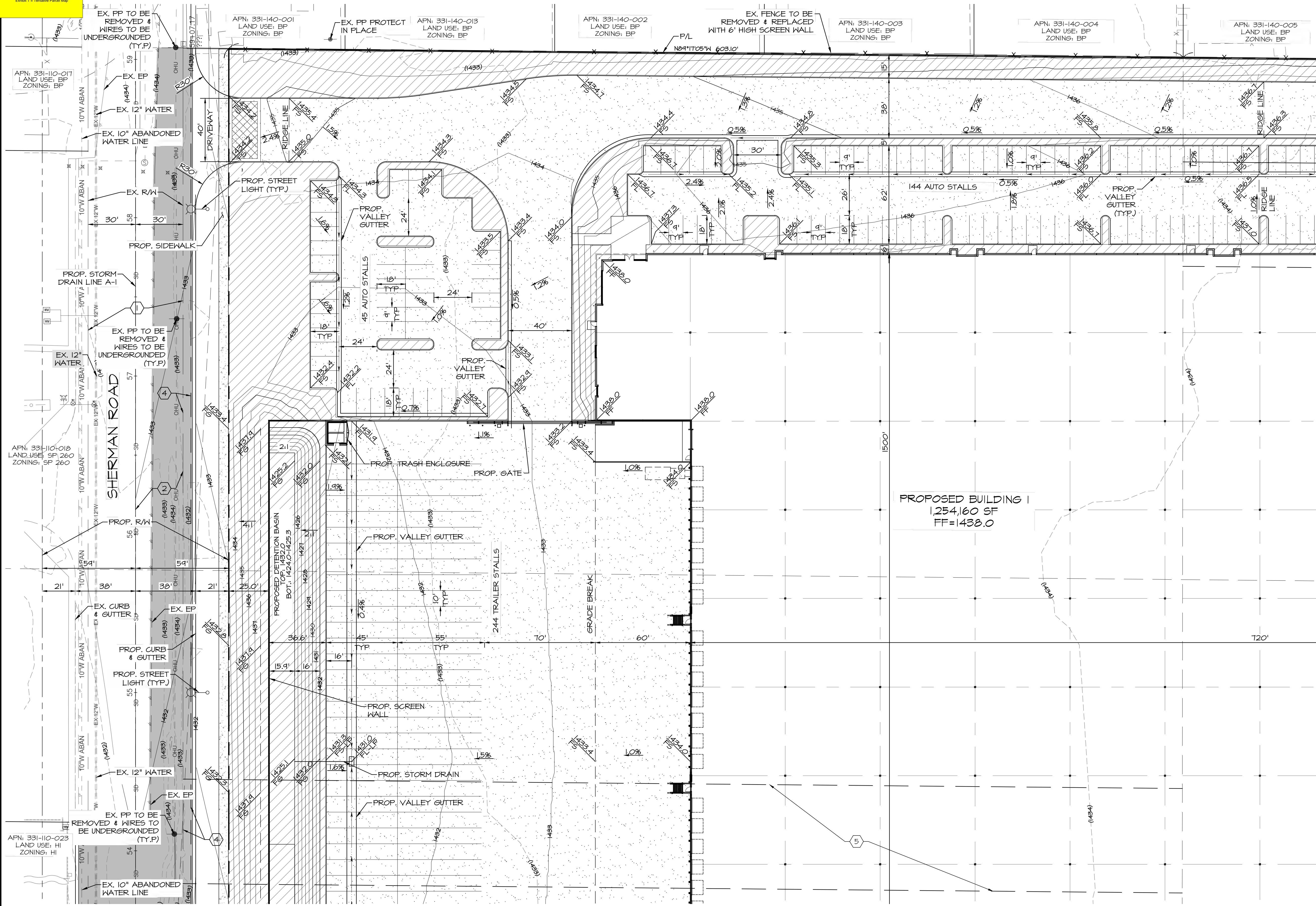
BLDG 1



MENIFEE, CA

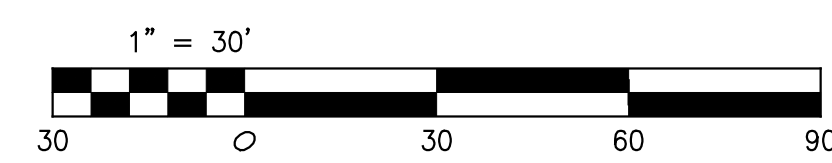
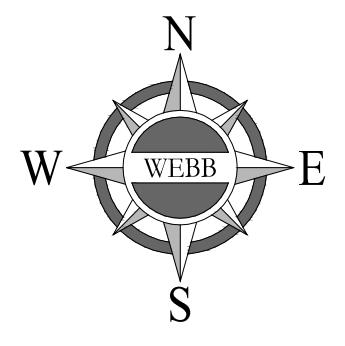


DATE: 04-07-2022



- LEGEND**
- PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPE AREA
 - PROPOSED DECORATIVE PAVEMENT
 - ADA PATH OF TRAVEL
 - SCREEN WALL
 - TUBE STEEL FENCE
 - GRADEBREAK/RIDGELINE
 - FLOWLINE
 - STORM DRAIN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
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 - EXISTING GAS LINE
 - EXISTING ELECTRICAL LINE
 - FINISHED FLOOR
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 - GRADE BREAK
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 - INVERT
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 - LOW POINT
 - MAXIMUM
 - PROPERTY LINE
 - RIGHT OF WAY
 - TYPICAL
 - DRIVEWAY
 - RIDGELINE

S E E S H E E T 6

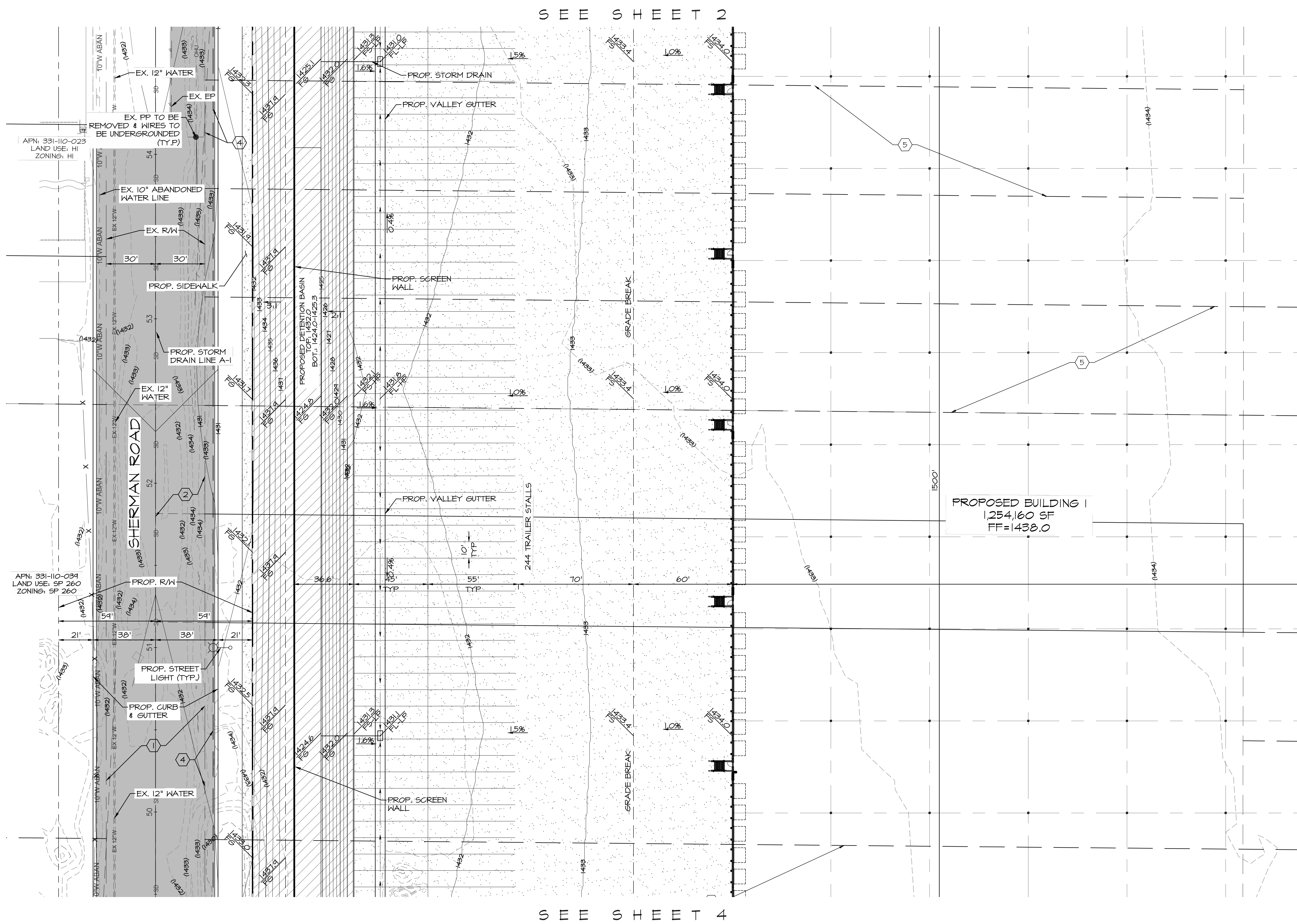


SEE SHEET 3

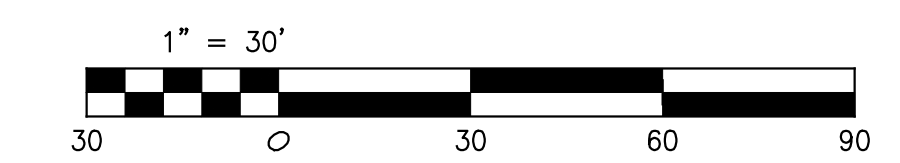
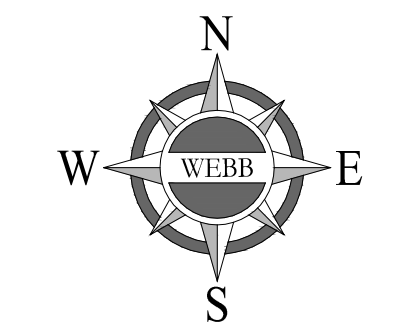
REVISIONS		DATE	BY

CITY OF MENIFEE	
CORE 5 - MENIFEE COMMERCE CENTER	
PLOT PLAN NO. PP2019-005	
SCALE: 1" = 30'	DATE: 4/1/22
DESIGNED: CV	CHECKED: F.B.
PLN CK REF:	F.B.
ALBERT A. WEBB ASSOCIATES	
ENGINEERING CONSULTANTS 3788 MCCRAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	
NO. 21-0026	SHEET 2
OF 14	SHEETS
DWG. NO.	

PRELIMINARY



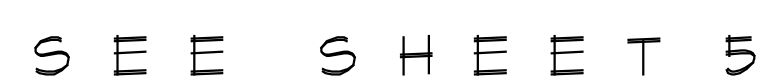
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REVISIONS		DATE	BY

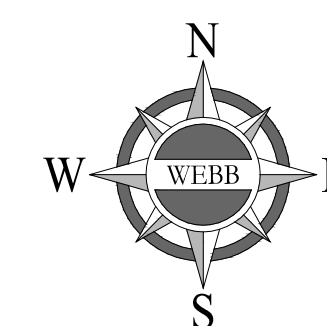
CITY OF MENIFEE	
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W.O. 21-0026	SHEET 3
OF 14 SHEETS	DWG. NO.

PRELIMINARY



LEGEND

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| | PROPOSED CONCRETE PAVEMENT |
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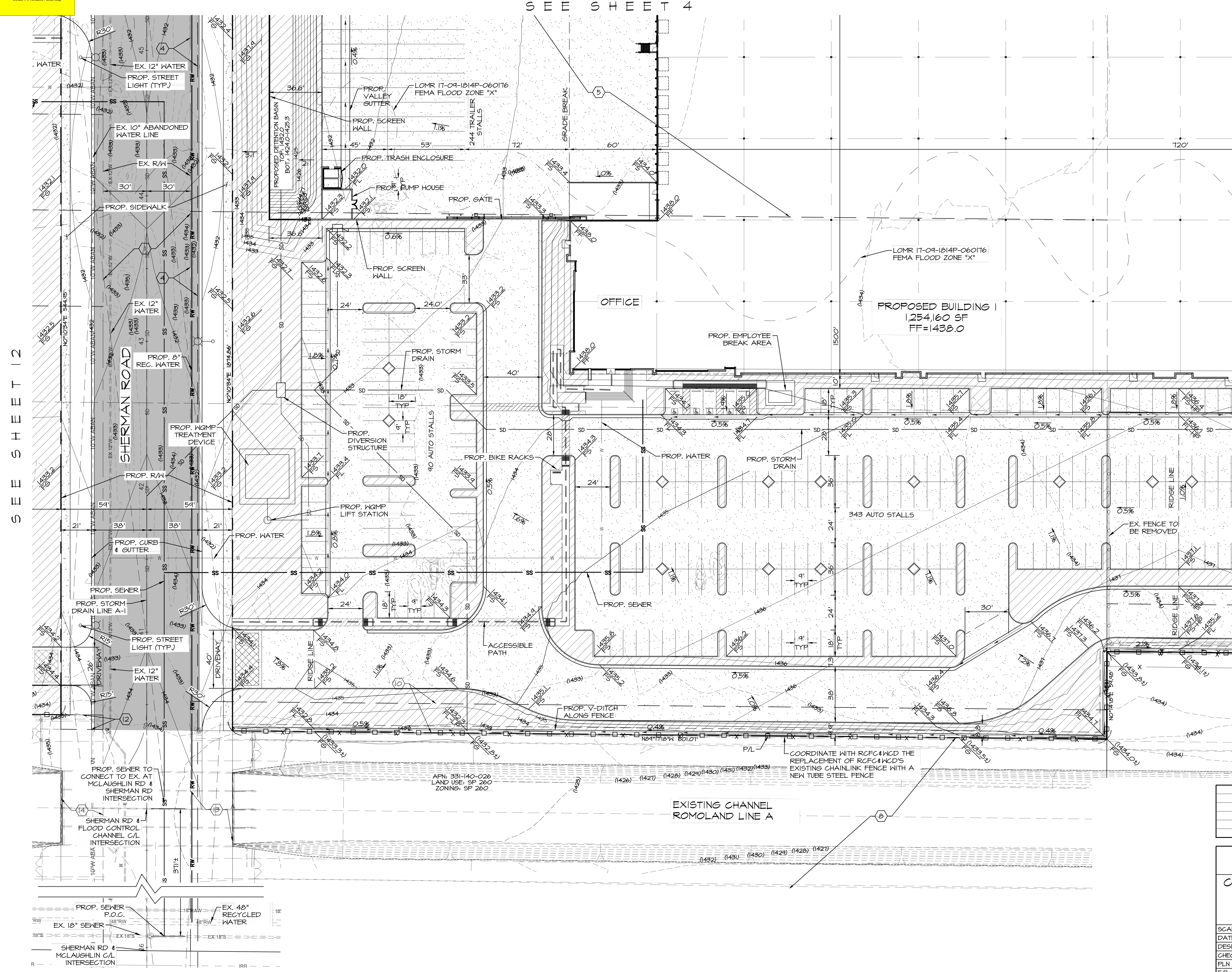
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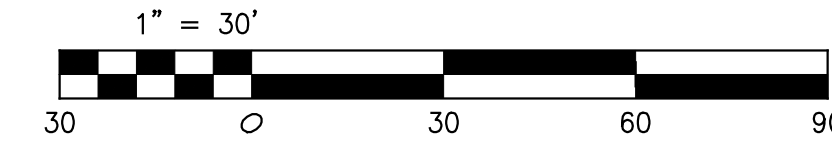
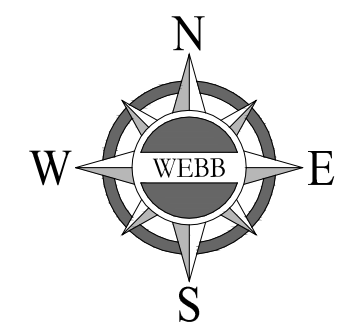
CITY OF MENIFEE	
CORE 5 - MENIFEE COMMERCE CENTER	
PLOT PLAN NO. PP2019-005	

SCALE: 1" = 30'	ALBERT A.	ENGINEERING CONSULTANTS	W.O. 21-0026
DATE: 4/1/22		3788 McCRA Y STREET	SHEET
DESIGNED: CV		RIVERSIDE CA. 92506	4
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FLN CK REF:		FAX (951) 788-1256	OF 14 SHEET
FR			DWG. NO.



LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
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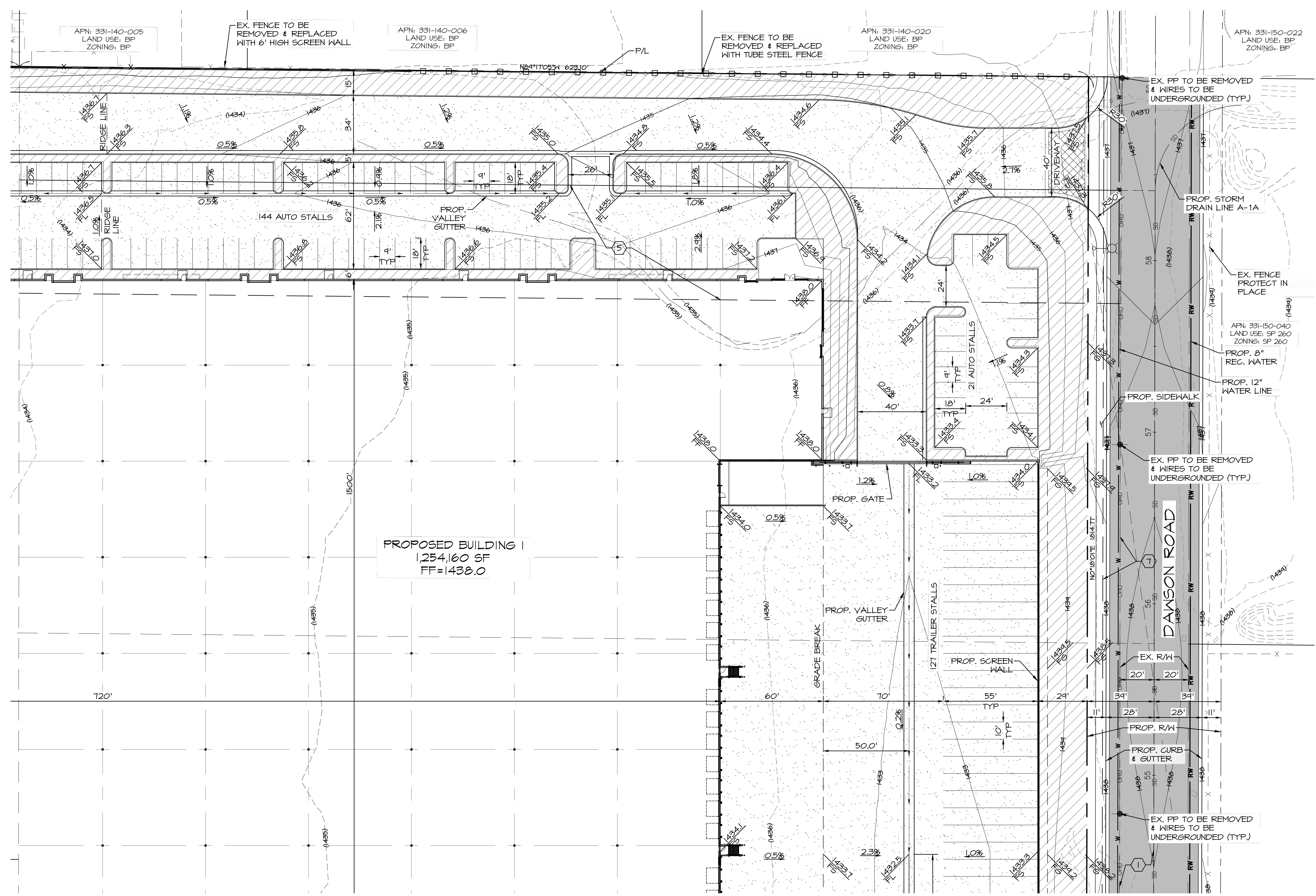
REVISIONS		DATE	BY

CITY OF MENIFEE	
CORE 5 - MENIFEE COMMERCE CENTER	
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ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS 3788 MCCRAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	W.O. 21-0026 SHEET 5 OF 14 SHEETS
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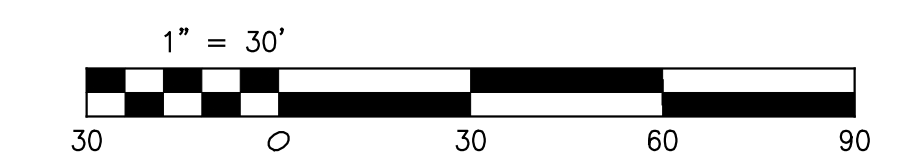
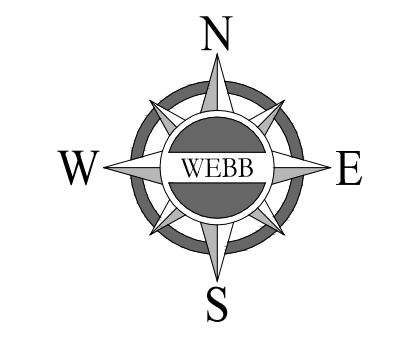
SEE SHEET 2



SEE SHEET 7

LEGEND

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REVISIONS		DATE	BY

CITY OF MENIFEE CORE 5 - MENIFEE COMMERCE CENTER PLOT PLAN NO. PP2019-005			
SCALE: 1" = 30'	DATE: 4/1/22	DESIGNED: CV	CHECKED: F.B.
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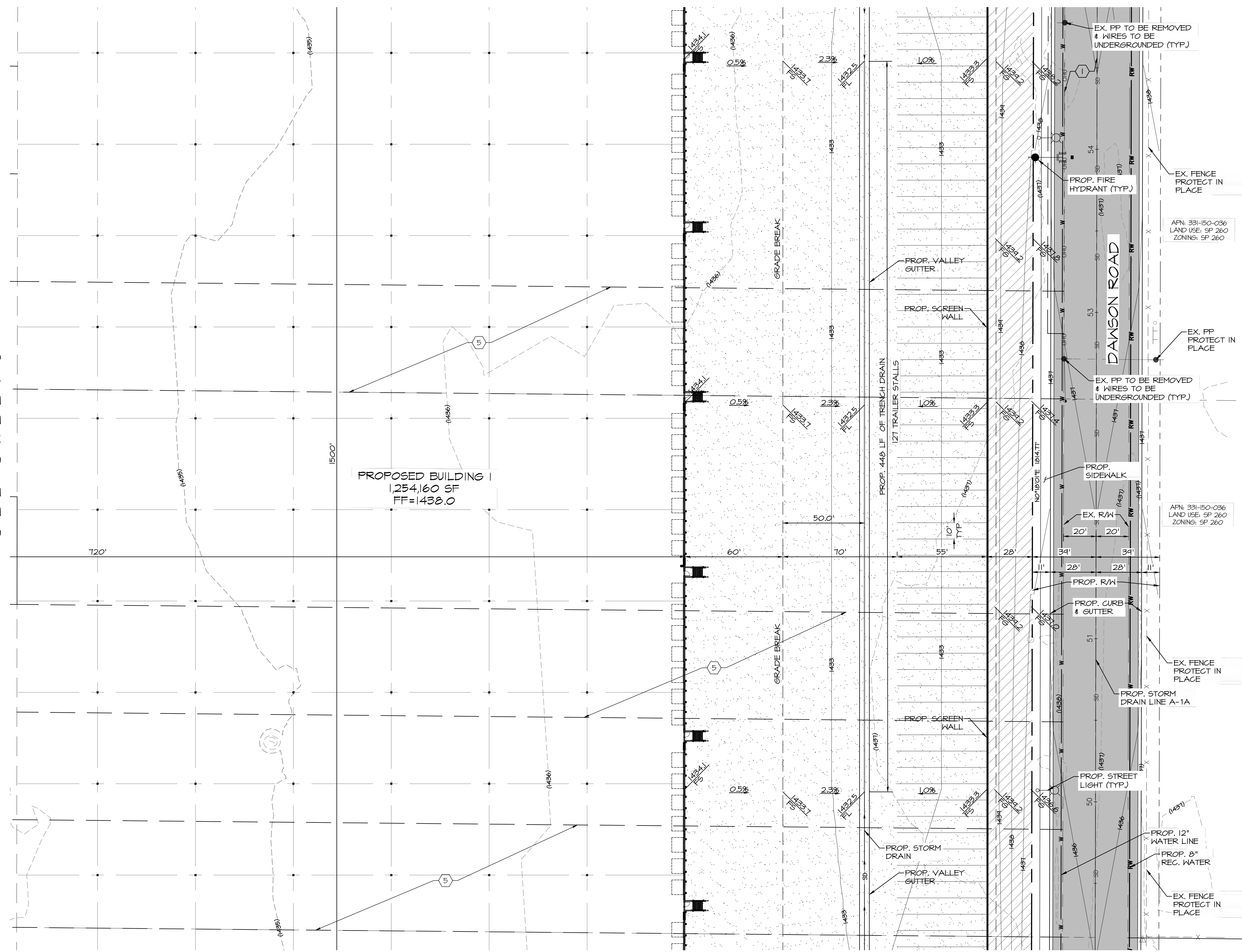
ALBERT A. WEBB ASSOCIATES		ENGINEERING CONSULTANTS		W.O. 21-0026	
3788 MCORAY STREET	3788 MCORAY STREET	RIVERSIDE, CA 92506	RIVERSIDE, CA 92506	SHEET	6
PH. (951) 686-1070	PH. (951) 686-1070	FAX (951) 788-1256	FAX (951) 788-1256	OF 14	SHEETS
				DWG. NO.	

PRELIMINARY

SEE SHEET 3

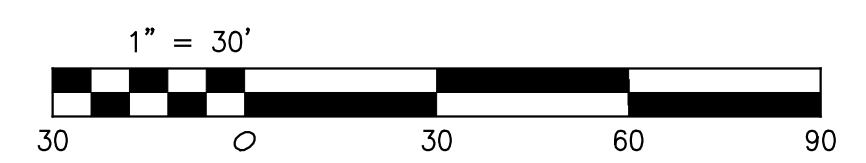
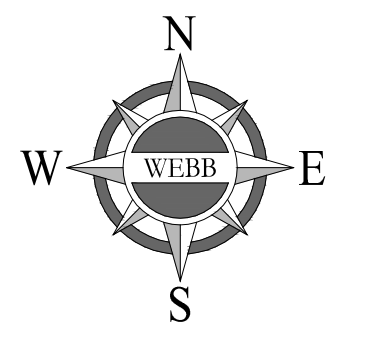
SEE SHEET 6

SEE SHEET 8



LEGEND

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REVISIONS		DATE	BY

CITY OF MENIFEE
CORE 5 - MENIFEE COMMERCE CENTER
PLOT PLAN NO. PP2019-005

SCALE: 1" = 30'	ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS 3788 McORAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	NO. 21-0026 SHEET 7 OF 14 SHEETS DWS. NO.
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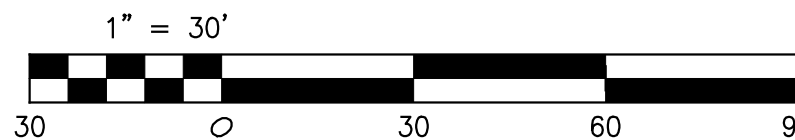
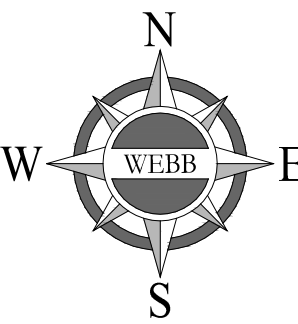
PRELIMINARY

SEE SHEET 7

SEE SHEET 9

LEGEND

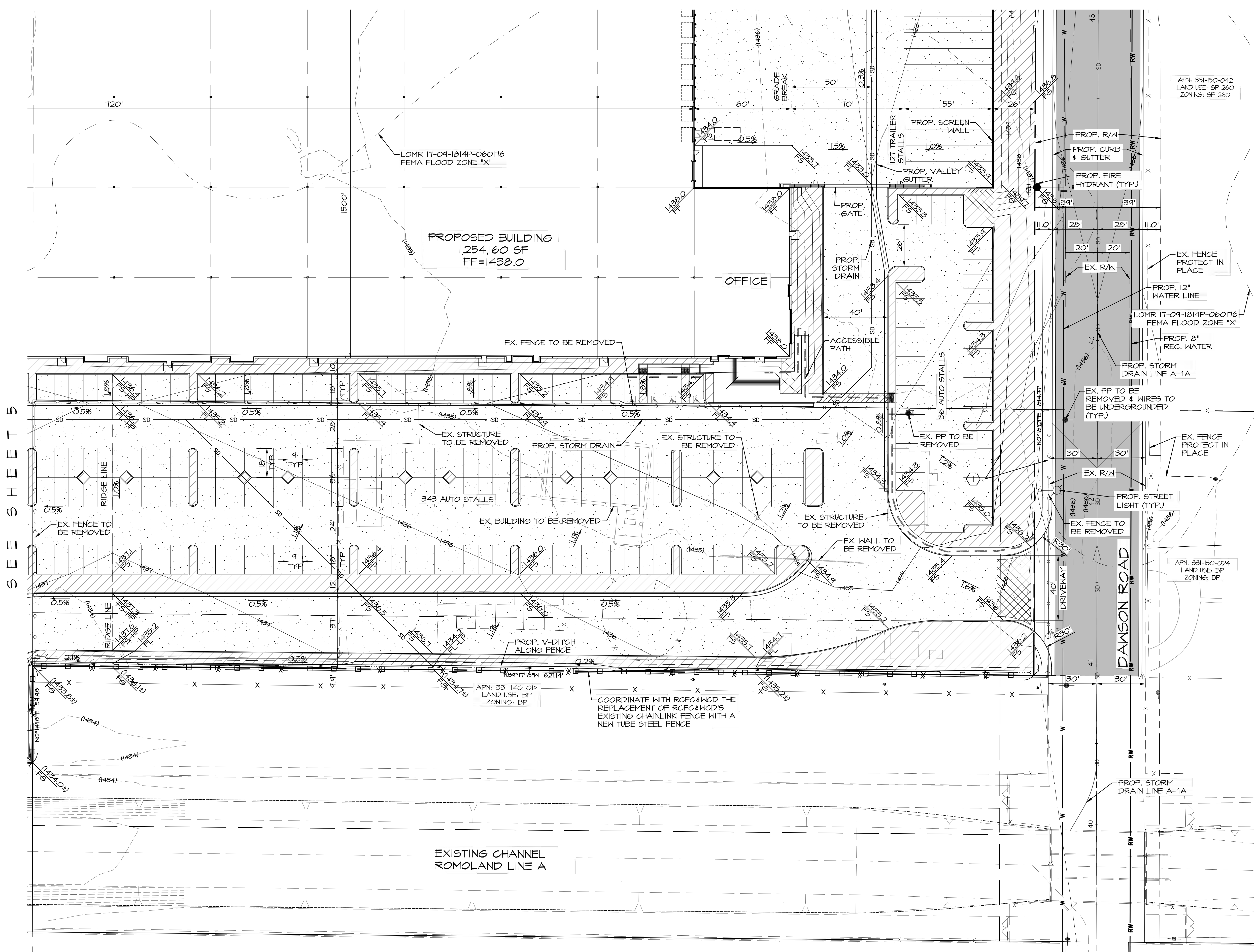
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- FINISHED FLOOR
- FINISHED GROUND
- FINISHED SURFACE
- FF
- F6
- F5
- FL
- GB
- HP
- INV
- LS
- LP
- MAX
- PL
- R/W
- TYP
- DM
- RL



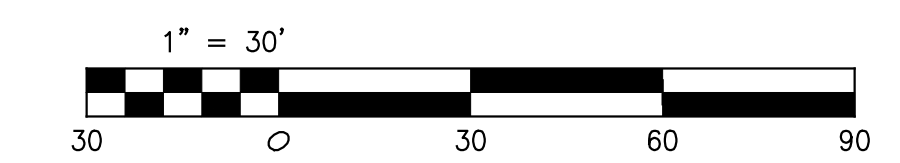
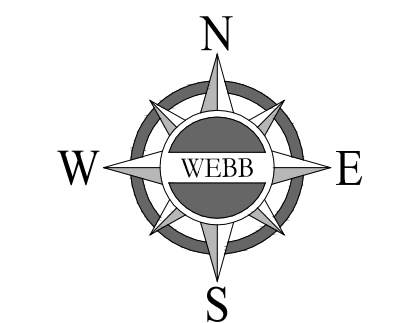
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CITY OF MENIFEE CORE 5 - MENIFEE COMMERCE CENTER PLOT PLAN NO. PP2019-005			
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ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS 3788 MCCRAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	W.O. 21-0026 SHEET 8 OF 14 SHEETS DWG. NO.	

PRELIMINARY

SEE SHEET 8



- LEGEND**
- PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPE AREA
 - PROPOSED DECORATIVE PAVEMENT
 - ADA PATH OF TRAVEL
 - SCREEN WALL
 - TUBE STEEL FENCE
 - GRADEBREAK/RIDGELINE
 - FLOWLINE
 - STORM DRAIN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING STORM DRAIN
 - EXISTING GAS LINE
 - EXISTING ELECTRICAL LINE
 - FINISHED FLOOR
 - FINISHED GROUND
 - FLOW LINE
 - GRADE BREAK
 - HIGH POINT
 - INVERT
 - LANDSCAPE AREA
 - LOW POINT
 - MAXIMUM
 - PROPERTY LINE
 - RIGHT OF WAY
 - TYPICAL
 - DRIVEWAY
 - RIDGELINE

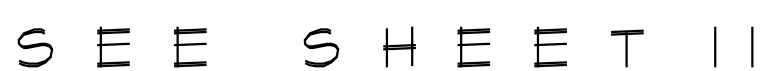


REVISIONS			DATE	BY

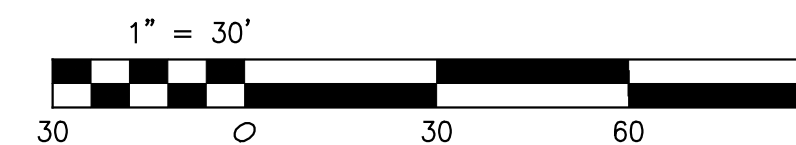
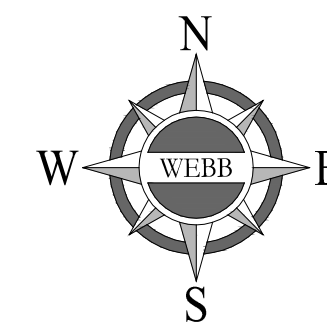
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CORE 5 - MENIFEE COMMERCE CENTER PLOT PLAN NO. PP2019-005				

SCALE: 1" = 30'	ALBERT A.	ENGINEERING CONSULTANTS	W.O. 21-0026
DATE: 4/1/22	WEBB ASSOCIATES	3788 McORAY STREET	SHEET 9
DESIGNED: CV		RIVERSIDE, CA. 92506	OF 14 SHEETS
CHECKED:		PH. (951) 686-1070	
		FAX (951) 788-1256	
PLN CK REF:			DWG. NO.
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REVISIONS	DATE	BY

CITY OF MENIFEE

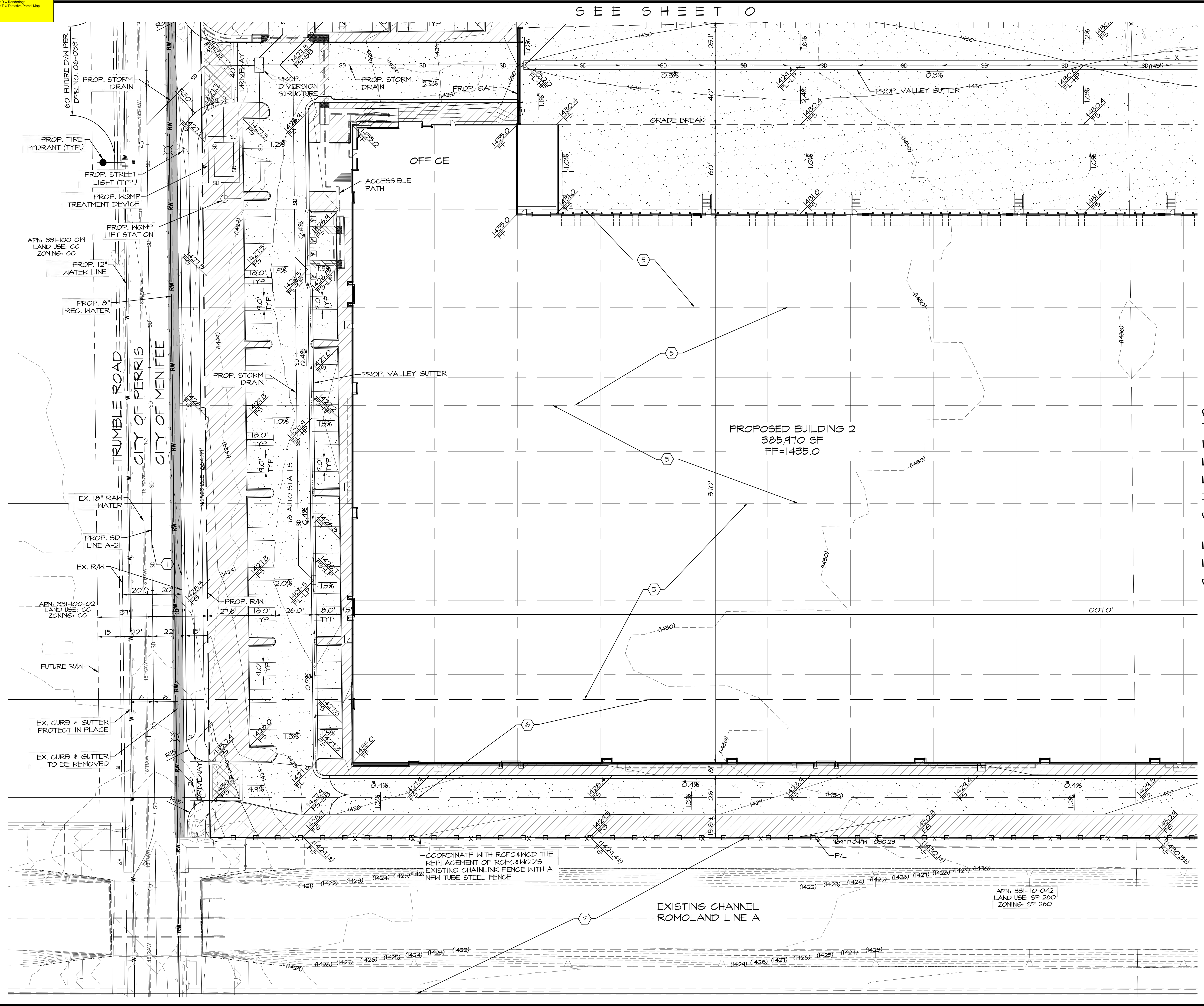
CORE 5 - MENIFEE COMMERCE CENTER

PLOT PLAN NO. PP2019-005

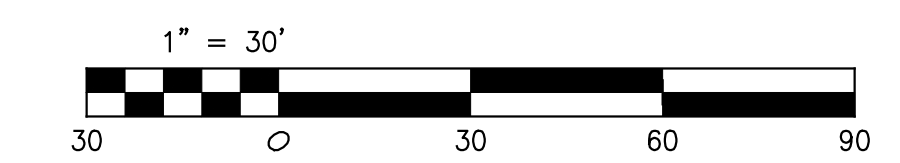
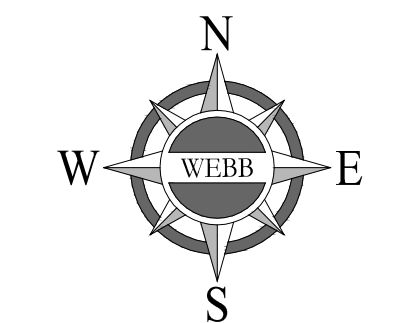
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 $\frac{Y}{Q} = \frac{\Delta}{N} = \frac{\Sigma}{\Pi}$

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- LEGEND**
- PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPE AREA
 - PROPOSED DECORATIVE PAVEMENT
 - ADA PATH OF TRAVEL
 - SCREEN WALL
 - TUBE STEEL FENCE
 - GRADEBREAK/RIDGELINE
 - FLOWLINE
 - SD - STORM DRAIN
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - EX W - EXISTING WATER LINE
 - EX SS - EXISTING SEWER LINE
 - EXISTING STORM DRAIN
 - EXISTING GAS LINE
 - EXISTING ELECTRICAL LINE
 - FF - FINISHED FLOOR
 - F5 - FINISHED GROUND
 - FL - FINISHED SURFACE
 - OB - FLOW LINE
 - HP - GRADE BREAK
 - INV - HIGH POINT
 - LS - INVERT
 - LP - LANDSCAPE AREA
 - MAX - LOW POINT
 - PL - MAXIMUM
 - R/W - PROPERTY LINE
 - TYP - TYPICAL
 - DM - RIGHT OF WAY
 - RL - DRIVEWAY
 - RD - RIDGELINE

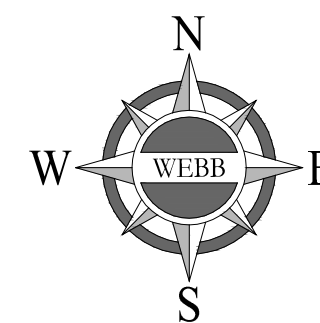


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CITY OF MENIFEE	
CORE 5 - MENIFEE COMMERCE CENTER	
PLOT PLAN NO. PP2019-005	

SCALE: 1" = 30'	ALBERT A.	ENGINEERING CONSULTANTS	W.O. 21-0026
DATE: 4/1/22	WEBB	3788 MCCRAY STREET	SHEET
DESIGNED: CV		RIVERSIDE, CA. 92506	11
CHECKED:		PH. (951) 686-1070	OF 14 SHEETS
PLN CK REF:		FAX (951) 788-1256	DWG. NO.
F.B.			

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1" = 30'

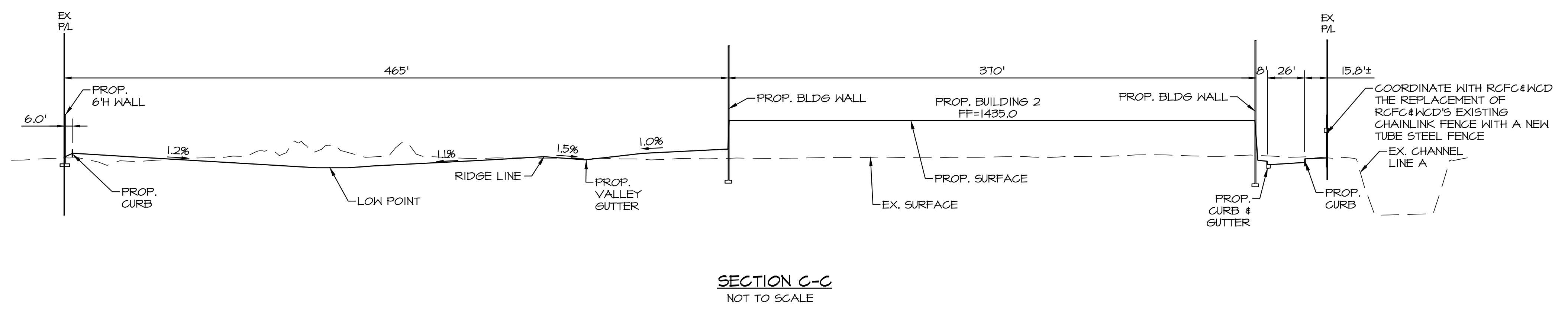
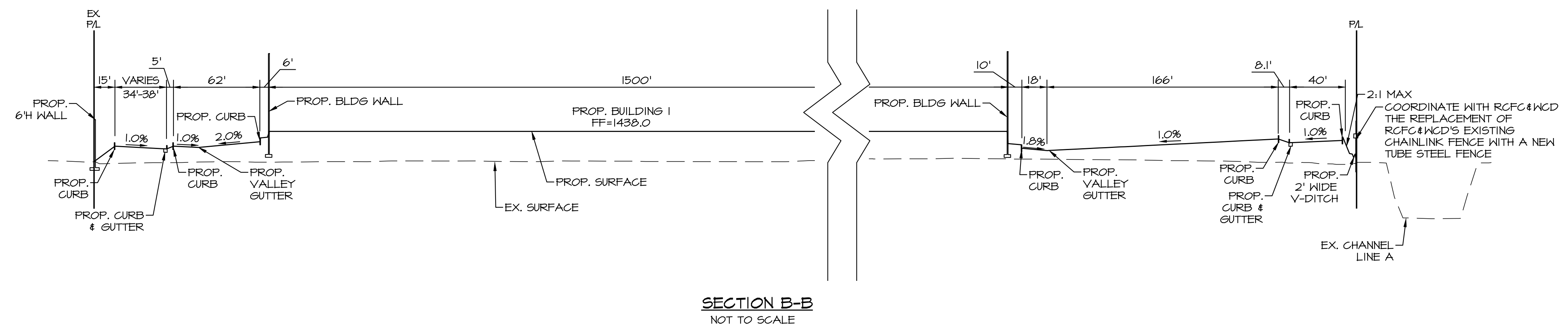
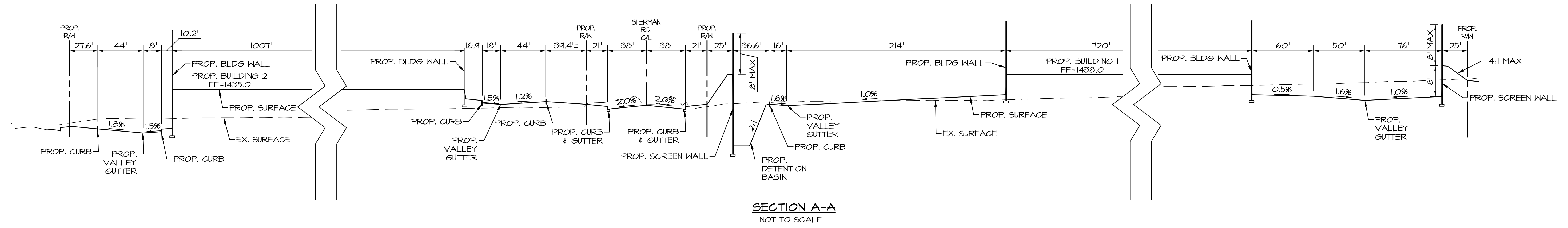


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CITY OF MENIFEE
CORE 5 - MENIFEE COMMERCE CENTER
PLOT PLAN NO. PP2019-005

SCALE: 1" = 30'	ALBERT A.  ASSOCIATES	ENGINEERING CONSULTANTS 3788 McCRAY STREET RIVERSIDE, CA. 92506 PH. (951) 686-1070 FAX (951) 788-1256	H.O. 21-0026
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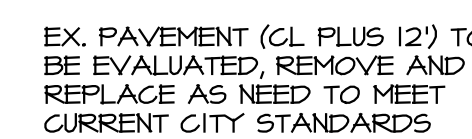
REVISIONS			DATE	BY

CITY OF MENIFEE		
CORE 5 - MENIFEE COMMERCE CENTER		
PLOT PLAN NO. PP2019-005		


SCALE: 1" = 30'	ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS 3788 McORAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	NO. 21-0026
DATE: 4/1/22			SHEET 13
DESIGNED: CV			OF 14 SHEETS
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PLN CK REF: F.B.			

PRELIMINARY

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SHERMAN ROAD STA 54+18 TO 59+07
MAJOR HIGHWAY (CITY OF MENIFEE STD. 110)
NOT TO SCALE

REVISIONS				DATE	BY
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SCALE: 1" = 30'	ALBERT A.	ENGINEERING CONSULTANTS	W.O. 21-0026		
DATE: 4/1/22		3788 McCRAY STREET	SHEET		
DESIGNED: CV		RIVERSIDE CA, 92506	14		
CHECKED:		PH. (951) 686-1070	OF 14 SHEETS		
FLN CK REF:		FAX (951) 788-1256	DWG. NO.		
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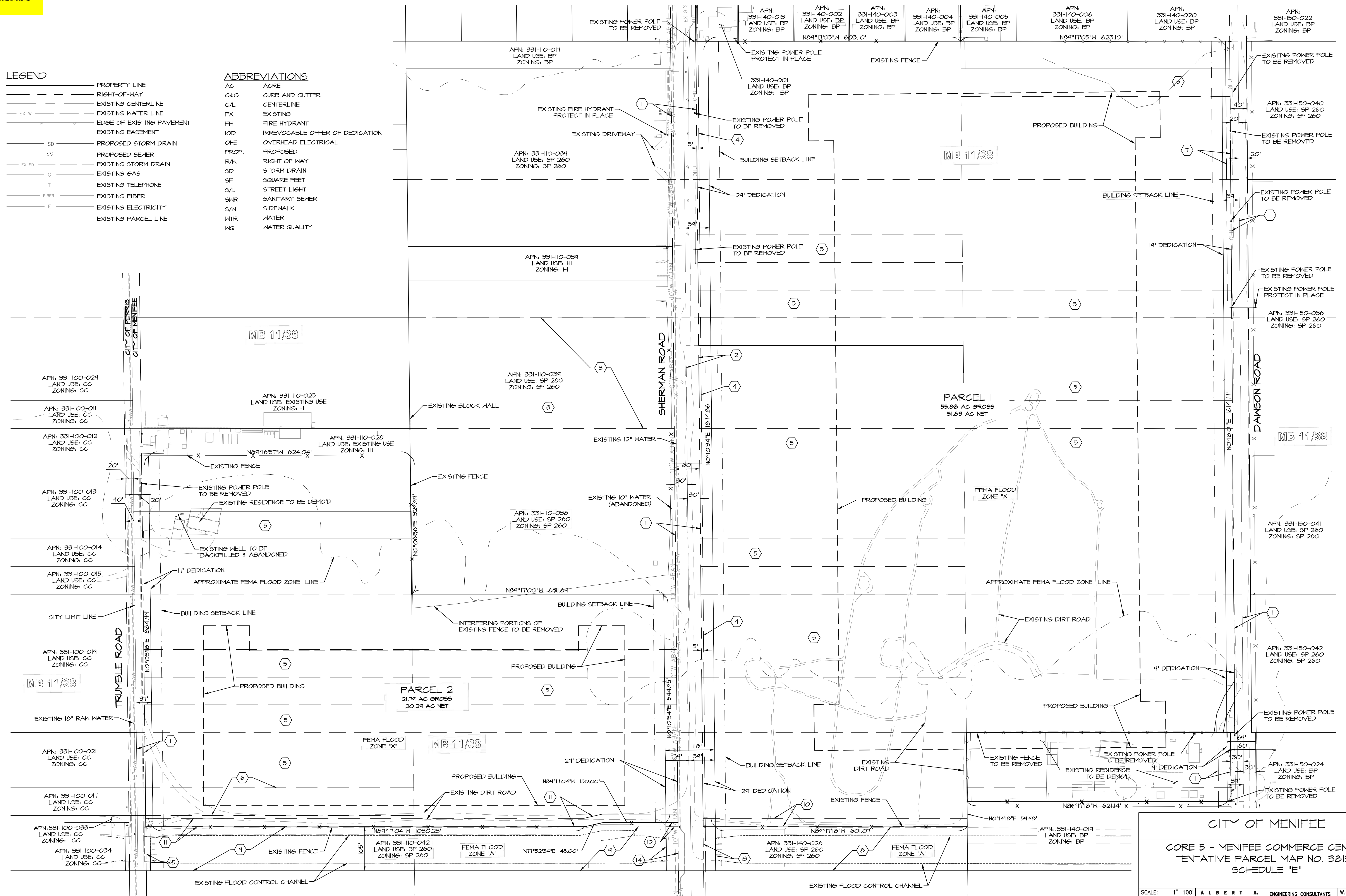
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LEGEND

- | | |
|-------------------|---------------------------|
| _____ | PROPERTY LINE |
| _____ | RIGHT-OF-WAY |
| _____ | EXISTING CENTERLINE |
| _____ EX W _____ | EXISTING WATER LINE |
| _____ " " _____ | EDGE OF EXISTING PAVEMENT |
| _____ | EXISTING EASEMENT |
| _____ SD _____ | PROPOSED STORM DRAIN |
| _____ SS _____ | PROPOSED SEWER |
| _____ EX SD _____ | EXISTING STORM DRAIN |
| _____ G _____ | EXISTING GAS |
| _____ T _____ | EXISTING TELEPHONE |
| _____ FIBER _____ | EXISTING FIBER |
| _____ E _____ | EXISTING ELECTRICITY |
| _____ | EXISTING PARCEL LINE |

ABBREVIATIONS

- | | |
|-------|---------------------------------|
| AC | AGRE |
| C&S | CURB AND GUTTER |
| C/L | CENTERLINE |
| EX. | EXISTING |
| FH | FIRE HYDRANT |
| IOD | IRREVOCABLE OFFER OF DEDICATION |
| OHE | OVERHEAD ELECTRICAL |
| PROP. | PROPOSED |
| R/W | RIGHT OF WAY |
| SD | STORM DRAIN |
| SF | SQUARE FEET |
| S/L | STREET LIGHT |
| SKR | SANITARY SEWER |
| S/W | SIDEWALK |
| WTR | WATER |
| WQ | WATER QUALITY |



CITY OF MENIFEE





CORE 5 - MENIFEE COMMERCE CENTER
TENTATIVE PARCEL MAP NO. 38156
SCHEDULE "E"

SCALE:	1"=100'
DATE:	4/6/22
DESIGNED:	EA
CHECKED:	SRH
PLN CK REF:	
F.B.	

ALBERT A.	ENGINEERING CONSULTANTS	W.
WEBB	3788 McCRAY STREET	SH
ASSOCIATES	RIVERSIDE CA. 92506	
	PH. (951) 686-1070	OF
	FAX (951) 788-1256	

NO. 2021-0026	
SHEET	2
2	SHEETS
WG. NO.	

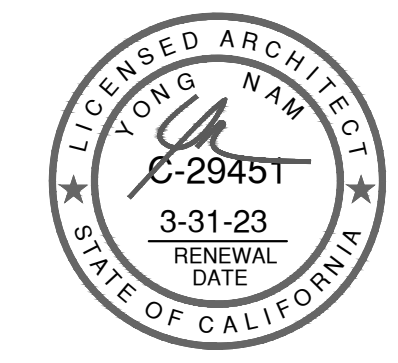
PRELIMINARY

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Light Loss Factor	Wattage
	W1	52	Lithonia Lighting	DSX1 LED P8 27K TFFM MVOLT HS WBA	DSX1 LED P8 MODIFIED 27K TFFM MVOLT with houselense shield	LED B2 U0 G3	DSX1_LED_P8_30K_TFT M_MVOLT_HS_res	0.87	207
	S1	21	Lithonia Lighting	DSX1 LED P8 27K TFFM MVOLT HS	DSX1 LED P8 MODIFIED 27K TFFM MVOLT with houselense shield	LED B2 U0 G3	DSX1_LED_P8_30K_TFT M_MVOLT_HS_res	0.87	207
	S2	7	Lithonia Lighting	DSX1 LED P7 27K T5W MVOLT	DSX1 LED P7 MODIFIED 27K T5W MVOLT	LED B5 U0 G3	DSX1_LED_P7_30K_T5W MVOLT_res	0.87	366
	S3	13	Lithonia Lighting	DSX1 LED P5 27K BLC MVOLT	DSX1 LED P5 MODIFIED 27K BLC MVOLT	LED B1 U0 G3	DSX1_LED_P5_30K_BLC MVOLT_res	0.87	138

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking North	\pm	1.4 fc	3.0 fc	0.3 fc	10.0:1	4.7:1
Parking South	\pm	1.5 fc	3.8 fc	0.3 fc	12.7:1	5.0:1
Truck East	\pm	1.4 fc	2.8 fc	0.3 fc	9.3:1	4.7:1
Truck West	\pm	1.3 fc	3.0 fc	0.4 fc	30.0:1	15.0:1



hpa, inc.
18831 bardeen avenue, - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner



300 Spectrum Center Drive Suite 88
Irvine CA 92618

Project

ETHANAC &
SHERMAN

ETHANAC RD. & SHERMAN RD.
MENIFEE, CA

Consultants

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: SITE PHOTOMETRIC PLANS

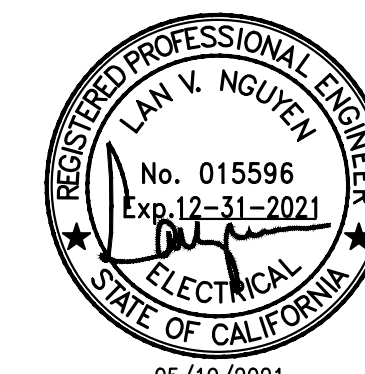
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 Revision:

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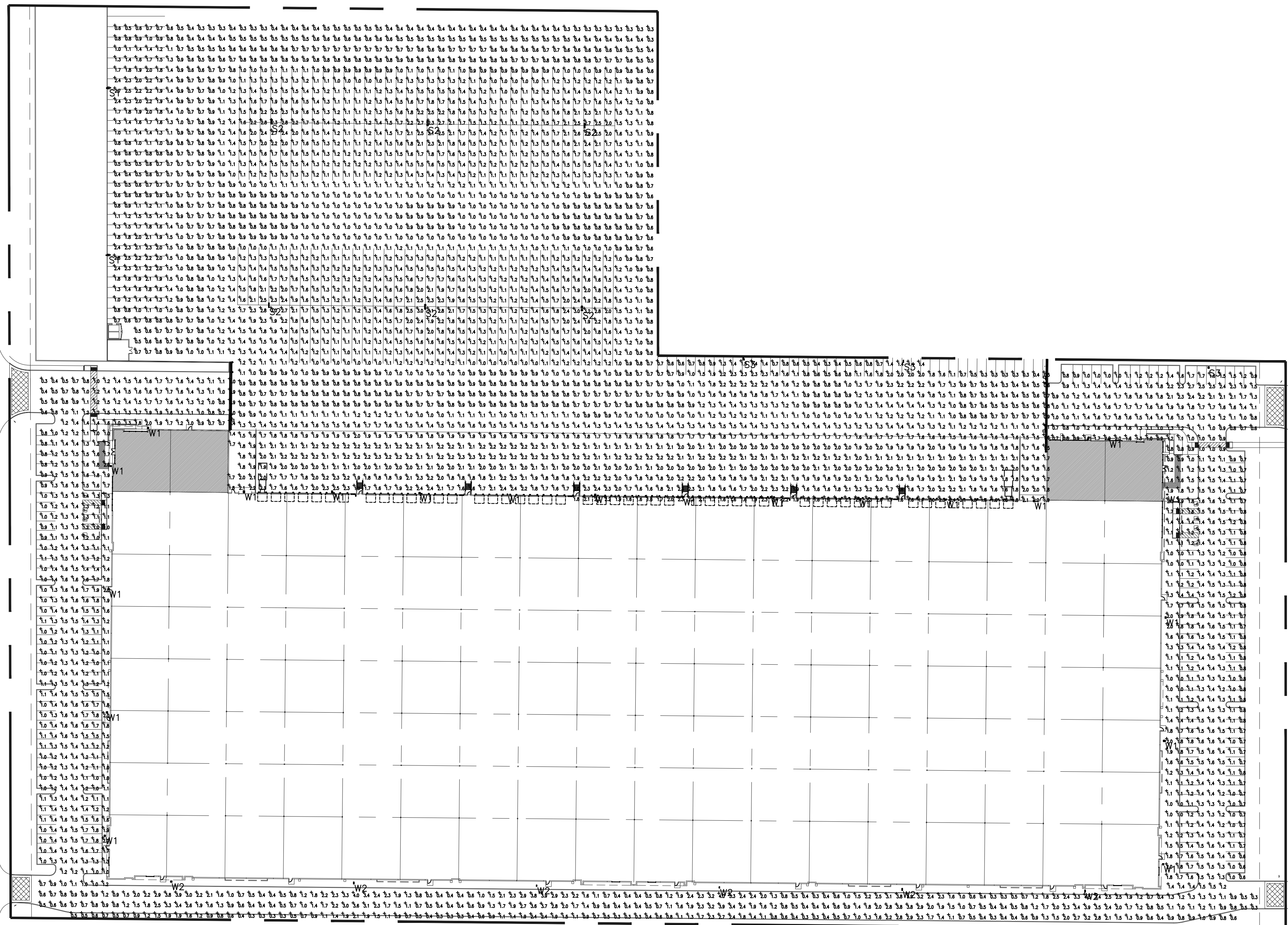
RPM #21-29

05/19/2

ES-1.0



RPM
Engineers, Inc.
102 DISCOVERY
Irvine, Ca. 92618
Tel: 949-450-1228 (2)
Fax: 949-450-1454
Contact: Kevin Yu
e-mail: kevin.yu@rpmpe.com

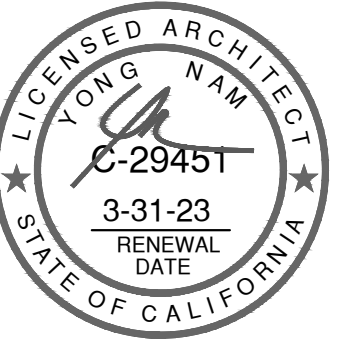


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Light Loss Factor	Wattage
☒	W1	20	Lithonia Lighting	DSX1 LED P6 27K TPTM MVOLT HS WBA	DSX1 LED P6 MODIFIED 27K TPTM MVOLT with house-side shield	LED B2 U0 G3	DSX1_LED_P6_30K_TPT_M_MVOLT_HS.ies	0.87	207
☒	W2	6	Lithonia Lighting	DSX1 LED P5 27K T2M MVOLT WBA	DSX1 LED P5 MODIFIED 27K T2M MVOLT	LED B3 U0 G3	DSX1_LED_P5_30K_T2M_M_MVOLT.ies	0.87	138
^	S1	2	Lithonia Lighting	DSX1 LED P6 27K TPTM MVOLT HS	DSX1 LED P6 MODIFIED 27K TPTM MVOLT with house-side shield	LED B2 U0 G3	DSX1_LED_P6_30K_TPT_M_MVOLT_HS.ies	0.87	207
□	S2	6	Lithonia Lighting	DSX1 LED P7 27K T5W MVOLT	DSX1 LED P7 MODIFIED 27K T5W MVOLT	LED B6 U0 G3	DSX1_LED_P7_30K_T5W_M_MVOLT.ies	0.87	366
□	S3	3	Lithonia Lighting	DSX1 LED P5 27K BLC MVOLT	DSX1 LED P5 MODIFIED 27K BLC MVOLT	LED B1 U0 G2	DSX1_LED_P5_30K_BLC_M_MVOLT.ies	0.87	138

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive South	+	1.4 ft	4.3 ft	0.3 ft	14.3:1	4.7:1
Parking East	+	1.3 ft	2.7 ft	0.6 ft	4.5:1	2.2:1
Parking West	+	1.3 ft	2.0 ft	0.3 ft	6.7:1	4.3:1
Peak Area	+	1.3 ft	3.2 ft	0.3 ft	10.7:1	4.3:1



hpa, inc.
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irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner:



300 Spectrum Center Drive Suite 880
Irvine CA 92618

Project:

ETHANAC &
SHERMAN

ETHANAC RD. & SHERMAN RD.
MENIFEE, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

WEBB
-
-
-
HUNTER
-
-

Title: SITE PHOTOMETRIC PLAN

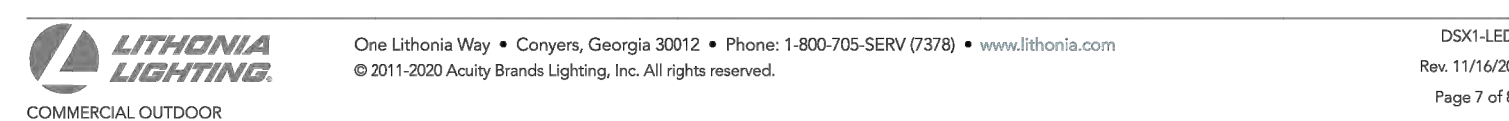
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Date: 05/10/21
Revision:

Sheet:

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RPM #21-290 05/19/21



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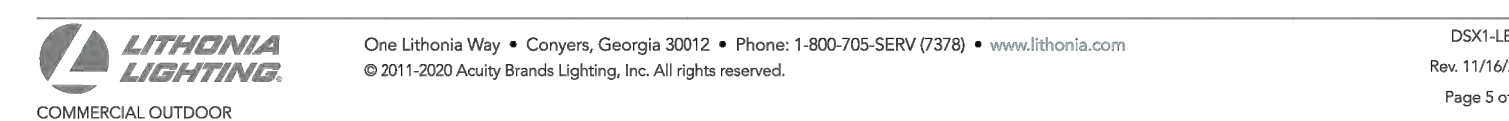
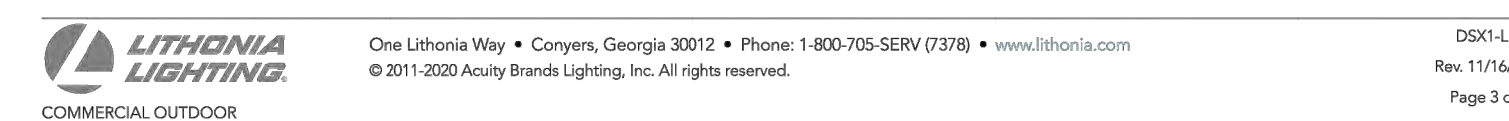
Performance Data

Lumen Output

Listed data are photometric tests performed in accordance with IESNA LM-79 Data. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forecast Data

Unit/Size	Beam Spread	Beam Angle	Beam Diameter	Beam Area	Beam Length	Beam Width	Beam Height	Beam Depth	Beam Volume								
Unit/Size	Beam Spread	Beam Angle	Beam Diameter	Beam Area	Beam Length	Beam Width	Beam Height	Beam Depth	Beam Volume								
100	P1	50W	T15	4.452	2	0	120	6.596	2	0	120	7.944	2	0	120		
			T15	6.498	2	0	2	119	8.490	2	0	2	120	7.857	2	0	120
			T15	6.493	1	0	2	119	8.486	2	0	2	120	7.857	2	0	120
			T15	6.079	2	0	2	116	8.740	2	0	2	120	8.850	2	0	127
			T15	6.464	1	0	2	119	8.562	1	0	2	120	7.856	2	0	127
			T15	6.527	1	0	2	117	8.676	1	0	2	120	8.901	1	0	128
			T15	6.464	1	0	2	119	8.562	1	0	2	120	7.856	2	0	127
			T15	6.712	2	0	0	124	7.342	3	0	0	124	7.334	3	0	126
			T15	6.718	2	0	0	125	7.248	2	0	0	124	7.248	2	0	126
			T15	6.711	3	0	0	123	7.239	3	0	0	123	7.231	3	0	125
			T15	6.667	3	0	0	123	7.182	3	0	0	123	7.271	3	0	125
			T15	6.599	1	0	0	8	5.299	1	0	0	8	5.291	1	0	135
100	P1	50W	IC02	3.941	1	0	2	73	4.240	1	0	2	79	4.331	1	0	79
			IC02	3.941	1	0	2	73	4.240	1	0	2	79	4.331	1	0	79
			T15	8.249	2	0	2	118	8.886	2	0	2	127	8.992	2	0	129
			T15	8.249	2	0	2	118	8.887	2	0	2	127	8.989	2	0	129
			T15	8.893	2	0	2	118	8.931	2	0	2	127	9.056	2	0	129
			T15	8.012	2	0	2	115	8.399	2	0	2	127	8.751	2	0	127
			T15	8.260	2	0	2	118	8.931	2	0	2	127	9.014	2	0	129
			T15	8.083	2	0	2	115	8.399	2	0	2	127	8.751	2	0	127
			T15	8.217	2	0	2	118	8.886	2	0	2	127	8.989	2	0	129
			T15	8.083	2	0	2	115	8.399	2	0	2	127	8.751	2	0	127
			T15	8.035	3	0	0	123	8.959	3	0	0	132	9.376	3	0	134
			T15	8.035	3	0	0	123	8.959	3	0	0	132	9.376	3	0	134
100	P1	70W	T15	8.517	2	0	2										

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D-Series Size 1 LED Area Luminaire

d-Series

100 Watt per luminaire per page is an estimate of maximum luminaire.

Specifications

EPAL:	1.01 ft ² (93.8cm ²)
Length:	33" (841mm)
Width:	13" (330mm)
Height H1:	7.1/2" (184mm)
Height H2:	3.1/2"
Weight (max):	27 lbs (12.2kg)

Introduction

The modern styling of the D-Series is striking, yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater space spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 45% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NL2AIR2 PIRHN DDB3

DSX1 LED									
Series	LEDs	Color Temperature	Dimmability	Package	Mounting				
DSX1 LED	forward optics P1 P2 P3 P4 P5	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (downstream)	T19S Type V very short ¹	MVOLT ¹ DDB3 DDB4 DDB5	Shipped included SPA Square pole mounting WFA Round pole mounting WBA Wall bracket SPHMA Square pole universal mounting adapter ² PIRUMA Round pole universal mounting adapter ²			
			T25 Type I medium	T29S Type V medium ¹	120" ³				
			T35 Type I long	T39S Type V long ¹	150" ³				
	Recessed optics PIR1 ⁴ PIR2 ⁴ PIR3 ⁴	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (downstream)	T19S Type V very short ¹	120" ³	Shipped separately KMAK DDB3D0 Round universal bracket adapter (square light) ⁵			
			T25 Type I medium	T29S Type V medium ¹	120" ³				
			T35 Type I long	T39S Type V long ¹	150" ³				
	PIR1 ⁴ PIR2 ⁴ PIR3 ⁴	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (downstream)	T19S Type V very short ¹	120" ³	Shipped separately KMAK DDB3D0 Round universal bracket adapter (square light) ⁵			
			T25 Type I medium	T29S Type V medium ¹	120" ³				
			T35 Type I long	T39S Type V long ¹	150" ³				
			T15 Type I short (downstream)	T19S Type V very short ¹	120" ³				

LEDs	Color Temperature	Dimmability	Package	Mounting	Shipped included	Shipped separately
DSX1 LED	30K 3000K 40K 4000K 50K 5000K	T15 Type I short (downstream) T25 Type I medium T35 Type I long T15 Type I short (downstream) T25 Type I medium T35 Type I long	T19S Type V very short ¹ T29S Type V medium ¹ T39S Type V long ¹ T19S Type V very short ¹ T29S Type V medium ¹ T39S Type V long ¹	MVOLT ¹ DDB3 DDB4 DDB5 120" ³ 150" ³	SPA WFA WBA SPHMA PIRUMA	DDB3 Dist. bracket DDB4 Dist. DDB5 Round aluminum DDB3D0 White DDB3D0 Dist. bracket DDB3D0 Dist. bracket DDB3D0 Dist. bracket DDB3D0 Dist. bracket DDB3D0 Dist. bracket

¹ 100 Watt per luminaire per page is an estimate of maximum luminaire.



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Sae 1 reflects the embedded high performance LED technology it's ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light upgrade options. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65, Low EPU 1.01 ft) for optimized pole top wind loading.

OPTICS

Estimate parts are protected by a thin-layered Super Durable TiO₂ ceramic powder coat finish that provides superior resistance to corrosion and weathering. A highly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

PRECISION-MOLDED PROPRIETARY ACRYLIC LENSES ARE ENGINEERED FOR SUPERIOR AREA LIGHTING DISTRIBUTION, UNIFORMITY, AND POLE SPACING. LIGHT UPDATES ARE AVAILABLE IN STANDARD 3000, 4000, AND 5000 K (P/C) CRI CONFIGURATIONS. THE D-SERIES SAE 1 HAS ZERO VIBRATION AND QUALIFIES AS A NIGHTTIME FINGERPRINT PRODUCT, MEANING IT IS CONSISTENT WITH THE LEED® AND GREEN GLIB® CRITERIA FOR ELIMINATING UNWANTED UGLIGHT.

ELECTRICAL

Lighting configurations consist of high efficiency LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life to up to 100,000 hours at 25°C. Class I electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 100' surge protection device meets a minimum Category C Low operation (per ANSI/CES C62.41.2).

STANDARD CONTROLS

The D-Series Sae 1 area luminaire has a non-adjustable, dimmable, DSX Size 1, comes standard with 0-10V dimming drivers. Down to dawn controls can be utilized via optional NEMA 4x4 metal box photocell receptacles. Integrated motion sensors with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

NIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLIGHT AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocell control functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLARITY app, night AIR-equipped luminaires can be grouped, walled-in, in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor override can be achieved when used with the night Edgebox. Additional information about night AIR can be found here.

INSTALLATION

Included mounting bracket and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting bracket securely to poles and walls, enabling the D-Series Sae 1 to withstand up to a 3.0 G vibration load rating per ANSI C36.13. The D-Series Sae 1 utilizes the AES® series pole drilling pattern (minimum 48"). NEMA-shockmount receptacles are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated, luminaire is IP65 rated. Rated for 40°C minimum ambient IES, ENEC, IAS, DQI-95.3 International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/CPL to confirm which versions are qualified.

International Dark Sky Association (IDA) Future Seal of Approval (FSIA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

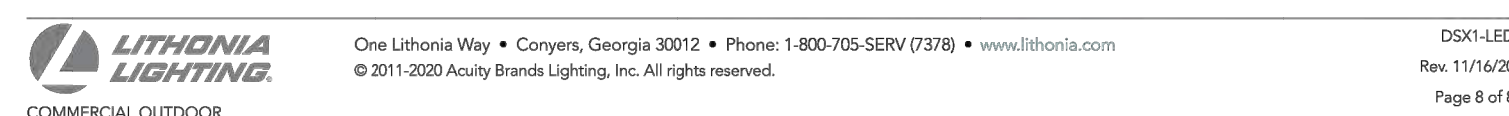
3-year limited warranty. Complete warranty terms located at: www.lithonia.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end user environment and application. All values are design or typical values, measured under laboratory conditions at 25°.

Specifications subject to change without notice.

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DSX1 LED
Rev. 1/16/2016
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Performance Data

Lumen Output

Current values for each photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data or any configuration not covered below.

Forward Optics

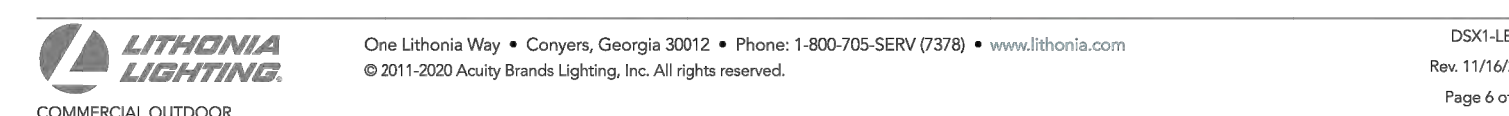
LED array	Beam Angle	Power Package	Optics Opt's	Beam Dia.	1W (lm/W)					4W					8W				
					lm/w	ft	lm	ft	lm	lm/w	ft	lm	ft	lm	lm/w	ft	lm	ft	lm
0	120°	PW	10W	10W	17,624	3	0	3	106	18,078	3	0	3	117	19,238	3	0	3	118
				T15	12,605	3	0	3	106	18,098	3	0	3	117	19,221	3	0	3	118
				T24	17,726	3	0	3	106	18,096	3	0	3	117	19,137	3	0	3	118
				T35	15,767	3	0	3	105	18,051	3	0	3	115	18,727	3	0	3	118
				18W	17,681	3	0	3	106	18,049	3	0	3	117	19,238	3	0	3	118
				18W	12,209	3	0	3	106	18,015	3	0	3	116	18,671	3	0	3	118
				37W	17,672	3	0	3	106	18,038	3	0	3	117	19,279	3	0	3	118
				37W	18,129	3	0	3	111	18,680	3	0	3	121	20,058	3	0	3	123
				37W	18,194	3	0	3	111	19,515	3	0	3	122	20,866	3	0	3	124
				37W	18,448	3	0	3	112	19,536	3	0	3	128	21,885	3	0	3	132
				REC0	16,469	3	0	3	105	18,049	3	0	3	116	18,586	3	0	3	118
				REC0	16,381	3	0	3	106	18,114	3	0	3	117	19,161	3	0	3	122
0	180°	PW	10W	10W	19,261	3	0	3	107	20,699	3	0	3	119	20,652	3	0	3	119
				T15	15,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115
				T24	19,266	3	0	3	107	20,699	3	0	3	119	20,652	3	0	3	119
				18W	16,395	3	0	3	105	20,707	3	0	3	114	21,068	3	0	3	115
				18W	18,896	3	0	3	102	20,741	3	0	3	119	20,786	3	0	3	111
				18W	19,258	3	0	3	109	20,746	3	0	3	118	21,081	3	0	3	119
				18W	18,890	3	0	3	101	20,706	3	0	3	117	20,513	3	0	3	115
				37W	19,266	3	0	3	109	20,744	3	0	3	118	21,096	3	0	3	119
				37W	20,677	4	0	4	109	21,564	4	0	4	118	21,857	4	0	4	119
				37W	20,683	4	0	4	109	21,561	4	0	4	118	21,864	4	0	4	119
0	120°	PW	20W	20W	18,862	5	0	5	108	21,386	5	0	5	117	22,681	5	0	5	118
				T15	15,290	2	0	2	86	16,999	2	0	2	95	17,214	2	0	2	94
				37W	17,262	2	0	2	86	16,999	2	0	2	95	17,214	2	0	2	94
				REC0	17,142	2	0	2	84	16,649	2	0	2	89	16,889	2	0	2	90
				T15	22,496	3	0	3	117	23,526	3	0	3	125	24,512	3	0	3	126
				T24	22,466	3	0	3	109	24,202	3	0	3	117	24,589	3	0	3	118
				T35	21,616	3	0	3	106	23,508	3	0	3	114	23,867	3	0	3	115
				T35	21,378	3	0	3	106	23,508	3	0	3	114	23,858	3	0	3	115
				37W	22,527	3	0	3	109	24,508	3	0	3	117	24,575	3	0	3	119
				37W	22,518	3	0	3	106	23,741	3	0	3	115	24,045	3	0	3	116
				37W	22,515	3	0	3	106	24,251	3	0	3	117	24,568	3	0	3	119
				37W	24,815	5	0	5	111	25,294	5	0	5	122	25,548	5	0	5	123
0	180°	PW	20W	20W	23,434	4	0	4	111	23,944	4	0	4	122	24,564	4	0	4	123
				T15	23,374	5	0	5	111	23,941	5	0	5	122	24,561	5	0	5	123
				37W	23,211	5	0	5	112	23,916	5	0	5	121	23,512	5	0	5	122
				REC	18,408	2	0	2	89	18,881	2	0	2	93	19,354	2	0	2	95
				REC0	17,355	2	0	2	86	16,796	2	0	2	91	16,883	2	0	2	92
				REC0	17,315	2	0	2	86	16,796	2	0	2	91	16,883	2	0	2	92
				T15	25,575	3	0	3	106	23,551	3	0	3	114	23,980	3	0	3	116
				T24	25,548	3	0	3	106	23,551	3	0	3	114	23,980	3	0	3	116
				T35	25,680	3	0	3	107	23,644	3	0	3	115	24,014	3	0	3	116
				T35	24,610	3	0	3	104	23,571	3	0	3	114	23,716	3	0	3	115
				37W	26,617	3	0	3	106	23,597	3	0	3	115	23,948	3	0	3	116
				37W	26,681	3	0	3	106	23,597	3	0	3	115	23,948	3	0	3	116
0	120°	PW	24W	24W	26,642	3	0	3	106	23,588	3	0	3	114	23,929	3	0	3	116
				37W	26,626	3	0	3	116	23,684	3	0	3	119	23,997	3	0	3	121
				T15	26,648	3	0	3	116	23,685	3	0	3	119	23,997	3	0	3	121
				37W	26,601	3	0	3	116	23,615	3	0	3	119	23,907	3	0	3	120
				37W	26,450	3	0	3	115	23,579	3	0	3	118	23,869	3	0	3	120
				REC	26,596	2	0	2	87	22,612	2	0	2	96	22,898	2	0	2	95
				REC0	15,619	2	0	2	85	16,825	2	0	2	90	17,028	2	0	2	91
				REC0	15,619	2	0	2	85	16,825	2	0	2	90	17,028	2	0	2	91



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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 44°F/5°C to 104°F/40°C.

Average Ambient Temperature	Average Ambient Temperature	
°F/C	127°	1.04
87°F	30°C	1.04
107°	42°C	1.03
127°	52°C	1.02
147°	61°C	1.01
167°	75°C	0.99
187°	87°C	0.97
207°	98°C	0.97

Projected LED Lumen Maintenance

Data advances the extrapolated performance projections for the platform rated at a 50°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08 and projected per IESNA TM-21-15.

The table(s) list the lumen maintenance factor (LMF) corresponding to the desired number of operating hours. For other lumen maintenance values, contact factory.

Operating Hours	LMF	LMF (%)
10,000	0.99	99%
25,000	0.96	96%
50,000	0.93	93%
100,000	0.85	85%


Multisensor Motion Detector (Self-Heating)						
Option	Detected Motion	High Level Illumination Algorithm	Preheating Operation	Delay Time	Range-up Time	Range-down Time
PR or PRH1	PR (27W) PRH1 (37W)	100% (100W) 100% (100W)	Enabled at 5°C	5 min	3 sec	5 min
PRH1C or PRH1C1	PRH1C (27W) PRH1C1 (37W)	100% (100W) 100% (100W)	Enabled at 10°C	5 min	3 sec	5 min

For use when motion sensor is used as dusk to dawn detector.

Electrical Load

				Current (A)					
				LED Const	Driver System	Wireage	120	208	277
Forward Optics (Non-Beam)	P1	30	130	54	0.66	0.26	0.23	0.19	0.10
	P2	30	200	70	0.59	0.24	0.20	0.20	0.16
	P3	30	1000	132	0.86	0.30	0.44	0.38	0.33
	P4	30	1200	125	1.06	0.40	0.52	0.46	0.37
	P5	30	1400	138	1.16	0.47	0.58	0.51	0.40
	P6	40	1200	143	1.16	0.78	0.68	0.59	0.47
	P7	40	1400	163	1.23	0.88	0.76	0.65	0.50
	P8	60	1600	287	1.29	0.98	0.75	0.64	0.48
	P9	60	1200	241	2.01	1.16	0.91	0.80	0.55
	P10	60	1300	196	0.95	0.52	0.47	0.40	0.33
Recessed Optics (Recessed, 90° RFO)	PRH1	60	700	137	1.15	0.67	0.65	0.53	0.42
	PR12	60	1000	287	1.24	0.99	0.87	0.76	0.60
	PR3	60	1200	271	1.99	1.12	0.97	0.86	0.60

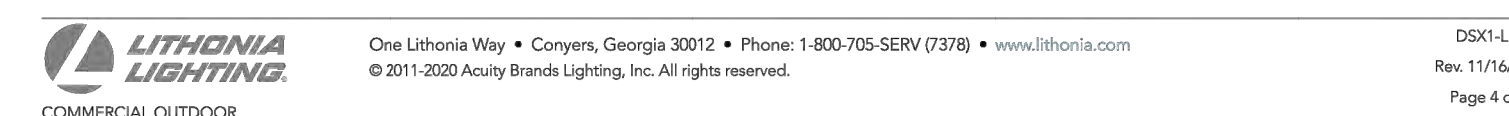
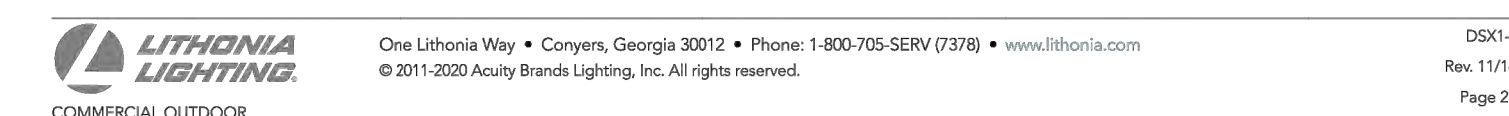
Controls/Options				Primary control device		Notes
Nomenclature	Description	Functionality				
RD	Red adjustable output device installed inside the photocell wired to the other driver circuit.	Allows the luminaire to be manually dimmed, effectively sharing the light output.		RD device		Cannot be used with other control systems that are 0-10V or 1-10Vdc.
D	Ones wired independently for 50/50 lumen operation.	The luminaire's wires have separate circuits, allowing for 50/50 operation.		Independently wired drivers		Requires two separately switched circuits. Consider night-light mode for effective luminaire.
PRC or PRH2	Two-wire photocell module	Compatible with standard two-wire photocells for dusk to dawn operation, or advanced control systems that support 50/50 dimming capability.		Two-wire photocell such as RELI or advanced control such as DALI.		For 4-5 V dimming logic, use PRH2. For 0-8 V dimming logic, use luminaire.
PR or PRH1	Motion sensor with through photocell for 6 V mounting, PRH1 for 27 V mounting	Luminaires dim when occupancy is detected.		Acuity Controls S602		Not available with PRC/H2C as the photocell is wired for dusk to dawn operation.
NLM2R PRH1	40/60 W dual-ended luminaire for motion sensing photocell and ambient controls	Motion and ambient light sensing with group response, Schocked dimming with luminaire sensor zero off when ambient controls the light output.		rLight or iCDSR		40/60 W ambient sensor on packaging and commission from the ground using the iCDSR Pro kit.



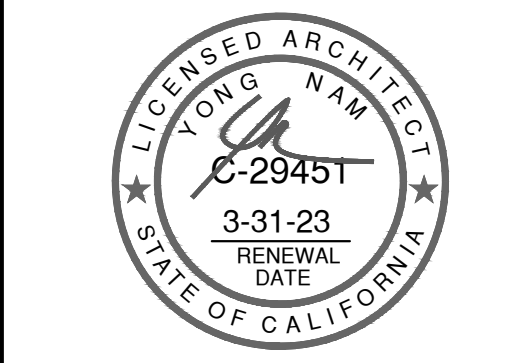
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Rev. 11/16
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SHERMAN

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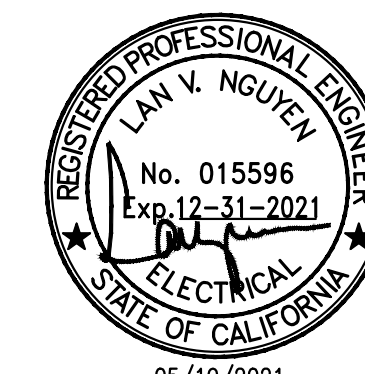
CIVIL	WEBB
STRUCTURAL	
MECHANICAL	
PLUMBING	
ELECTRICAL	
LANDSCAPE	HUNTER
FIRE PROTECTION	
SOILS ENGINEER	

Title: LIGHTING SPECIFICATIO

Project Number: 21-290
Drawn by: RPM
Date: 05/10/2

Sheet:

ES-3.0



05/19/20

RPM #21-290

05/19/21



NORTH ELEVATION



DAWSON ROAD ELEVATION - EAST ELEVATION



SOUTH ELEVATION



SHERMAN ROAD ELEVATION - WEST ELEVATION

Job No. 19567.00



08.16.2022

CONCEPTUAL BUILDING 1 ELEVATIONS (42' clear)

Ethanac Rd. & Sherman Rd.

Menifee, California





NORTH ELEVATION



SHERMAN ROAD ELEVATION - EAST ELEVATION



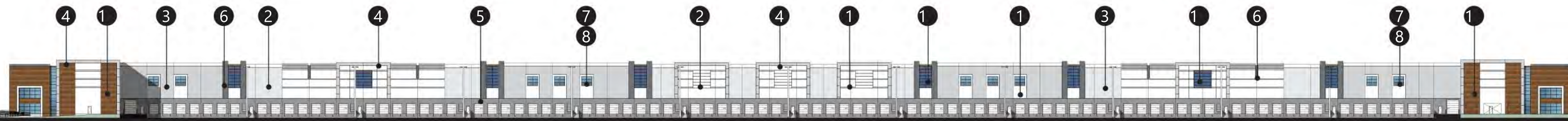
SOUTH ELEVATION



TRUMBLE ROAD ELEVATION - WEST ELEVATION

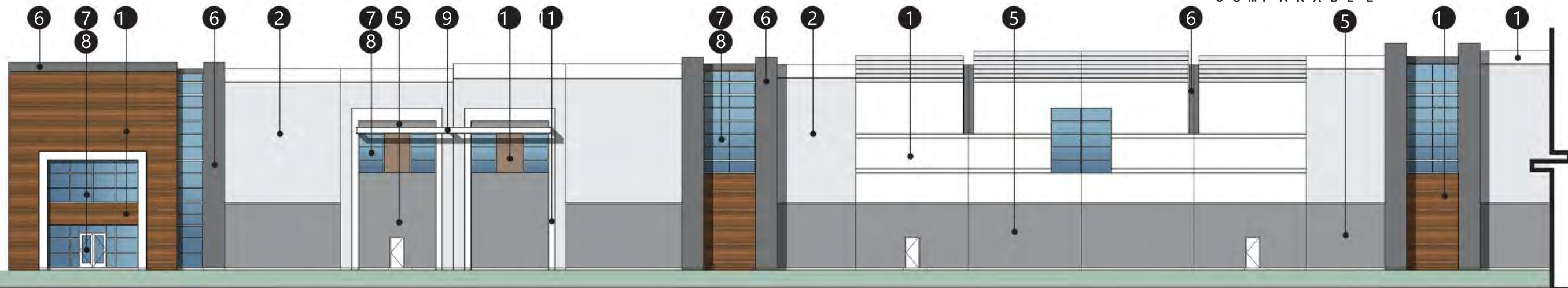


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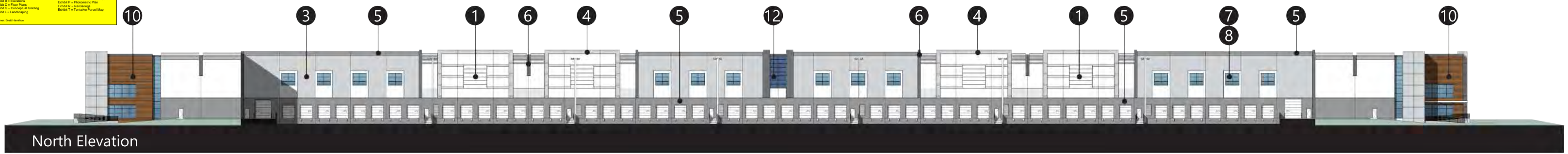


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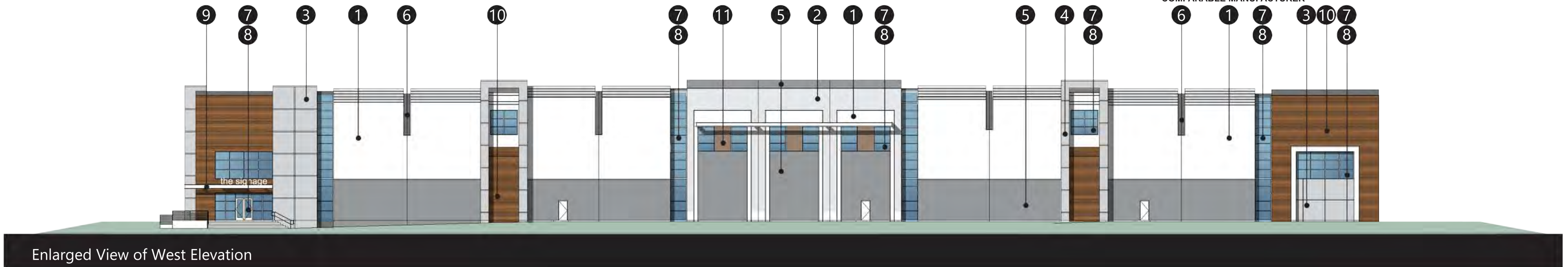
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SHERWIN SW 7 PURE	SHERWIN SW 7 GRAY	SHERWIN SW 7 ONYX	SHERWIN SW 7 NETWORK	SHERWIN SW 7 SOFT WHITE	SHERWIN SW 7 WEB GRAY	CLEAR MULLI	BLUE GLAZI	SHERWIN PRO-INDUSTRIAL B53-115 IN COLOR: @ 1 - BEAM COMPARABLE	OPT 1 - WOOD SAVER GRGUT / SEA SW 7075 OPT 2 - METAL COMPARABLE	SHERWIN SW 6 DAPPLE	DUNN EDWARDS BLUE 58



E n l a r g e d V i e w o f N o r t h E l e v a t i o n



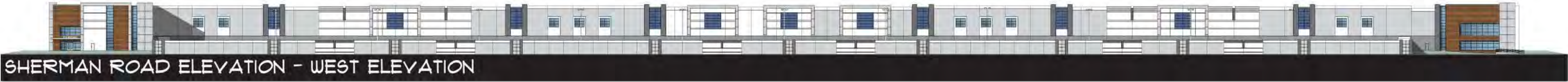
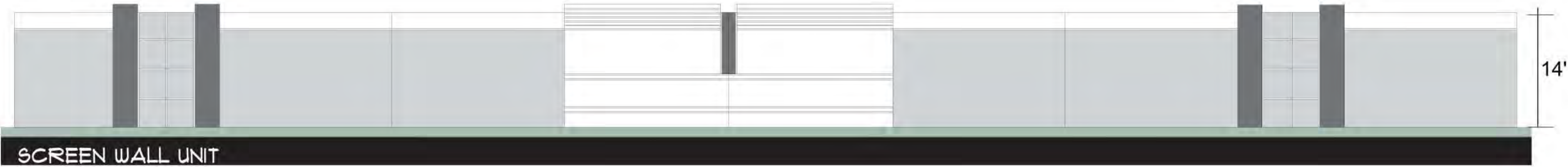
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SHERWIN WILLIAMS SW 7005 PURE WHITE	SHERWIN WILLIAMS SW 7071 GRAY SCREEN	SHERWIN WILLIAMS SW 7072 ONLINE	SHERWIN WILLIAMS SW 7073 NETWORK GRAY	SHERWIN WILLIAMS SW 7074 SOFTWARE	SHERWIN WILLIAMS SW 7075 WEB GRAY	CLEAR ANODIZED MULLIONS	BLUE REFLECTIVE GLAZING	SHERWIN WILLIAMS PRO-INDUSTRIAL, WATERBASED B53-1150 SEMI-GLOSS IN COLOR: SW 7005 PURE WHITE @ I-BEAM METAL CANOPY	OPT1 - ARIZONA TILE SAV WOOD SERIES, IROKO GROUT/SEALANT TO MATCH SW 7075 WEB GRAY OR COMPARABLE MANUFACTURER OPT2-METAL PANEL DIZAL OR COMPARABLE MANUFACTURER	SHERWIN WILLIAMS SW 6144 DAPPER TAN	DUNN EDWARDS DE5853 BLUE EARTH



ATTACHMENT NO. 2
PROJECT PLANS & EXHIBITS
(October 19, 2022 City Council)

Exhibit A = Site Plan
Exhibit B = Elevations
Exhibit C = Floor Plans
Exhibit G = Conceptual Grading
Exhibit L = Landscaping
Exhibit M = Color & Materials Board
Exhibit P = Photometric Plan
Exhibit R = Renderings
Exhibit T = Tentative Parcel Map

Planner: Brett Hamilton



CONCEPTUAL SCREEN WALL DESIGN
ETHANAC RD. & SHERMAN RD.
MENIFEE, CALIFORNIA











